

1. B.M. DATA IS NATIONAL GEODETIC DATUM OF 1929 (N.G.V.D.-29).
2. ANY N.G.V.D. BENCH MARK MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED AND PROPERLY REFERENCED BY A REGISTERED-LAND SURVEYOR IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE. IF ANY MONUMENT IS IN DANGER OF DAMAGE, THE PROJECT ENGINEER SHALL NOTIFY RON TAYLOR, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) SURVEYING AND MAPPING, 3900 COMMONWEALTH BLVD., MAIL STATION 105, TALLAHASSEE, FLORIDA 32399-3000 TELEPHONE (850) 245-2606.
3. ALL PUBLIC LAND CORNERS AND MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED BY THE CONTRACTOR AS FOLLOWS: CORNERS AND MONUMENTS IN CONFLICT WITH THE WORK AND IN DANGER OF BEING DAMAGED, DESTROYED, OR COVERED SHALL BE PROPERLY REFERENCED BY A REGISTERED-LAND SURVEYOR IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE. THE CONTRACTOR SHALL RETAIN THE LAND SURVEYOR TO REFERENCE, AND RESTORE UPON COMPLETION OF THE MARK. ALL SUCH CORNERS AND MONUMENTS AND SHALL FURNISH TO MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT A SIGNED AND SEALED COPY OF THE LAND SURVEYOR'S REFERENCE DRAWING.
4. ALL STATIONS AND OFFSETS REFER TO CENTERLINE OF CONSTRUCTION, UNLESS OTHERWISE STATED.
5. ALL GRADES SHOWN IN PLAN ARE FINISHED GRADES.
6. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER STATE OR LOCAL AGENCY WITH JURISDICTION. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
7. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE EPA AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
8. THE LOCATION AND SIZE OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE ONLY. ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY PRE-TRENCHING IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE ENGINEER AND THE OWNER. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
9. EXISTING TOPOGRAPHIC INFORMATION WAS OBTAINED FROM SURVEY PREPARED BY HADONE PROFESSIONAL LAND SURVEYORS AND MAPPERS.
10. CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL AT 1-(800)-432-4770 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES. CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES, VILLAGE OF INDIAN CREEK, AND OTHER CONTRACTORS TO MINIMIZE DISRUPTION OR INTERFERENCE TO THE CONTRACTOR'S WORK.
11. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD AND UNDERGROUND UTILITIES.
12. MIAMI-DADE WATER AND SEWER DEPARTMENT REQUIRES THAT ACCESS TO ALL WATER AND SEWER VALVES, SANITARY MANHOLES, AND OTHER CONTROL MECHANISMS BE MAINTAINED THROUGHOUT CONSTRUCTION IN THE EVENT OF AN EMERGENCY TO ENSURE THE PUBLIC HEALTH AND SAFETY. COVERING VALVE BOXES AND MANHOLES CAN BE CONSIDERED UNAUTHORIZED OBSTRUCTION OF AND TAMPERING WITH DEPARTMENT UTILITIES. ALL REQUESTS FOR UTILITY ADJUSTMENTS MUST BE MADE IN WRITING AT LEAST TWO (2) WEEKS IN ADVANCE. FOR MANHOLE AND VALVES, CONTACT THE CONSTRUCTION MANAGEMENT SECTION, PUMP STATIONS UNIT, 3071 SW 38 AVENUE, FAX NO. 305-668-3626. THE DEPARTMENT WILL MAKE ONE FINAL AND PERMANENT ADJUSTMENT AT NO COST TO THE REQUESTING AGENCY. FOR THE ADJUSTMENT OF WATER METERS, CONTACT THE CHIEF OF METER OPERATIONS AND MAINTENANCE, FAX NO. 305-545-3482. FOR ANY ARE HYDRANTS THAT ARE DAMAGED OR BUMPED DURING CONSTRUCTION, CONTACT THE MDWASD HYDRANT SHOP AT 305-805-4575 BEFORE POURING CONCRETE FOR THE SIDEWALK. IN THE EVENT OF A WATER OR SEWER EMERGENCY, CONTACT MIAMI DADE WATER AND SEE DEPARTMENT AT 305-274-9272. THIS LINE IS OPEN 24 HOURS, 7 DAYS A WEEK.
13. KNOWN UTILITY COMPANIES IN THE PROJECT LIMITS INCLUDE, BUT ARE NOT LIMITED TO:
FP&L: (800) 868-9554 & (305) 552-2931
AT&T: (305) 222-8745
MIAMI-DADE WATER AND SEWER DEPT.: (786) 288-5255
COMCAST CABLE: (954) 447-8405
FLORIDA CITY GAS: (305) 835-3632
MIAMI DADE COUNTY PUBLIC WORKS: (305) 592-8925
14. THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC, TELEPHONE, GAS, WATER, AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES. THE ADDITIONAL COST OF EXCAVATING, INSTALLING, BACKFILLING, AND COMPACTING AROUND THESE LATERAL SERVICES MUST BE INCLUDED IN THE BID RELATED ITEM FOR THE WORK BEING DONE.
15. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ASPHALT, CONCRETE OR PAVEMENT DRIVEWAYS ON PRIVATE PROPERTY ABUTTING RIGHT-OF-WAY WHICH ARE DAMAGED OR IMPACTED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ENGINEER.
16. CLEARING AND GRUBBING, GRADING AND OTHER INCIDENTAL WORK NECESSARY FOR HARMONIZATION OUTSIDE R/W SHALL BE INCLUDED IN RELATED BID ITEMS.
17. ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED. SODDING TO BE USED AT LOCATIONS WHERE EXISTING LAWNS OR SWALES ARE DISTURBED, AT CONTRACTORS EXPENSE AS DIRECTED BY THE ENGINEER.
18. THE CONTRACTOR SHOULD TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, PUBLIC OR PRIVATE, DURING THE EXCAVATION OF SUBSOIL MATERIAL AND EXPLORATION TRENCH, OR FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
19. IF SHEETING, SHORING, OR DEWATERING, INCLUDING WELL POINTS ARE NECESSARY, THE CONTRACTOR MUST MONITOR AND CONTROL ALL WORK THAT MAY CAUSE CRACKING TO ANY ADJACENT BUILDING, STRUCTURE, OR PROPERTY AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THESE OPERATIONS. COST OF SHEETING, SHORING, OR DEWATERING SHALL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DEWATERING PERMIT. COST OF THE PERMIT AND DEWATERING SHALL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE.
21. THE CONTRACTOR WILL RESTRICT PERSONNEL, THE USE OF EQUIPMENT, AND THE STORAGE OF MATERIALS TO AREAS WITHIN THE LIMITS OF CONSTRUCTION AND DESIGNATED STAGING AREA.
22. EXPLORATORY OR PRE-TRENCHING IN THE ALIGNMENT AND GRADE OF PROPOSED PIPES, STRUCTURES, FRENCH DRAINS, CONDUITS, POLE FOUNDATIONS AND/OR SUBGRADE PERFORMED SEVEN DAYS ADVANCE OF ITS CONSTRUCTION AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY OWNERS AND THE DEPARTMENT WITH IMMEDIATE NOTIFICATION OF ANY CONFLICT WITH PROPOSED CONSTRUCTION. THIS NOTIFICATION SHALL PROVIDE SURVEY INFORMATION ABOUT EXISTING UTILITY ALIGNMENT, GRADE AND POSSIBLE CONFLICTS. PAYMENT FOR EXPLORATORY OR PRE-TRENCHING, SURVEY AND BACKFILLING SHALL BE INCLUDED IN THE COST OF THE RELATED BID ITEM FOR THE WORK BEING DONE.
23. ALL DITCH EXCAVATIONS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE TRENCH SAFETY ACT.
24. ALL EXCESS MATERIAL, AS DESIGNATED BY THE ENGINEER, IS TO BE DISPOSED BY THE CONTRACTOR IN LEGAL AREAS.

PROVIDED BY HIM WITHIN 72 HOURS OF BEING DEPOSITED IN THE CONSTRUCTION AREA AND THE CONTRACTOR'S EXPENSE.

ALL DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS SHALL BE MADE AT A LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY.

ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE ENGINEER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE PROJECT ENGINEER.

EXISTING ABOVE GROUND FEATURES ARE SHOWN ACCORDING TO THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS AND SHALL REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.

CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES AND UTILITIES, WHICH MAY NOT BE SHOWN ON PLANS. ANY STRUCTURE, PAVEMENT, TREES OR OTHER EXISTING IMPROVEMENT NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARILY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.

TRAFFIC SHALL BE MAINTAINED ON DUST FREE ASPHALT SURFACE AT ALL TIMES. THE CONTRACTOR SHALL USE A STREET SWEEPER (USING WATER) OR OTHER EQUIPMENT CAPABLE OF CONTROLLING AND REMOVING DUST. APPROVAL OF THE USE OF SUCH EQUIPMENT IS CONTINGENT UPON ITS DEMONSTRATED ABILITY TO DO THE WORK.

THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR ALL ITEMS USED IN THIS PROJECT.

WHEN DISSIMILAR MATERIAL CONNECTIONS ARE MADE, SUCH AS CONCRETE TO METAL, THE DISSIMILAR MATERIAL SHALL BE SEPARATED BY COATING THE CONTACT SURFACE WITH BITUMASTIC MATERIAL.

THE CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING AND NEW INLETS CLEAN OF MILLING MATERIAL, LIMEROCK, DEBRIS, ETC. DURING THE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.

CAST IRON PRODUCTS: HEAVY-DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS OF 16,000 LBS WHEEL LOADS.

STEEL GRATING AND COVERS: TRAFFIC CLASSIFICATION H-20; 16,000 LBS OVER 8"x20" AREA.

EXISTING DRAINAGE STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED.

EXISTING MANHOLES AND INLETS SCHEDULED TO REMAIN SHALL BE THOROUGHLY CLEANED BY REMOVING ALL DEBRIS AND SEDIMENTS, AND THE INTERIOR SHALL BE SEALED WITH AN APPROVED NON-TOXIC BITUMASTIC SEALANT.

PRIOR TO CONSTRUCTION THE CONTRACTOR WILL INSPECT ALL EXISTING STRUCTURES WHICH ARE TO REMAIN AND NOTIFY THE ENGINEER OF ANY OBVIOUS STRUCTURAL DEFICIENCIES.

CONTRACTOR SHALL ADJUST ALL EXISTING CATCH BASINS, GRATES, AND STORM MANHOLE COVERS TO MEET NEW GRADES WHERE APPLICABLE.

ELEVATIONS AND OFFSETS SHOWN AT DRAINAGE STRUCTURES REFER TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

RADI ON CURB RETURNS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.

PRIOR TO CONSTRUCTION THE CONTRACTOR WILL VERIFY INVERT ELEVATIONS OF ALL PIPES WHICH ARE TO REMAIN AND NOTIFY THE ENGINEER OF ANY ELEVATION DEVIATIONS.

THERE SHALL BE NO MORE THAN THREE LATERAL DRAINAGE INSTALLATIONS WITHOUT BACKFILLING. BACKFILLING OF LATERAL DRAINAGE SHALL NOT LAG MORE THAN 72 HOURS BEHIND THE START OF EXCAVATION.

SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES EXTEND INTO THE STABILIZED PORTION OF THE ROADBED AND EXTREME CAUTION SHOULD BE USED IN THE STABILIZING OPERATIONS AT THESE LOCATIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION, AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OUTLINED IN THE PUBLIC WORKS STANDARD DETAILS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE FDOT DESIGN STANDARDS.

WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH THE EXISTING PAVEMENT.

THE LOCATION OF SOME DRIVEWAYS IS APPROXIMATE. VERIFICATION OF EXACT LOCATION AND DIMENSIONS IS RECOMMENDED.

EXISTING DRIVEWAYS WITHIN THE LIMITS OF THIS PROJECT ARE TO BE REPLACED AT THE SAME LOCATION AND WIDTH, UNLESS OTHERWISE SHOWN IN PLANS.

WHERE CONNECTIONS TO EXISTING SIDEWALKS AND DRIVEWAYS ARE NOT INDICATED ON PLANS, PROPER CONNECTIONS ARE TO BE MADE AS DIRECTED BY THE ENGINEER. DROP CURB AND DRIVEWAY CONNECTIONS SHALL BE PROVIDED FOR ACCESS TO ALL PRIVATE PROPERTIES ADJACENT TO THE PROJECT. PAYMENT SHALL BE INCLUDED IN THE COST OF RELATED BID ITEMS.

CONTRACTOR TO INSTALL 1/2" PREFORMED EXPANSION JOINT WHEN PROPOSED SIDEWALK IMPROVEMENTS IS IMMEDIATELY ADJACENT TO EXISTING CONCRETE SLAB AND/OR BUILDING.

COMPLETE AS-BUILT INFORMATION RELATIVE TO LOCATION AND DEPTH OF PIPES, MANHOLES, ETC. SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF THE WORK. ALL ELEVATIONS SHALL BE TAKEN BY A FLORIDA REGISTERED SURVEYOR AND SHOWN ON THE RECORD DRAWINGS.

DESIGN WATER TABLE ELEVATION: 1.50' NGVD29

MIAMI-DADE COUNTY FLOOD CRITERIA ELEVATION: 8.00' NGVD29 (ZONE AE)

THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED, AND UPON WHICH BIDS WILL BE BASED.

LOCAL RESIDENTS, PROPERTY OWNERS AND TENANTS WITHIN THE AREA OF CONSTRUCTION SHALL BE GIVEN ACCESS TO THEIR PROPERTY DURING ALL PHASES OF CONSTRUCTION.

CONTRACTOR SHALL REMOVE ANY EXISTING STRIPING THAT CONFLICTS WITH THE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AND PROVIDE ADEQUATE TEMPORARY SIGNING AND/OR STRIPING USING REFLECTORIZED PAINT.

PAVED ASPHALT TEMPORARY PAVEMENT AND CONNECTIONS SHALL BE PROVIDED THROUGHOUT PROJECT, AS NEEDED AND DIRECTED BY THE ENGINEER TO MAINTAIN TRAFFIC AND ACCESS.

CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. AS DIRECTED BY THE ENGINEER. WHEN DIRECTED BY THE ENGINEER, CONTRACTOR SHALL INSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE VILLAGE OF INDIAN CREEK AND/OR MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT.

CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION AND ELECTRICAL SUB-CONTRACTORS FOR THE INSTALLATION OF ANY NECESSARY SLEEVES UNDER THE PAVEMENT.

CONTRACTOR SHALL REPLACE EXISTING WATER METER BOXES AND ADJUST EXISTING WATER METERS AS NEEDED, CONTRACTOR SHALL ADJUST OR REPLACE EXISTING ELECTRICAL AND SIGNAL PULL BOXES AS NEEDED.

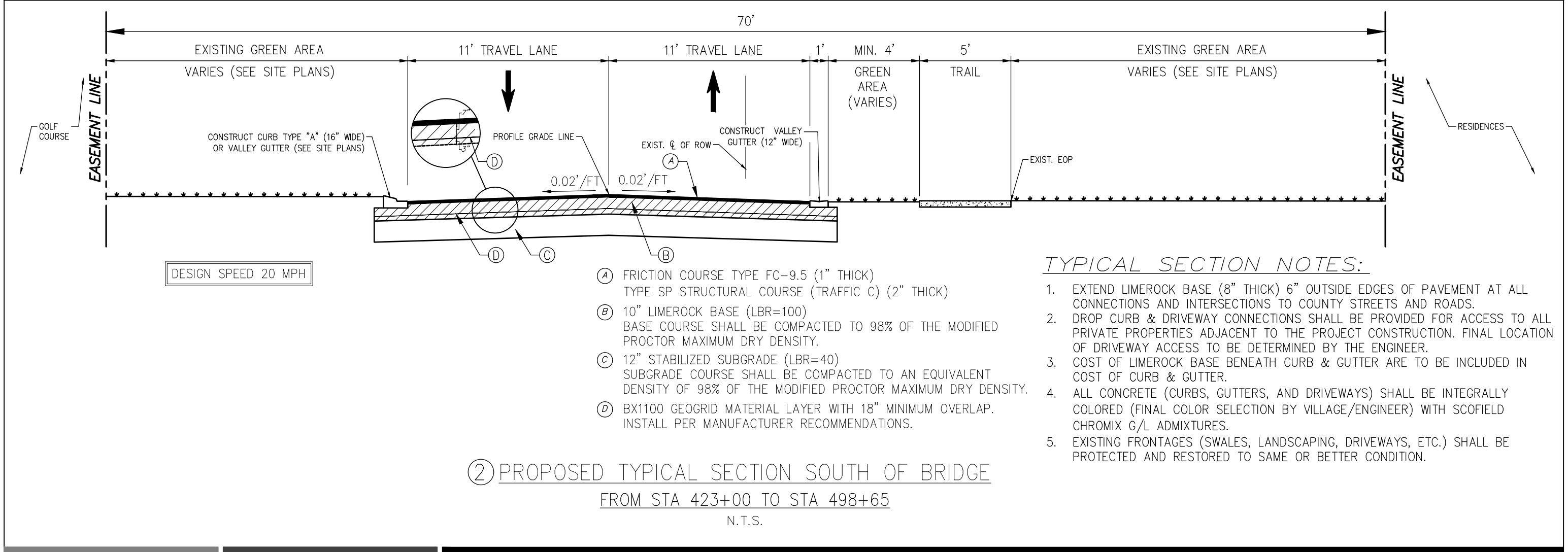
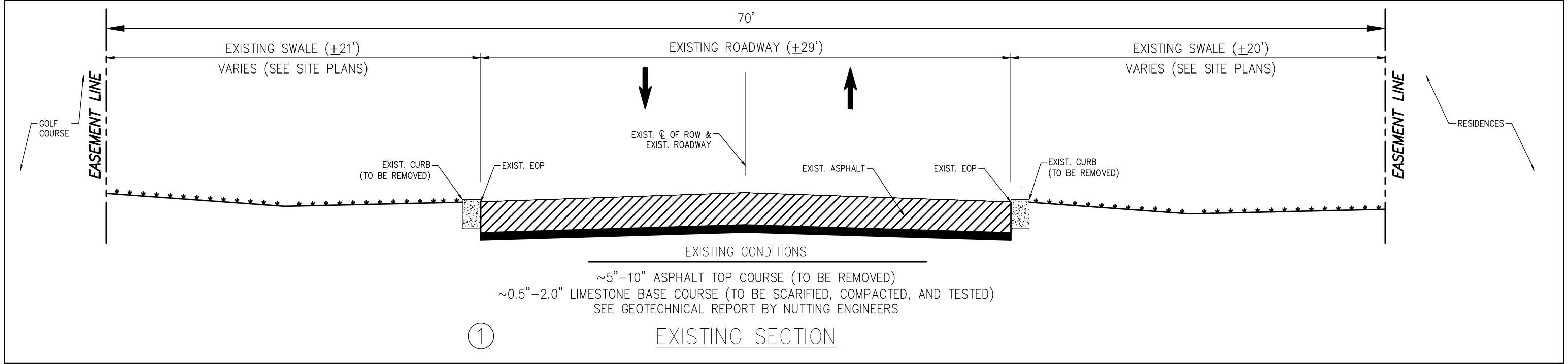
ALL EXISTING FIRE HYDRANTS SHALL REMAIN UNDISTURBED AND SHALL BE PROTECTED, UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL CAREFULLY SAW-CUT ANY ROOTS IN CONFLICT WITH CONSTRUCTION OF CURB, SIDEWALK, DRAINAGE OR UTILITIES. ROOTS TORN BY BACKHOE WILL NOT BE ALLOWED.

MAINTENANCE OF TRAFFIC CRITERIA

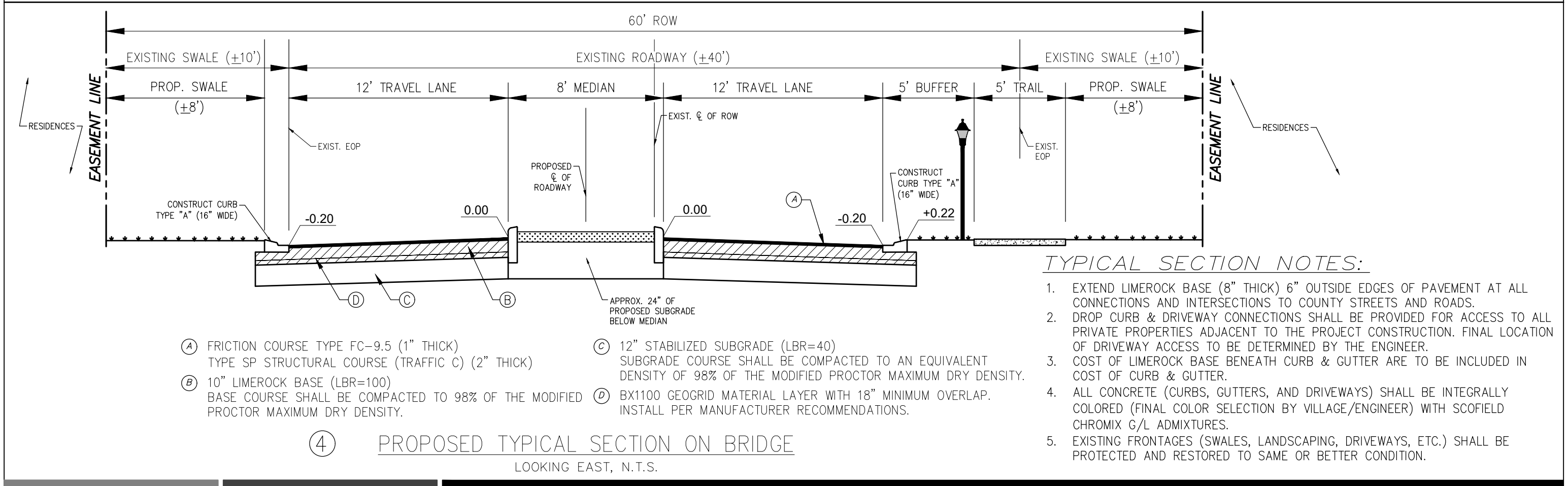
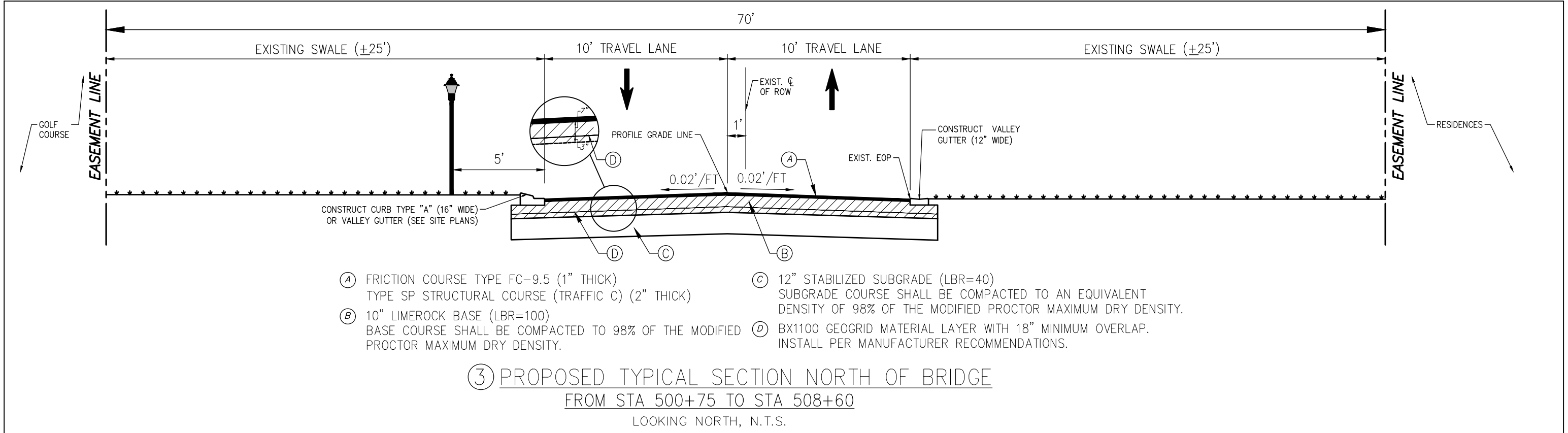
1. BRIDGE WEIGHT LIMITS OF 6 TONS WILL BE STRICTLY ENFORCED. MONITORED ACCESS FROM THE MAINLAND IS PROVIDED BY THE VILLAGE POLICE DEPARTMENT AT ENTRY GATE CONTROL. **ALL LARGE VEHICLES ATTEMPTING A BRIDGE CROSSING WILL BE REQUIRED TO PRESENT A TARE CERTIFICATE OR OTHER CERTIFIED WEIGHT DOCUMENT PRIOR TO BEING GRANTED ACCESS.** THE CONTRACTOR MUST PROVIDE METHODS TO SECURE VEHICLES LEAVING THE ISLAND SIDE FROM EXCEEDING THIS LIMIT, PORTABLE SCALES, FLAGGERS, TRAFFIC CONTROL DEVICES, ETC. ARE EXAMPLES OF PROCEDURES CONTRACTOR MAY UTILIZE. PRIOR TO START OF CONSTRUCTION A DETAILED PLAN ON CONFORMANCE MUST BE SUBMITTED TO VILLAGE REPRESENTATIVES FOR APPROVAL.
2. IN THE EVENT THAT A POLICE DETAIL IS REQUIRED DURING THE PROJECT TO ASSIST IN A UNIQUE CONSTRUCTION ACTIVITY THAT MAY IMPACT TRAFFIC BEYOND THE NORMAL DAILY WORK, THE CONTRACTOR WILL BE REQUIRED TO DETERMINE NEED AND SCHEDULING OF SAME. A MINIMUM 48 HOUR NOTICE MUST BE PROVIDED TO THE VILLAGE POLICE DEPARTMENT. CONTRACTOR WILL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH SAID DETAILS, AN ALLOWANCE IS PROVIDED IN THE BID DOCUMENT FOR THIS PURPOSE.
3. TRAFFIC CONTROLS SHALL BE IN ACCORDANCE AND COORDINATED WITH THE PROJECT PLANS WHICH DELINEATE THE SCOPE OF ANTICIPATED ROADWAY DISRUPTION.
4. THE CONTRACTOR SHALL DEVELOP MAINTENANCE OF TRAFFIC PLAN OF THEIR OWN, WHICH MUST MEET WITH THE REQUIREMENTS SPECIFIED HEREIN. THE CONTRACTOR'S MAINTENANCE OF TRAFFIC PLANS SHALL BE SUBMITTED TO THE VILLAGE REPRESENTATIVES PRIOR TO IMPLEMENTATION OF SAME AND NO LESS THAN 14 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR REVIEW AND APPROVAL. THE PROPOSED MOT WILL TAKE INTO ACCOUNT THE WORK ANTICIPATED WILL BE CONFINED TO LIMITED AREAS WHICH WILL REACH SUBSTANTIAL COMPLETION PRIOR TO INITIATING WORK IN A NEW AREA.
5. IN THE EVENT ANY TEMPORARY PAVEMENT IS REQUIRED TO PROPERLY EXECUTE THE PROJECT SCOPE OF WORK THE PAVEMENT SHALL CONSIST OF A MINIMUM OF 6 INCH LIMEROCK BASE, PRIME COAT AND 1 1/2" OF ASPHALTIC MATERIAL. THE BASE LAYER SHALL BE PLACED OVER A FIRM, UNYIELDING, WELL-COMPACTED SUBGRADE. COST OF CONSTRUCTION AND REMOVAL OF ANY TEMPORARY PAVEMENT DEEMED NECESSARY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDED IN HIS CONTRACT SUM.
6. AT THE DISCRETION OF THE VILLAGE REPRESENTATIVES, IF A LANE CLOSURE CAUSES EXTENDED CONGESTION OR DELAY, THE CONTRACTOR SHALL BE DIRECTED TO REASSESS THE CLOSED LANE AND IMPLEMENT ALTERNATE PROCEDURES UNTIL SUCH TIME THAT TRAFFIC FLOW HAS RETURNED TO AN ACCEPTABLE LEVEL.
7. THE TRAFFIC AND TRAVEL WAYS SHALL NOT BE ALTERED BY THE CONTRACTOR TO CREATE A WORK ZONE UNTIL ALL LABOR AND MATERIAL ARE AVAILABLE FOR THE CONSTRUCTION IN THAT AREA.
8. REGULATORY SPEED ESTABLISHED WITHIN THE WORK ZONE TRAVEL WAYS SHALL BE 10 M.P.H. REDUCED SPEED AND REGULATORY SPEED SIGNS SHALL BE INSTALLED ON SEPARATE POSTS WITHIN THE CONSTRUCTION WORK ZONE.
9. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE RESIDENTIAL AND THE COUNTRY CLUB PROPERTY DURING ALL PHASES OF CONSTRUCTION. TRENCH EXCAVATIONS CROSSING ACCESS TO RESIDENCES MUST BE ACCOMPLISHED IN MULTIPLE PHASES AFFORDING ACCESS WITHOUT UNDUE DELAY. USE OF STEEL PLATES IS ACCEPTABLE.
10. THE CONTRACTOR SHALL PROMPTLY REMOVE WORK ZONE SIGNS WHEN CONDITIONS NO LONGER WARRANT THEIR USE.
11. THE CONTRACTOR SHALL NOT PROPOSE ANY ALTERNATIVE TRAFFIC CONTROL PLAN THAT REDUCES THE NUMBER OF TRAVEL LANES SHOWN ON THE CONTRACT TRAFFIC CONTROL PLANS.
12. DURING ASPHALT CONSTRUCTION OPERATIONS. NO MORE THAN 1-1/2" DROP-OFF BETWEEN ADJACENT TRAVEL LANES OR AT TRANSVERSE JOINTS SHALL BE ALLOWED WHEN LANES ARE OPEN TO TRAFFIC. WHERE DROP OFF CONDITIONS EXIST, THE SIGNING FOR UNEVEN PAVEMENT SHALL BE INSTALLED FOR THE DURATION OF THE CONDITION.
13. THE CONTRACTOR IS TO PLACE TEMPORARY OR REMOVABLE PAVEMENT MARKINGS BETWEEN EACH LAYER OF PAVEMENT, AND IS RESPONSIBLE FOR THE TEMPORARY RELOCATION OF STOP BARS & STOP SIGNS AS APPLICABLE. PAVEMENT MARKINGS AND BARRICADES PLACEMENT SHALL BE APPROPRIATELY COORDINATED.
14. CONTRACTOR SHALL PROVIDE A PATH TO ALLOW SAFE PEDESTRIAN PASSAGE AROUND THE WORK ZONE(S) AT ALL TIMES.
15. DURING TIMES OF ACTUAL WORK ACTIVITIES FLAGGERS WILL BE REQUIRED AT BOTH EXTREMES OF THE CONSTRUCTION AREA WHERE ONE LANE TRAFFIC EXISTS IN CONSTANT VISUAL OR RADIO COMMUNICATIONS TO PREVENT HEAD ON CONFLICTS. MONITORING OF INTERMEDIATE TRAFFIC INSERTION IS ALSO REQUIRED. THE CONTRACTOR SHALL MAINTAIN AUTOMATED TEMPORARY SIGNALIZATION TO CONTROL SINGLE LANE TRAFFIC DURING NON-CONSTRUCTION PERIODS. AUTOMATED TRAFFIC SIGNALS WILL BE PROVIDED WITH UNINTERRUPTIBLE POWER SOURCE.
16. TRAFFIC SHALL BE MAINTAINED ON A PAVED, DUST-FREE SURFACE AT ALL TIMES. ALL LANES TEMPORARY OR PERMANENT MUST BE MAINTAINED WITH A 10' MINIMUM WIDTH.
17. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE EROSION CONTROL MEASURES TO PREVENT CLOGGING OF DRAINAGE STRUCTURES AND SEDIMENT INTRUSION ON WATERWAYS DURING CONSTRUCTION. THESE MEASURES SHALL BE APPROVED BY THE VILLAGE'S REPRESENTATIVES AND CONFORM WITH CURRENT APPLICABLE ENVIRONMENTAL CODES.
18. CONTRACTOR MUST MAINTAIN DRAINAGE AT ALL TIMES. THE EXISTING DRAINAGE SYSTEM SHALL BE KEPT OPERATIONAL OR TEMPORARY DRAINAGE PROVIDED WHILE THE PROPOSED DRAINAGE SYSTEM IS BEING CONSTRUCTED.
19. AT THE END OF EACH WORK DAY OR WHENEVER THE WORK ZONE BECOMES INACTIVE, ANY DROP OFF GREATER THAN 6 INCHES (150 MM) ADJACENT TO THE PEDESTRIAN, BICYCLE, AND WHEELCHAIR TRAVEL PATHS SHALL BE BACKFILLED FLUSH WITH SAND PATHS OR PROTECTED WITH TEMPORARY FENCE, CONCRETE BARRIER WALL OR APPROVED HANDRAIL.
20. THE CONTRACTOR SHALL FURNISH AND MAINTAIN VARIABLE MESSAGE SIGNS AS DIRECTED BY THE VILLAGE REPRESENTATIVES FOR THE DURATION OF THE CONTRACT. MESSAGES FOR THE VMS SHALL BE AS DIRECTED BY THE VILLAGE. THE VMS SHALL BE IN PLACE ONE WEEK BEFORE THE START OF ANY WORK ITEMS AFFECTING THE EXISTING VEHICULAR AND PEDESTRIAN TRAFFIC.

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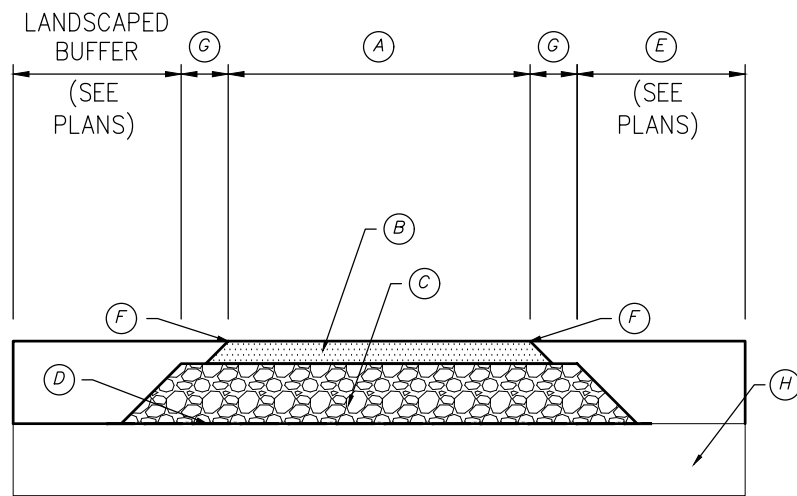
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By	Appd.	YY.MM.DD																																																																									
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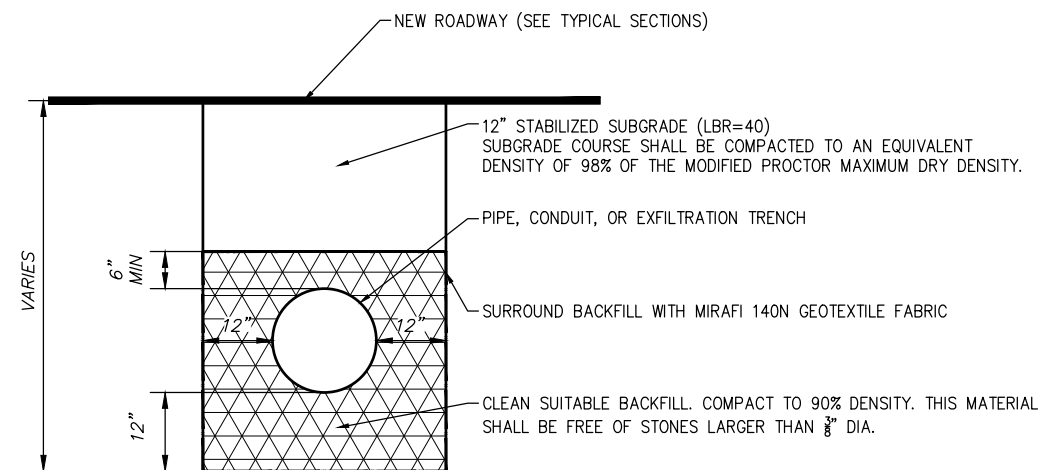
- TYPICAL SECTION NOTES:**
1. EXTEND LIMEROCK BASE (8" THICK) 6" OUTSIDE EDGES OF PAVEMENT AT ALL CONNECTIONS AND INTERSECTIONS TO COUNTY STREETS AND ROADS.
 2. DROP CURB & DRIVEWAY CONNECTIONS SHALL BE PROVIDED FOR ACCESS TO ALL PRIVATE PROPERTIES ADJACENT TO THE PROJECT CONSTRUCTION. FINAL LOCATION OF DRIVEWAY ACCESS TO BE DETERMINED BY THE ENGINEER.
 3. COST OF LIMEROCK BASE BENEATH CURB & GUTTER ARE TO BE INCLUDED IN COST OF CURB & GUTTER.
 4. ALL CONCRETE (CURBS, GUTTERS, AND DRIVEWAYS) SHALL BE INTEGRALLY COLORED (FINAL COLOR SELECTION BY VILLAGE/ENGINEER) WITH SCOFIELD CHROMIX G/L ADMIXTURES.
 5. EXISTING FRONTAGES (SWALES, LANDSCAPING, DRIVEWAYS, ETC.) SHALL BE PROTECTED AND RESTORED TO SAME OR BETTER CONDITION.

<div>Revision</div> <div>By</div> <div>Appd.</div> <div>YY.MM.DD</div>			<div>Issued</div> <div>By</div> <div>Appd.</div> <div>YY.MM.DD</div>			<div>Seal</div>	<div>Consultants</div>	<div><div>901 Ponce de Leon Blvd, Suite 900 Coral Gables, Florida 33134 www.stantec.com</div><div>The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.</div></div>	<div>INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA</div> <div>File Name: 15771_TYPICAL SECTIONS.DWG</div> <div>### Dwn.</div> <div>### Chkd.</div> <div>### Dsgn.</div> <div>2020-12-04 YYYY.MM.DD</div>	<div>TYPICAL SECTIONS</div> <div>Project No. 215615771</div> <div>Drawing No. G-04</div> <div>Scale</div> <div>Sheet</div> <div>Revision</div> <div>152</div>
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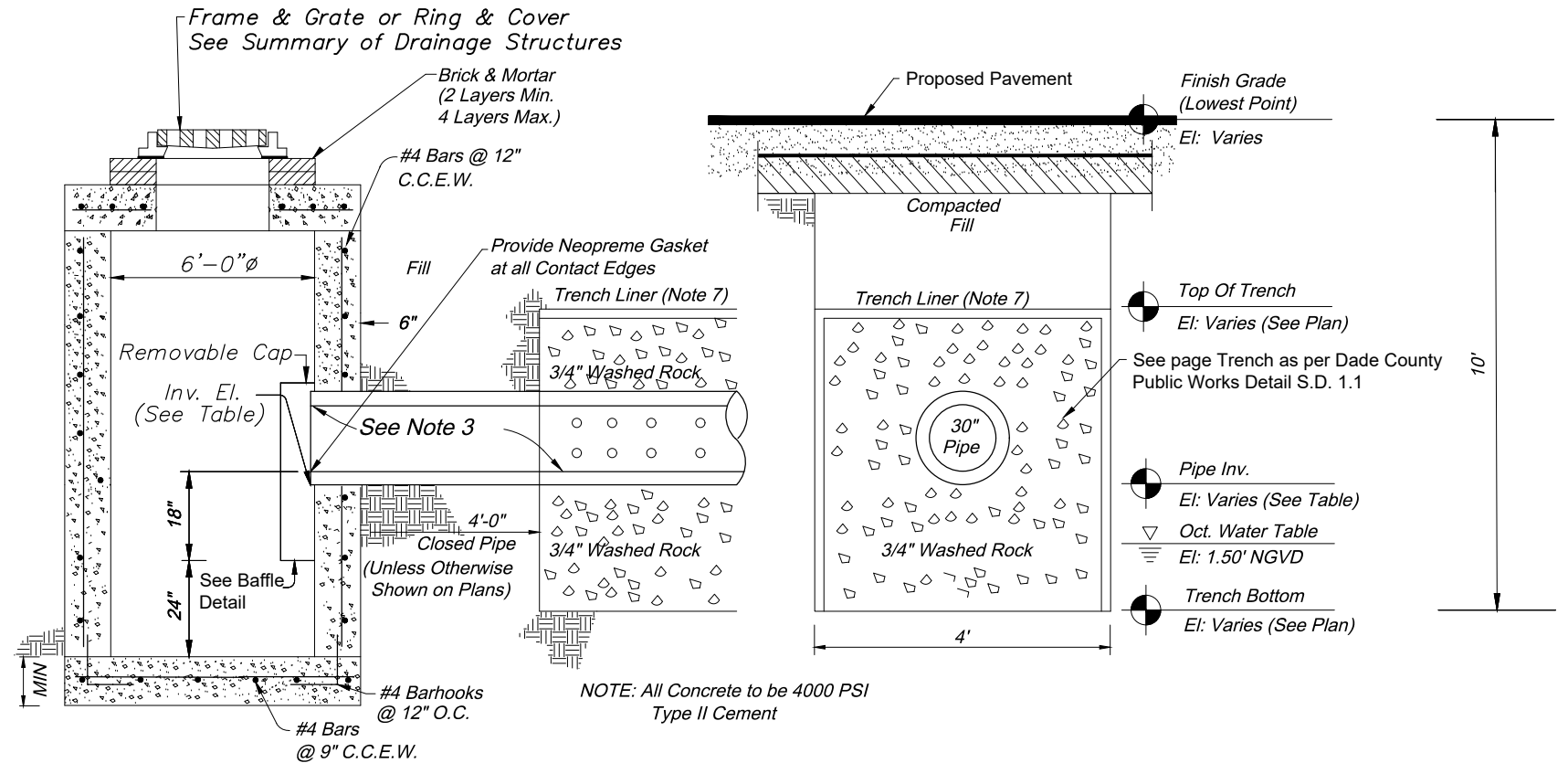
PROPOSED TRAIL PATH DETAIL

- N.T.S.
- (A) 5' WIDE RUBBERWAY PERVIOUS RUBBER PAVEMENT RR6000 (COLOR TO BE SELECTED BY VILLAGE/ENGINEER) (TO USE ALL VIRGIN RUBBER)
 - (B) 1.5" NOMINAL PAVING THICKNESS
 - (C) 4" 95% COMPACTION AASHTO #3 CRUSHED STONE
 - (D) MIRAFI 140N GEOTEXTILE FABRIC BETWEEN CRUSHED STONE AND SUBGRADE
 - (E) EXISTING DRIVEWAY OR IMPROVED FRONTAGE TO BE PROTECTED & RESTORED TO SAME OR BETTER CONDITION
 - (F) 45" TURNDOWN EDGE
 - (G) EXTEND STONE 4" BEYOND PAVING
 - (H) 12" STABILIZED SUBGRADE (LBR=40)
SUBGRADE COURSE SHALL BE COMPACTED TO AN EQUIVALENT DENSITY OF 98% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY.



UTILITY TRENCH RESTORATION DETAIL

N.T.S.



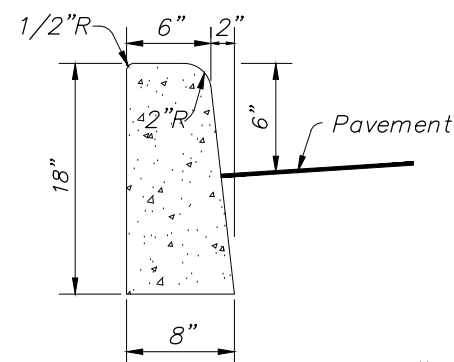
SECTION

NOTES

- U.S. Precast Corp. 6'-0" ϕ Catch Basin (Unless Otherwise Specified)
- Concrete = 4000 P.S.I. at 28-Days, Type II Cement
- Trench Pipe Shall be 30" Perforated HDPE Pipe
- Pipes Shall Terminate 2 Feet from End of Trench or Connect to Additional Catch Basin As Required.
- Cover Pipe Ends With No. 10 Galvanized or Aluminum Screen, Opening No Larger Than 1/2"x1/2".
- Ballast Rock Shall be from Fresh Water Washed Free of Deleterious Matter.
- Sides, Bottom and Top of Trench to be Lined with Mirafi 700X Filter Fabric or Equal. Overlap Trench lining material a Minimum of Three (3) Feet at Top.

48" ϕ TYPE "P" CATCH BASIN OR MH WITH EXFILTRATION TRENCH DETAIL

N.T.S.



TYPE "D" CURB

N.T.S.

NOTES:

- Provide 1/4" Expansion Joints between each 50' section & Saw-Cut Contraction Joints at 10' intervals (Max.)
- Subgrade Shall Be Compacted To a 95% Density AASHTO T-180C
- Curb Shall Be Constructed in 50' Maximum Sections.

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

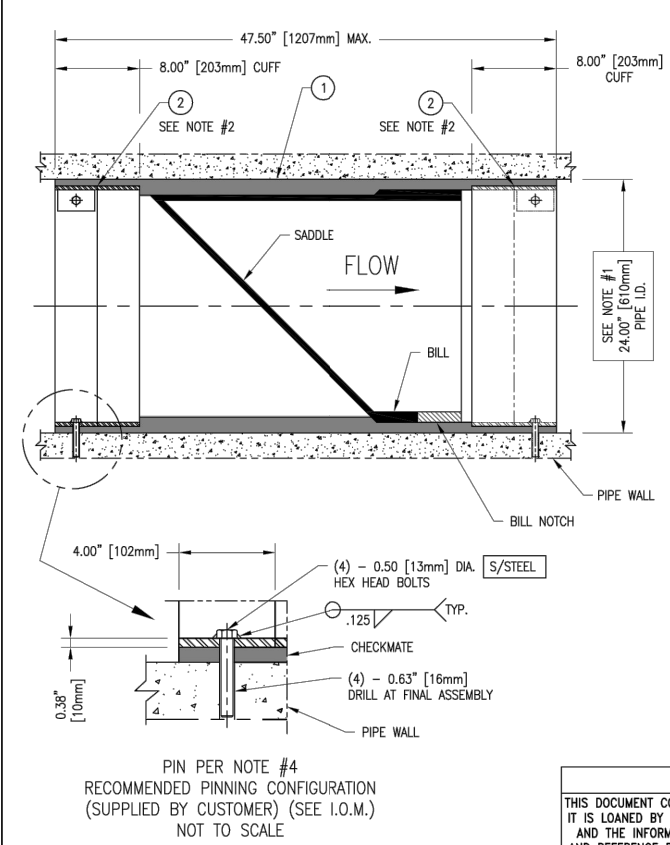
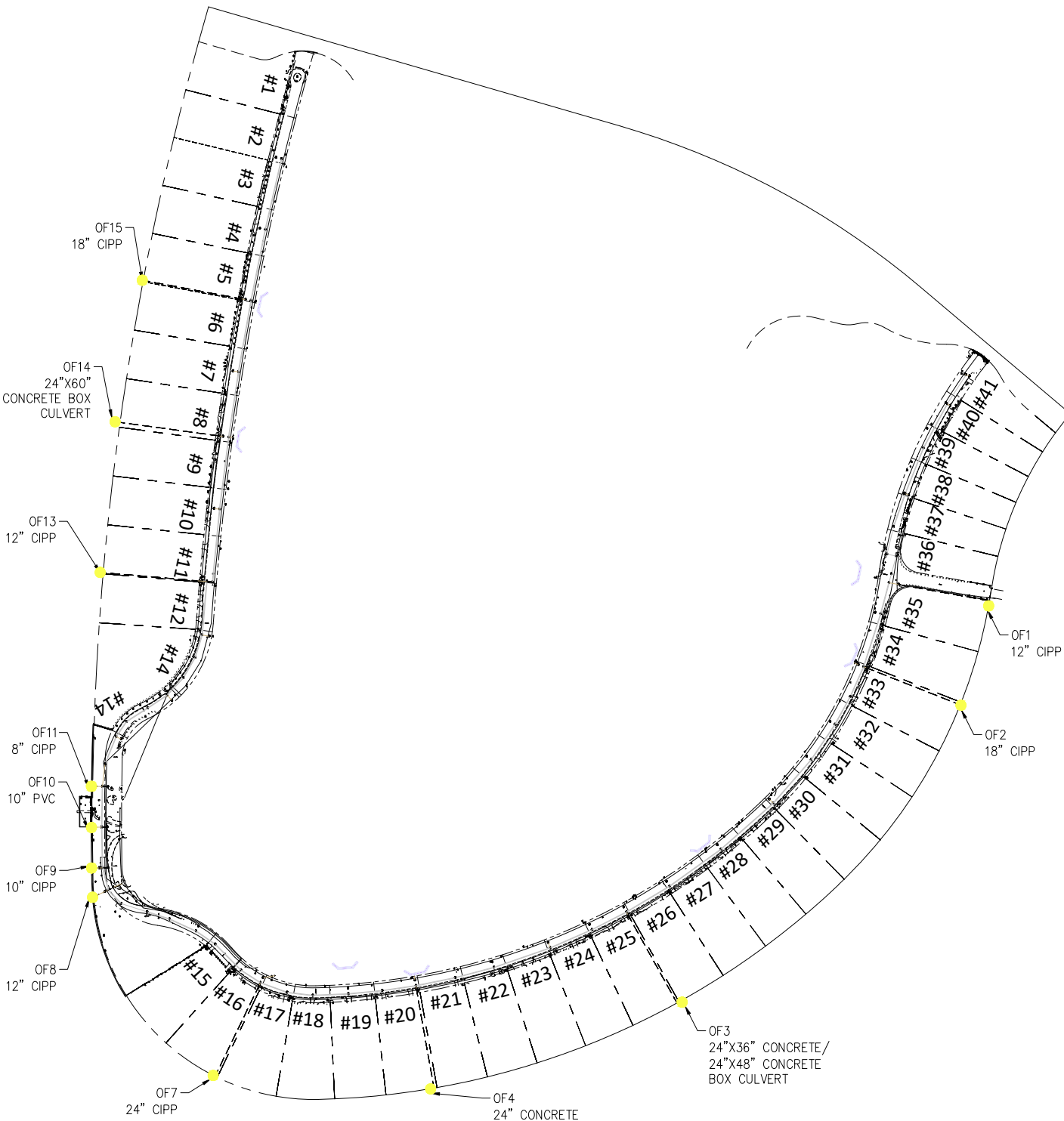
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Dwn. Chkd. Dsgn. 2020-12-04

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GENERAL DETAILS

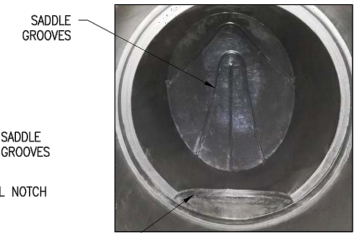
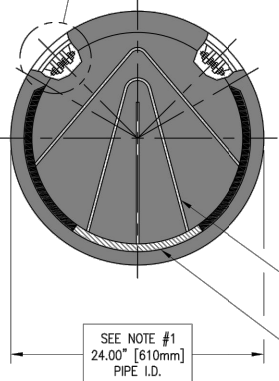
Project No. 215615771
Drawing No. G-05
Scale
Sheet
Revision
of 152

PLOTTED BY: FORRENBACH, ROBERT 12/22/2020 1:03 PM



ITEM	QTY.	DESCRIPTION	MAT'L
1	1	ULTRAFLEX CHECKMATE CHECK VALVE	MUST BE SUPPLIED
2	2	CLAMP	MUST BE SUPPLIED

- NOTES:
- PIPE INSIDE DIAMETER - **MUST BE SUPPLIED**
(MINIMUM ALLOWABLE PIPE DIAMETER - 23.25 INCHES)
 - CLAMP INSTALLED IN UPSTREAM OR DOWNSTREAM CUFF DEPENDING ON INSTALLATION ORIENTATION
 - MAXIMUM ALLOWABLE BACK PRESSURE - **45.0 FEET**
 - IT IS RECOMMENDED TO BOLT OR PIN CHECKMATE TO PIPE AS SHOWN, 4 PLACES 90° APART



PRELIMINARY DRAWING
NOT FOR APPROVAL PURPOSES

OPPORTUNITY No: XXXXX	SALES ORDER No: TXX-XXXX
Tideflex Technologies A Division of Red Valve Company, Inc. 600 N. BELL AVE. CARNEGIE, PA. 15106 info@tideflex.com 412.279.0044 fax 412.279.5410	
TT PRODUCT: 24" ULTRAFLEX CHECKMATE CHECK VALVE	
TT PART No: CMCBUF-240-APPROVAL	
DR. BY: TLM	DATE: 2-6-17
CHKD. BY:	DATE:
CAD SCALE: FULL	REV
PLOT SCALE: 1 = 1	DWG No: TTS-XXXX

* PATENT PENDING *

PROPRIETARY NOTICE

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CUSTOMER: XXX
ORDER No: XXX

Outfall #	Size (inches)	Proposed TideFlex Check Valve in Roadway Drainage Structure?	Proposed Manatee Grate?
OF1	12	X	X
OF2	18	X	X
OF3	24x36/24x48	X	X
OF4	24	X	X
OF7	24	X	X
OF8	12	X	X
OF9	10	X	X
OF10	10	X	X
OF11	8	X	X
OF13	12	X	X
OF14	24x60	X	X
OF15	18	X	X

DRAINAGE NOTES:

- INSTALL MANATEE GRATES (PIPE END GUARDS) PER THE REQUIREMENTS OF FDOT FY 2020-21 STANDARD PLANS INDEX 430-001 SHEET 5 OF 6.
- CONTRACTOR SHALL VERIFY ALL PIPE SIZES AND MATERIALS PRIOR TO ORDERING CHECK VALVES.
- CONTRACTOR SHALL INSTALL AND MAINTAIN FLOATING TURBIDITY BARRIERS AT ALL EXISTING OUTFALLS FOR THE DURATION OF CONSTRUCTION.
- ALL MANATEE GRATES SHALL BE INSTALLED WHERE PIPE ENDS AT SEAWALL.
- ALL CHECK VALVES SHALL BE INSTALLED IN NEW WEIR STRUCTURE WITHIN THE ROADWAY EASEMENT.

LEGEND	
	EXIST. HEADWALL
	EXIST. CATCH BASIN
	EXIST. STORM SEWER MANHOLE
	EXIST. STORM SEWER PIPE
	EXIST. OUTFALL

Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_BACKFLOW_EXHIBIT.DWG

RM CH
Dwn. Chkd. Dsgn.

2020-12-22
YYYY.MM.DD

BACKFLOW EXHIBIT

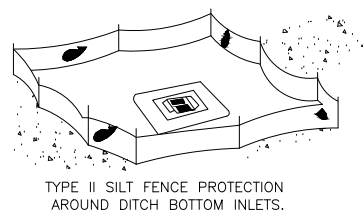
Project No. 215615771

Scale SEE PLANS

Drawing No. G-07

Sheet of 152

Revision

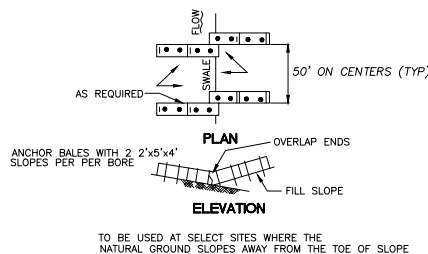


TYPE II SILT FENCE PROTECTION
AROUND DITCH BOTTOM INLETS.

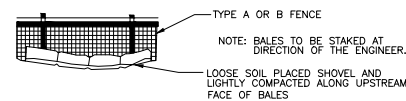


NOTE: SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHAPTER I.

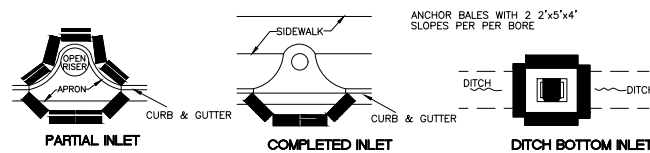
TYPE III SILT FENCE



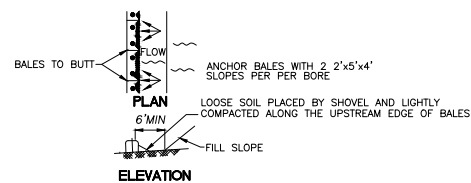
TO BE USED AT SELECT SITES WHERE THE
NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE



BALES BACKED BY FENCE



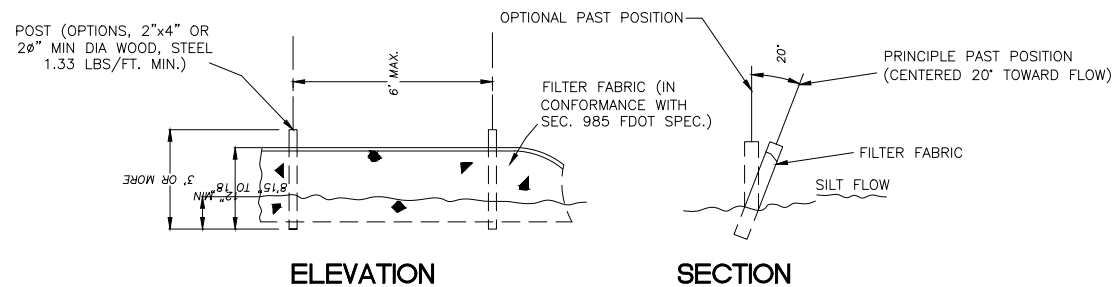
PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



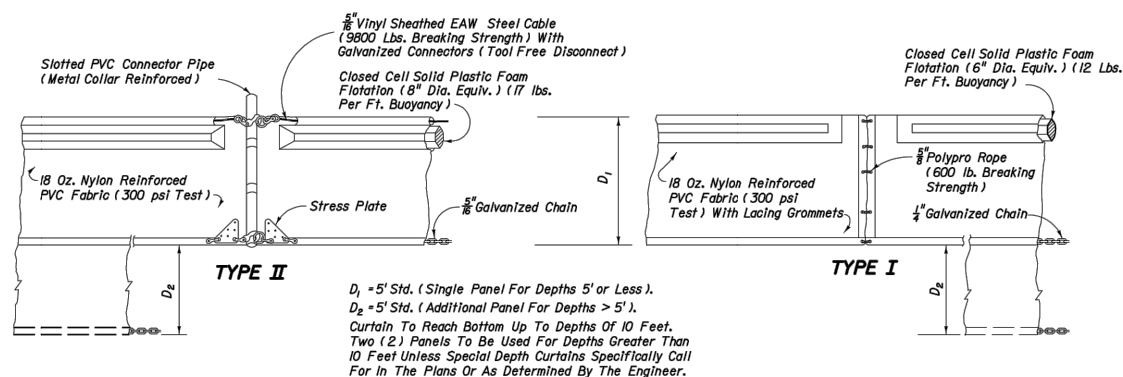
TO BE USED AT SELECT SITES WHERE THE
NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE

BARRIER FOR FILL SLOPE

EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES

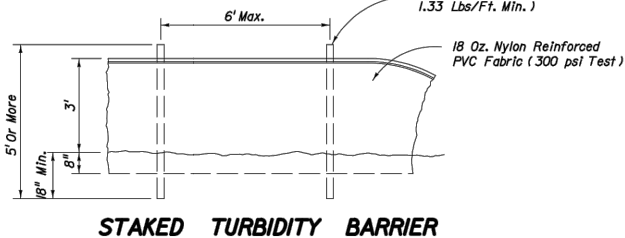


TYPE III SILT FENCE

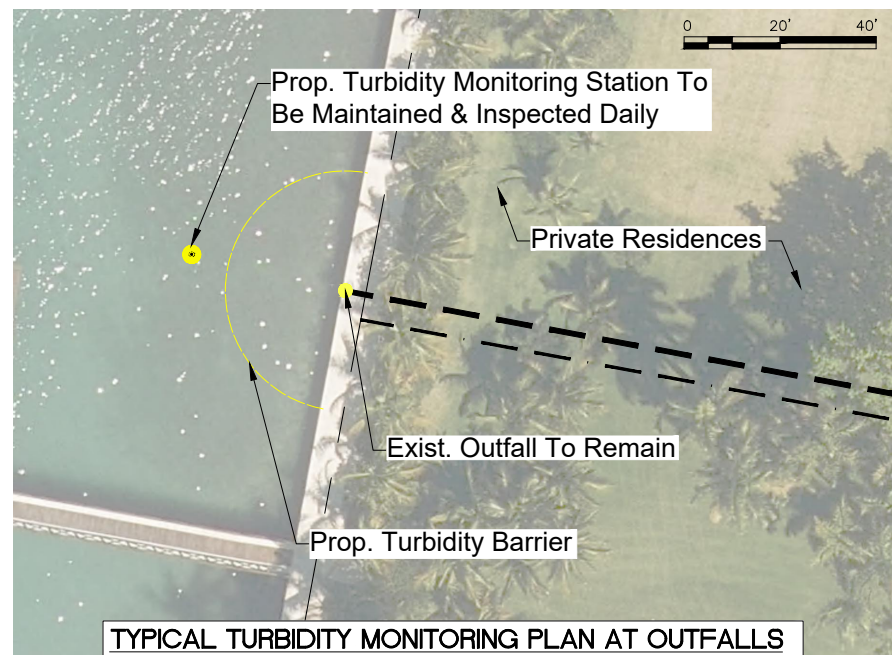


NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER. SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

FLOATING TURBIDITY BARRIERS



STAKED TURBIDITY BARRIER



TYPICAL TURBIDITY MONITORING PLAN AT OUTFALLS

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SWPPP.DWG	RM	CMH	---	2020-12-01
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SWPPP DETAILS

Project No.
215615771

Drawing No.

G-09

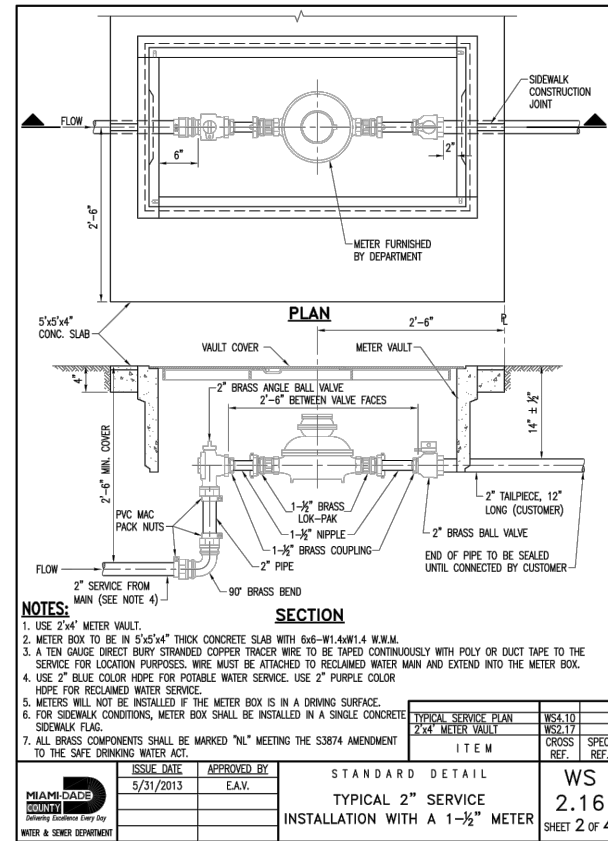
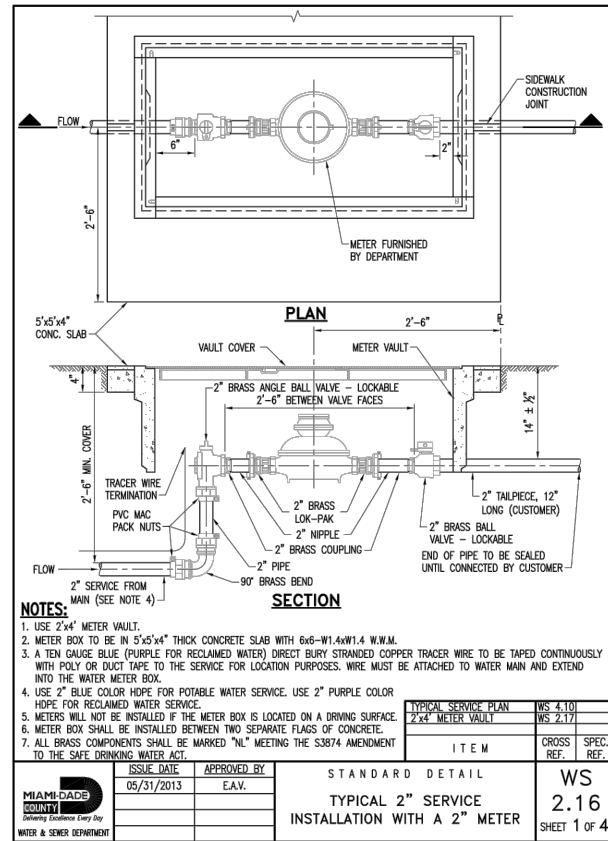
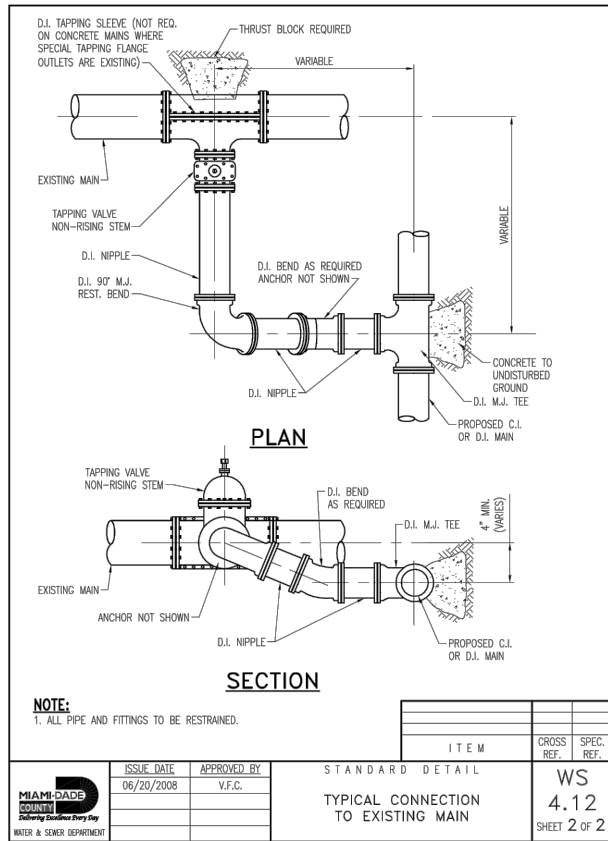
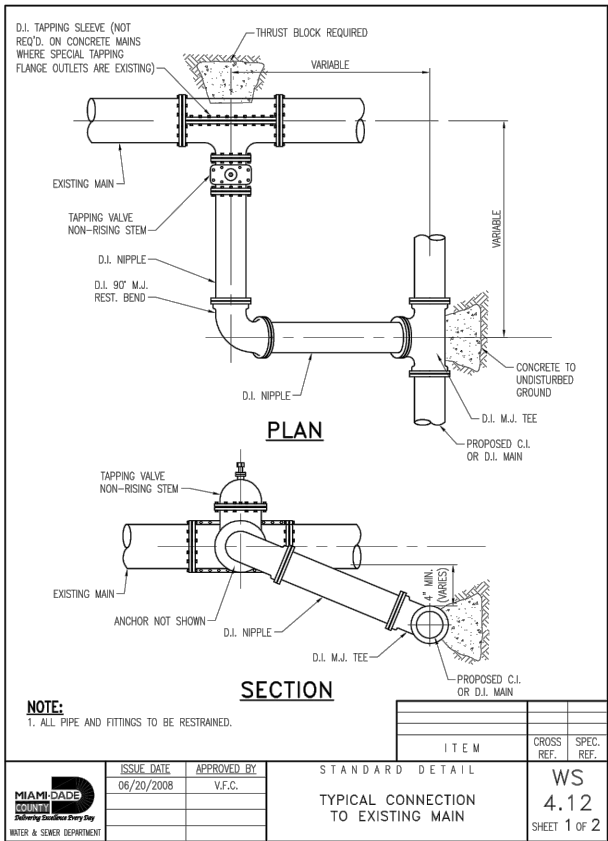
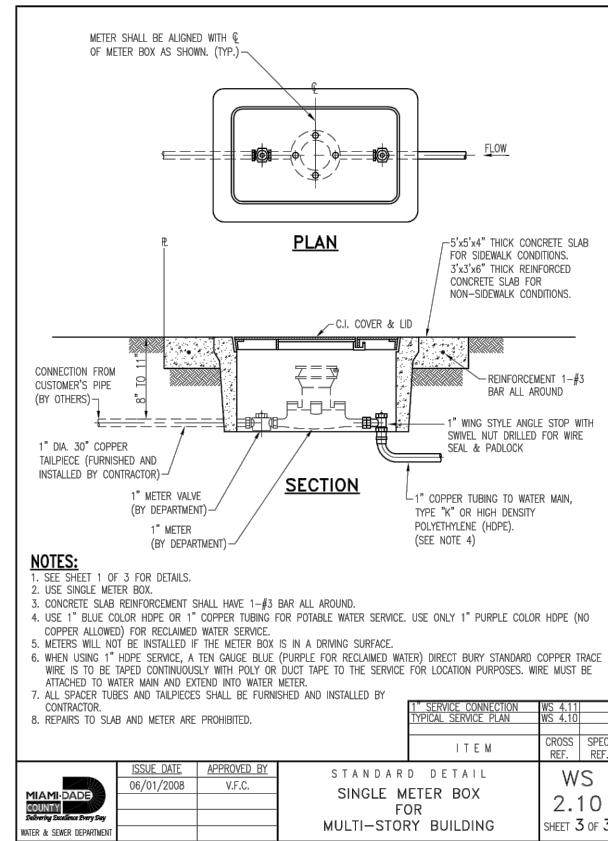
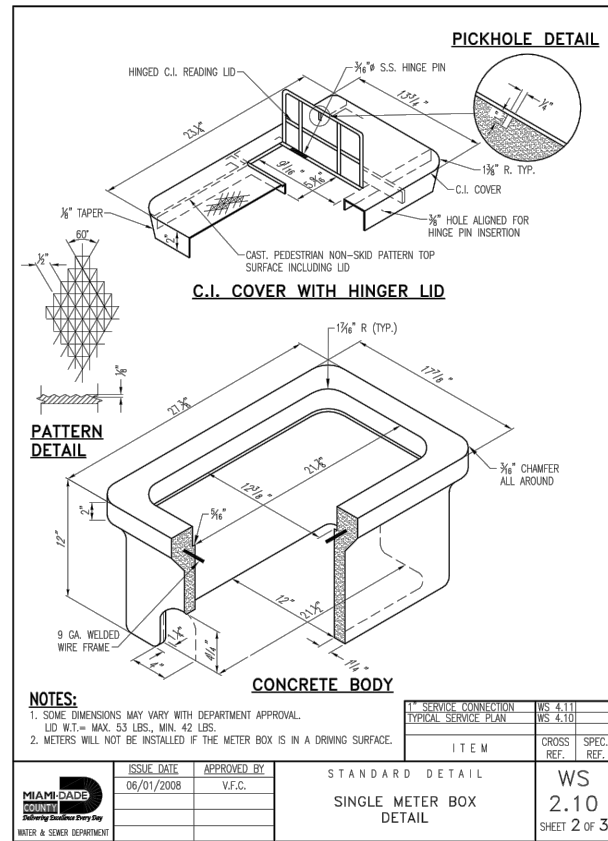
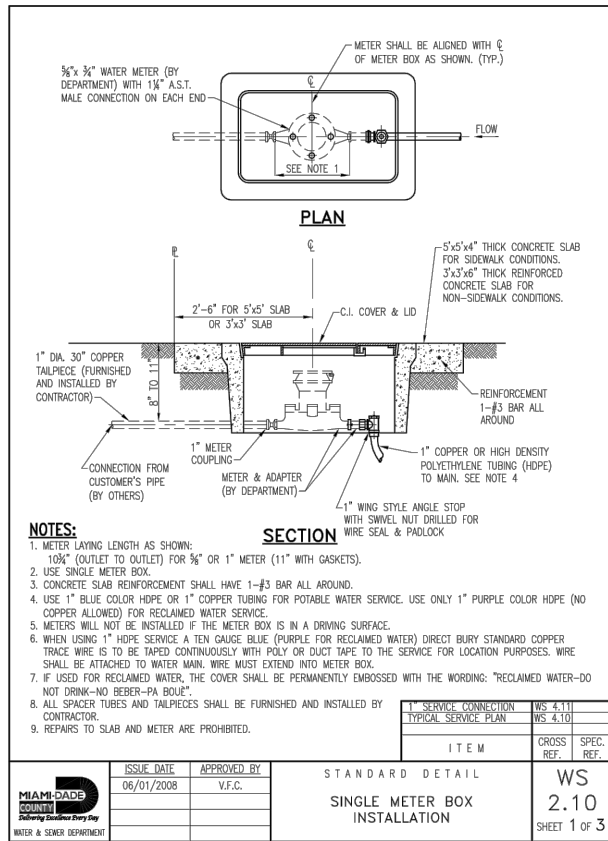
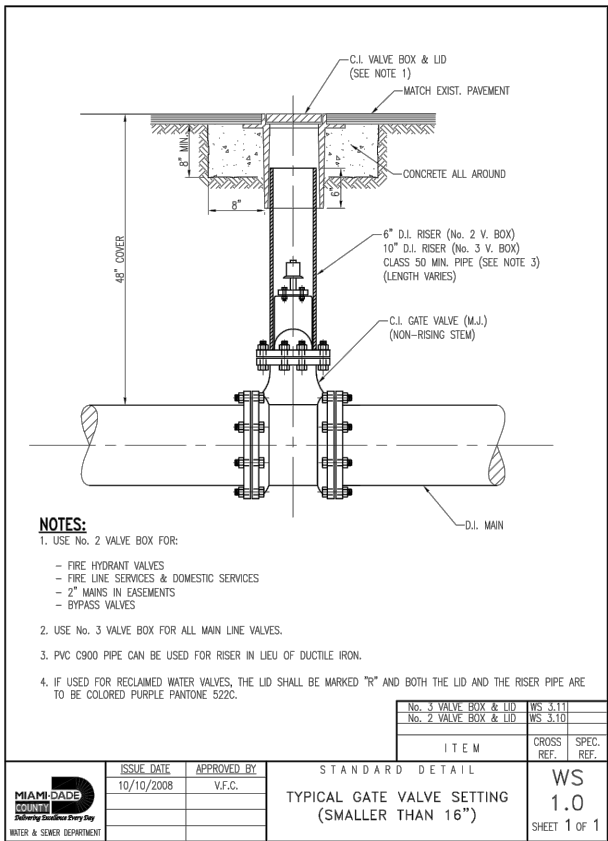
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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_GENERAL NOTES.DWG

2020-12-02
Dwn. Chkd. Dsgn. YYYY.MM.DD

WATER & SEWER DETAILS

Project No. 215615771

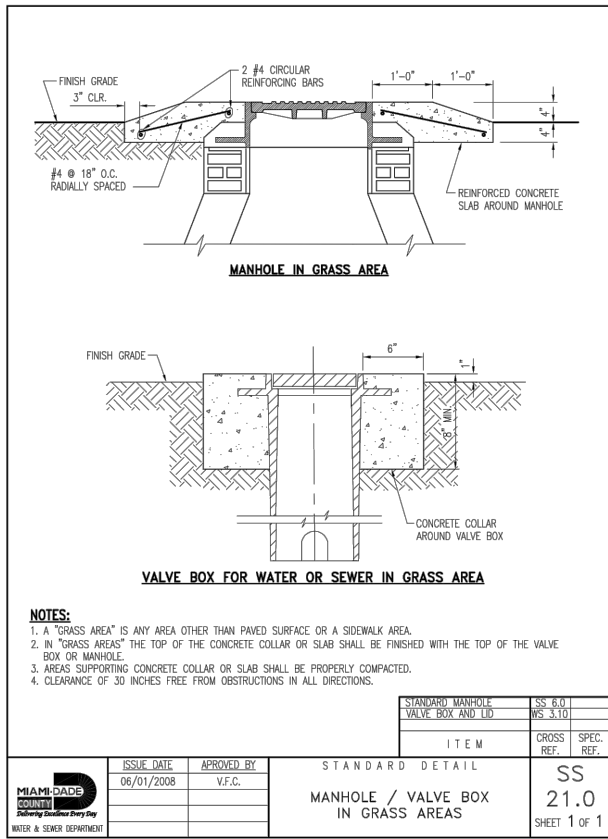
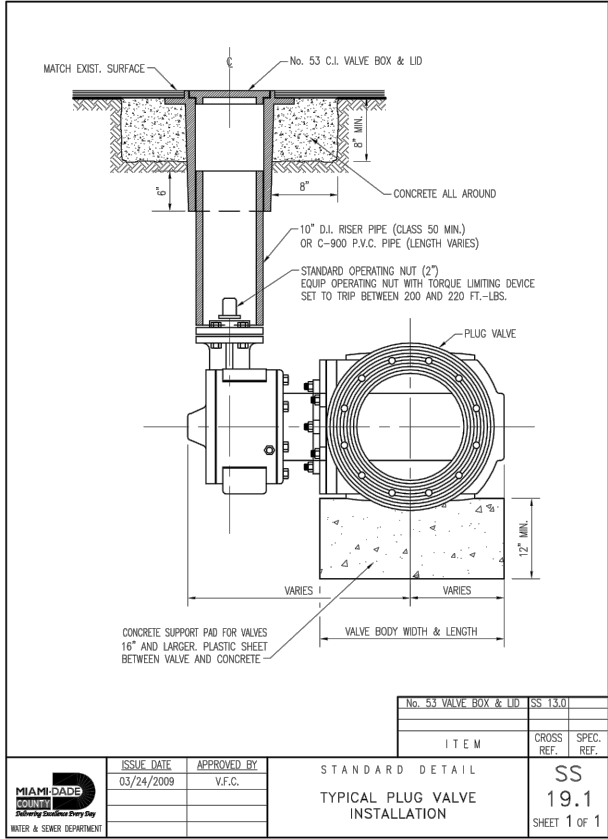
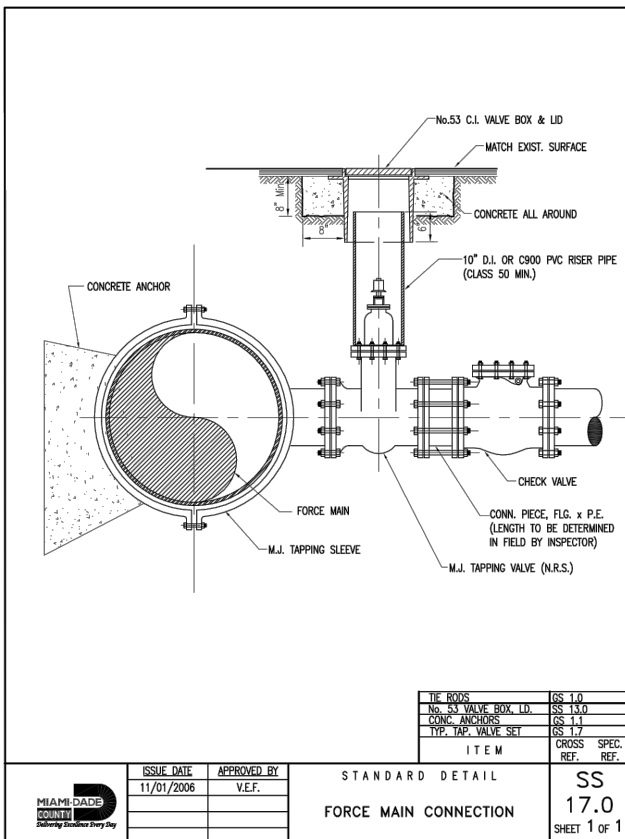
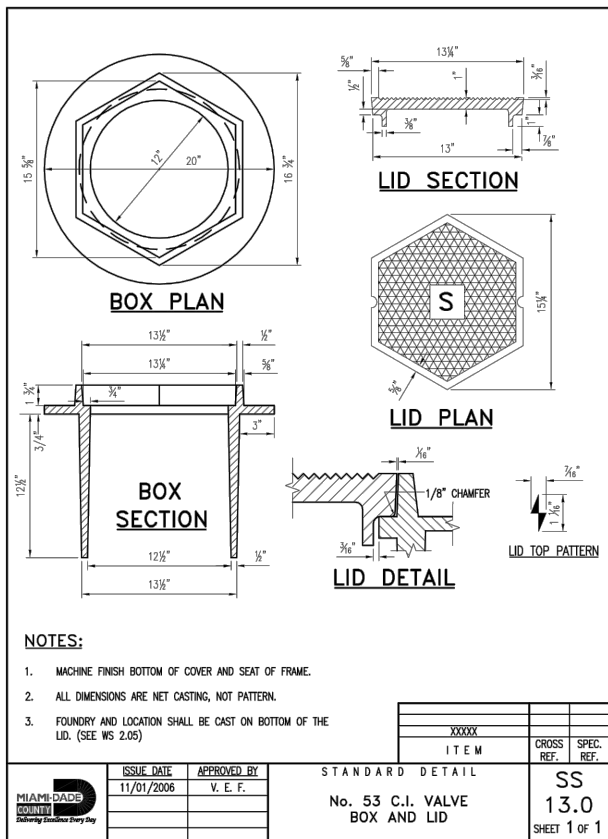
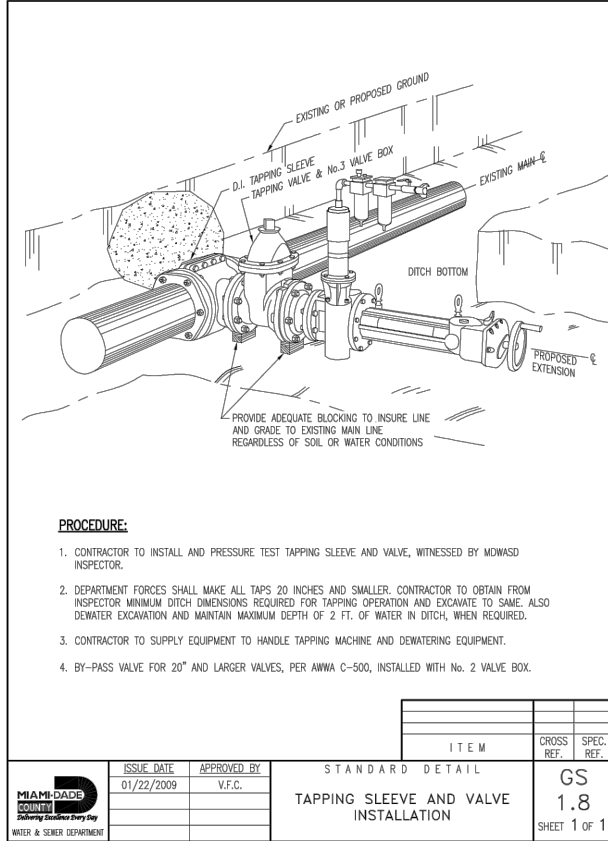
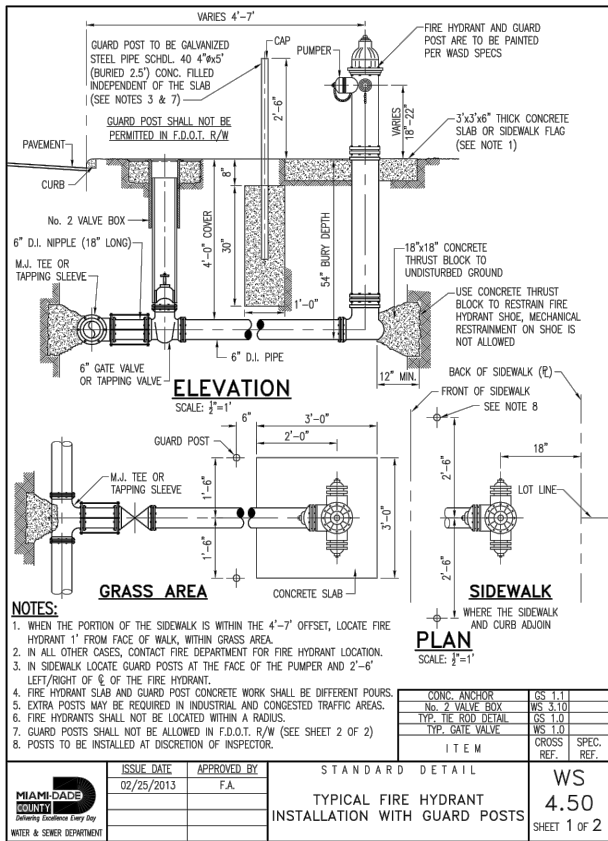
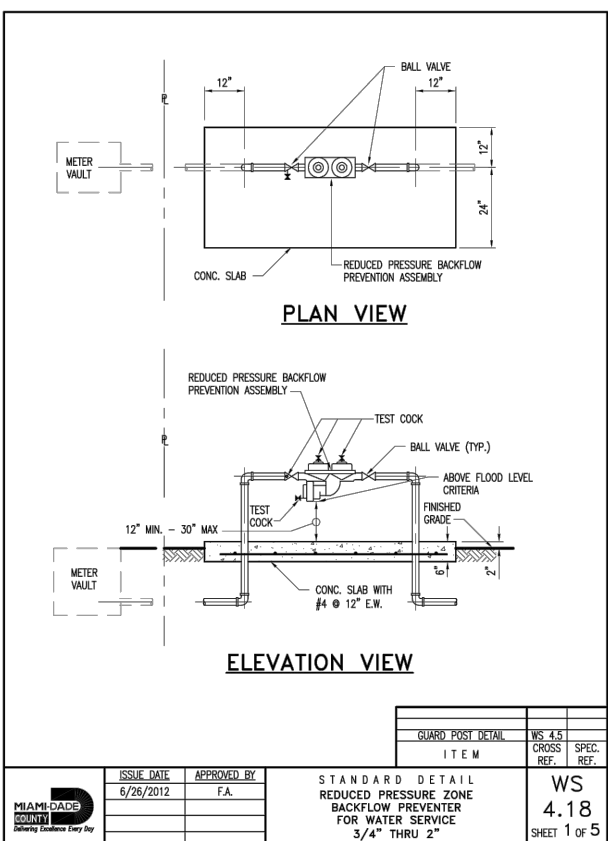
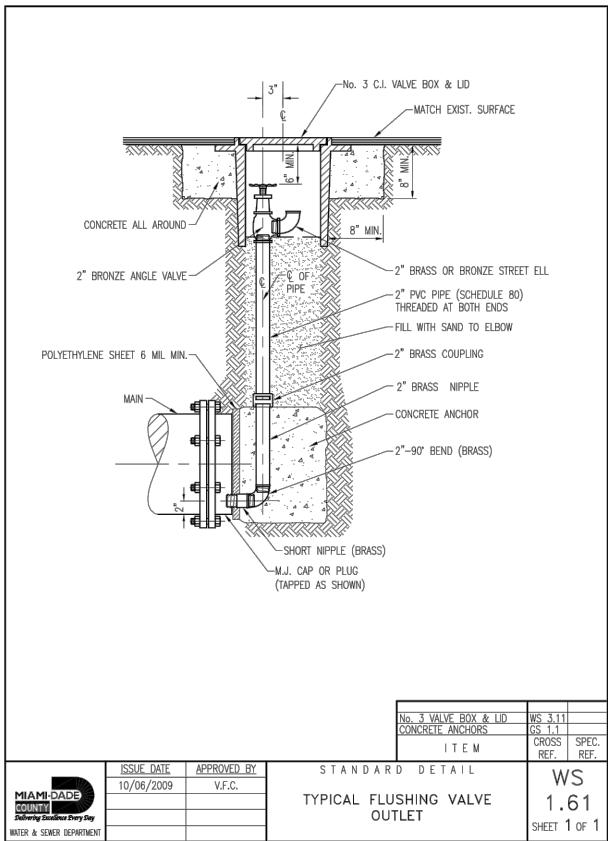
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Drawing No. G-10

Sheet

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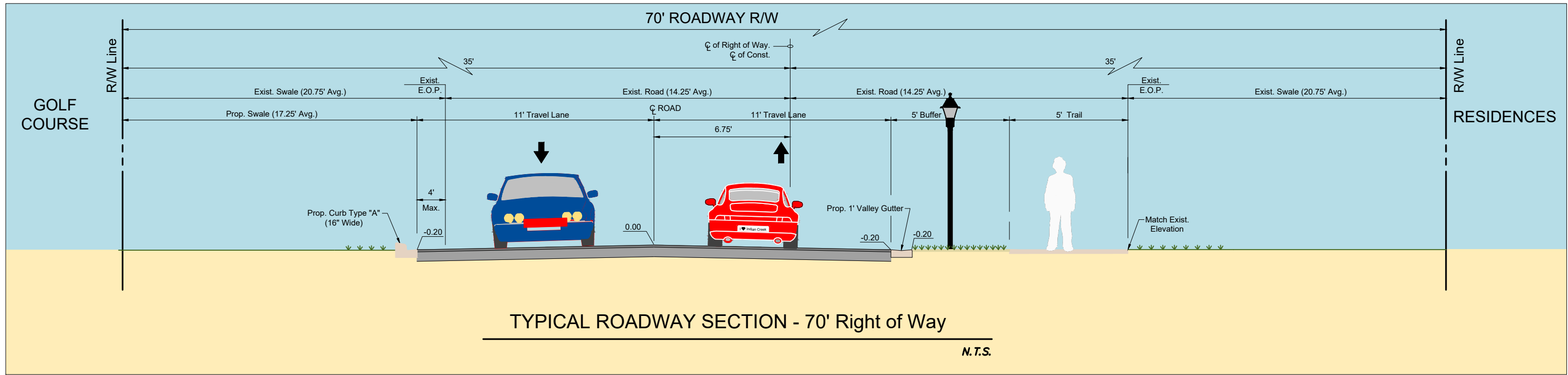
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_GENERAL NOTES.DWG

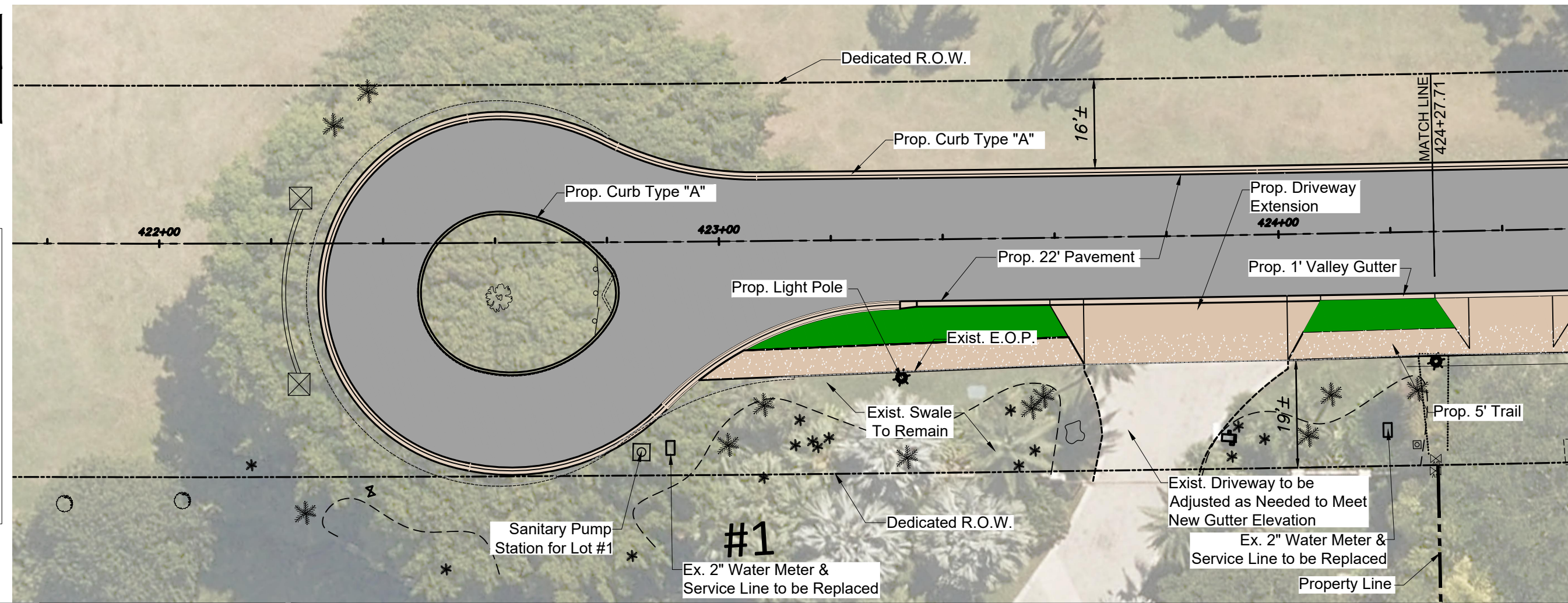
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Dwn.	Chkd.	Dgn.	YYYYMMDD

WATER & SEWER DETAILS

Project No.	Scale	
215615771		
Drawing No.	Sheet	Revision
G-11	152	

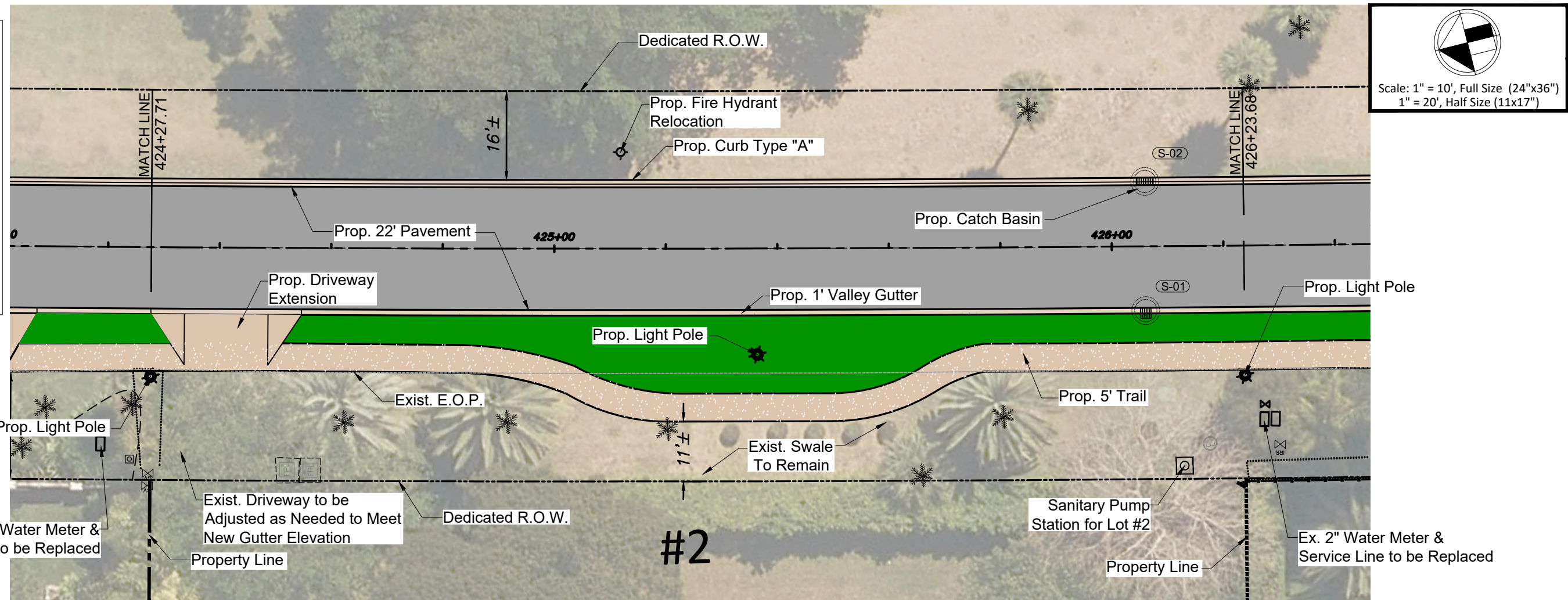
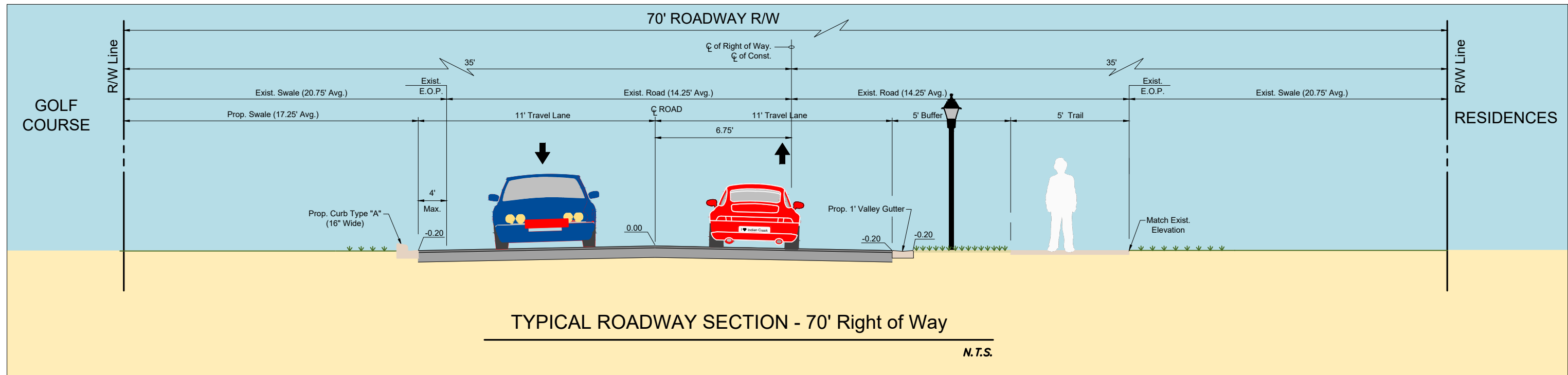


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1" = 20', Half Size (11x17")

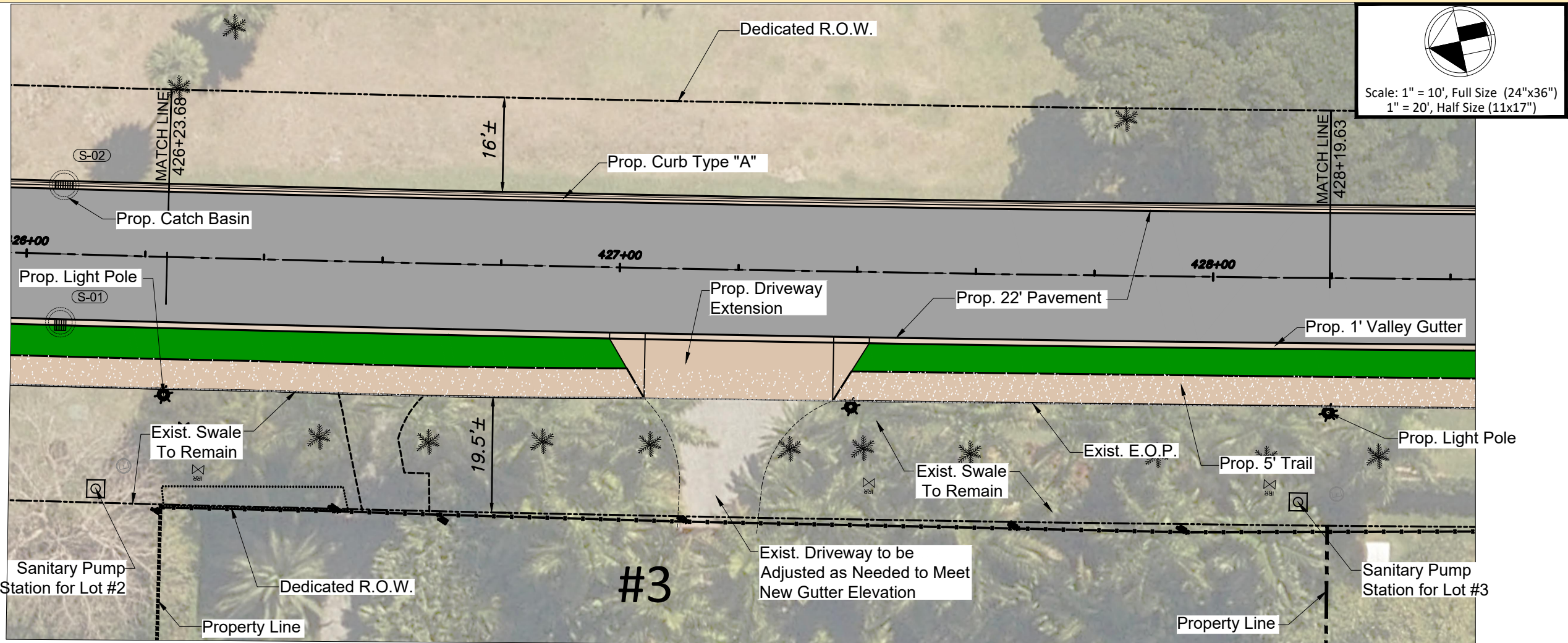
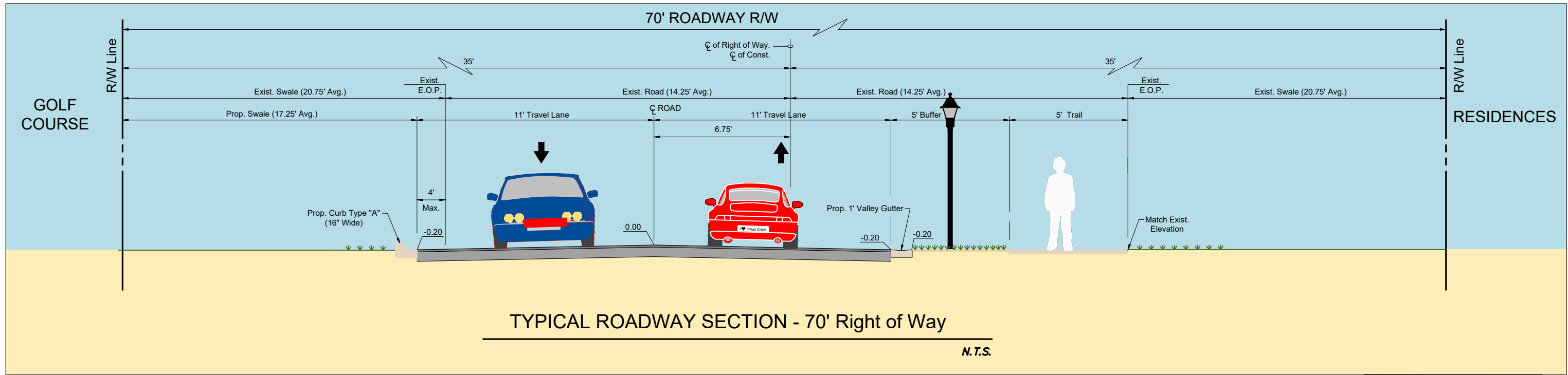


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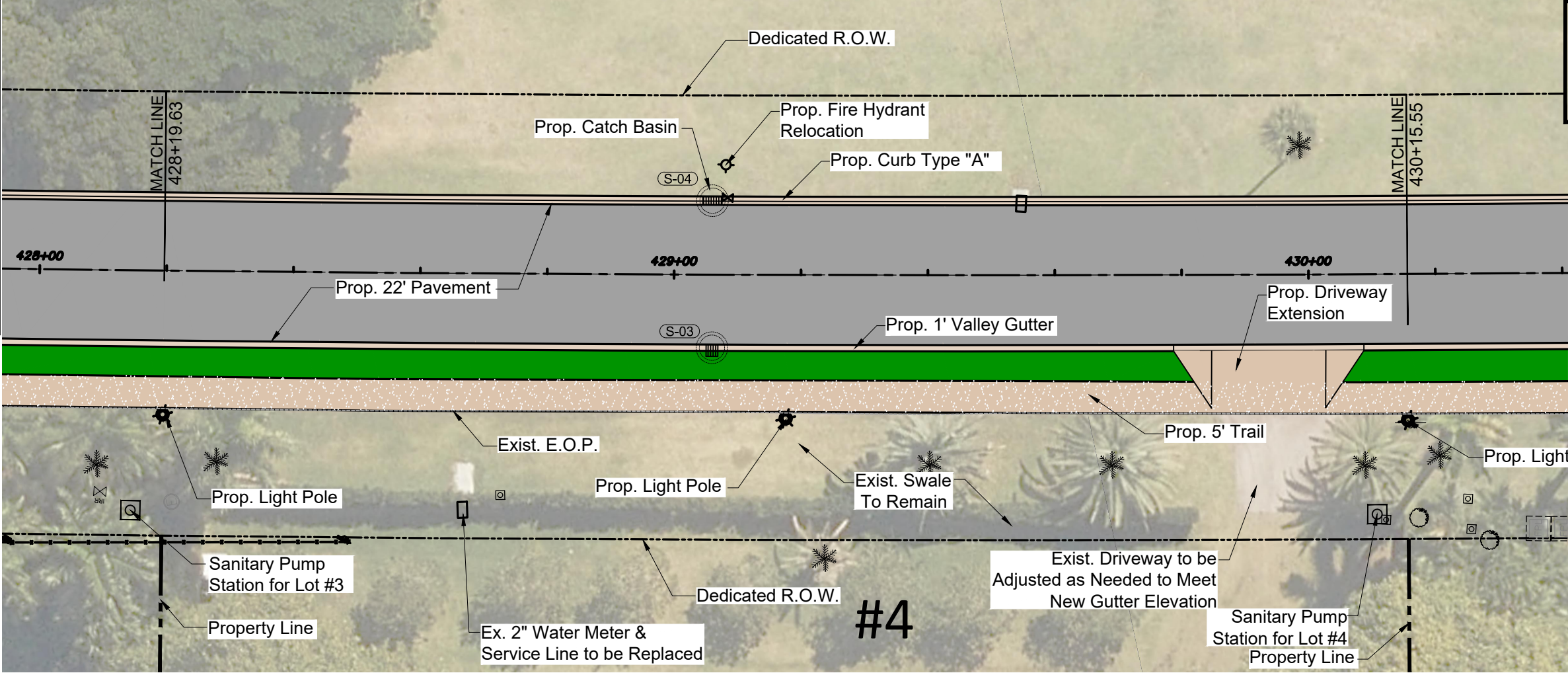
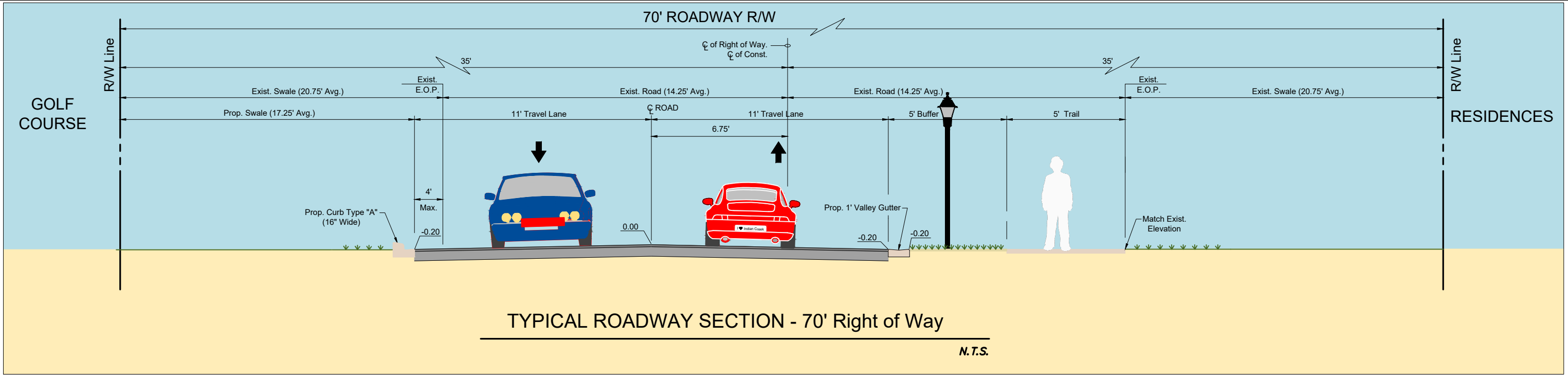
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SITE PLAN

Project No. 215615771
Drawing No. C-03

Scale SEE PLANS
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Revision



Scale: 1" = 10', Full Size (24"x36")
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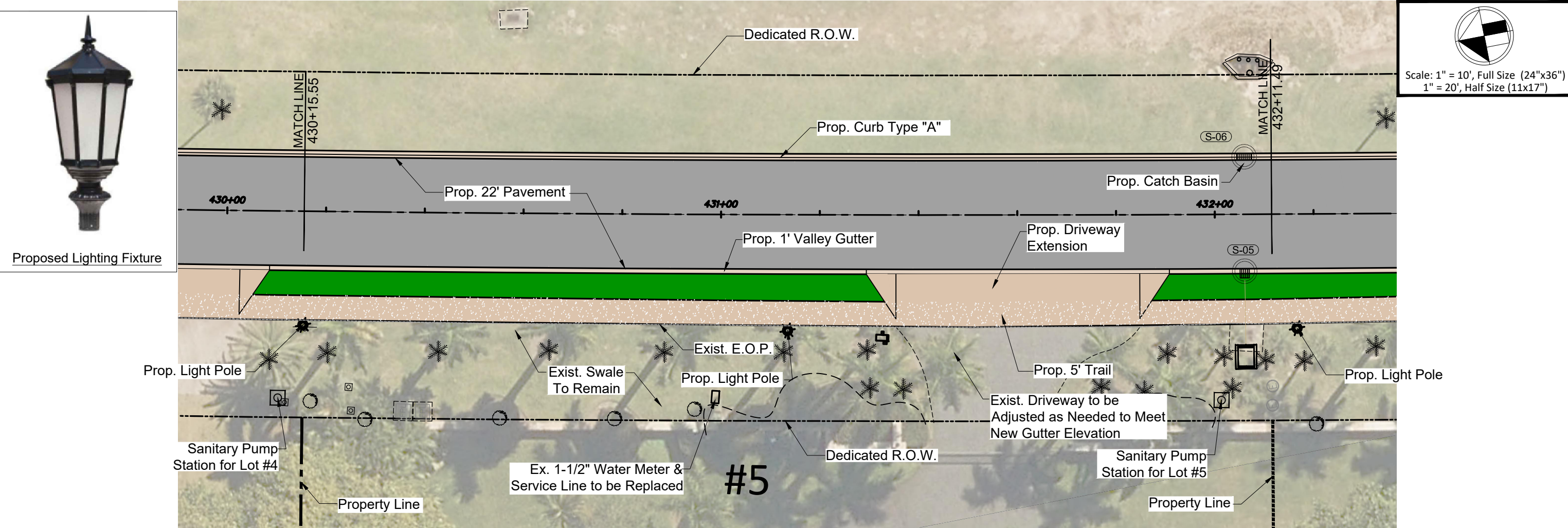
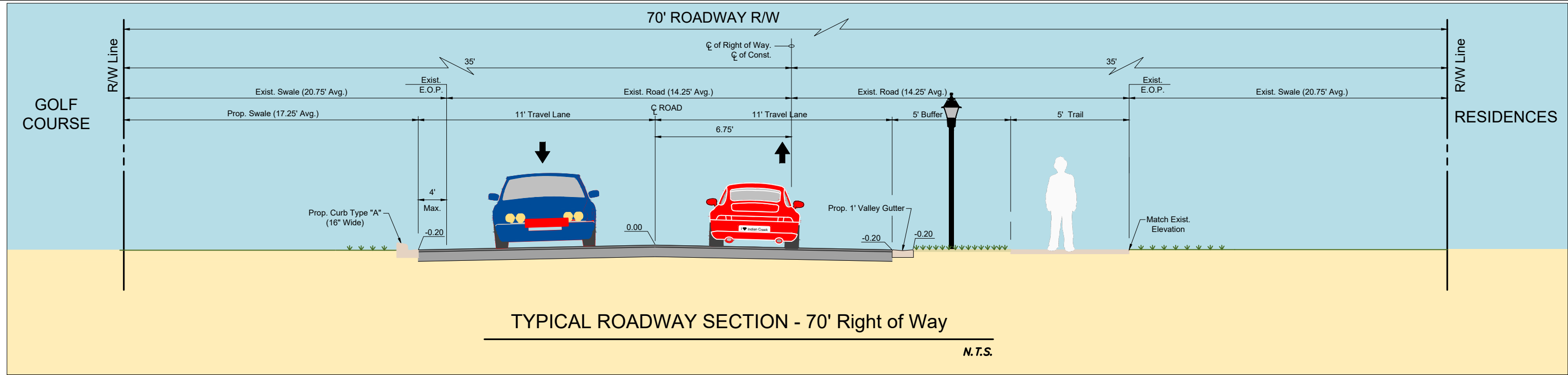
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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

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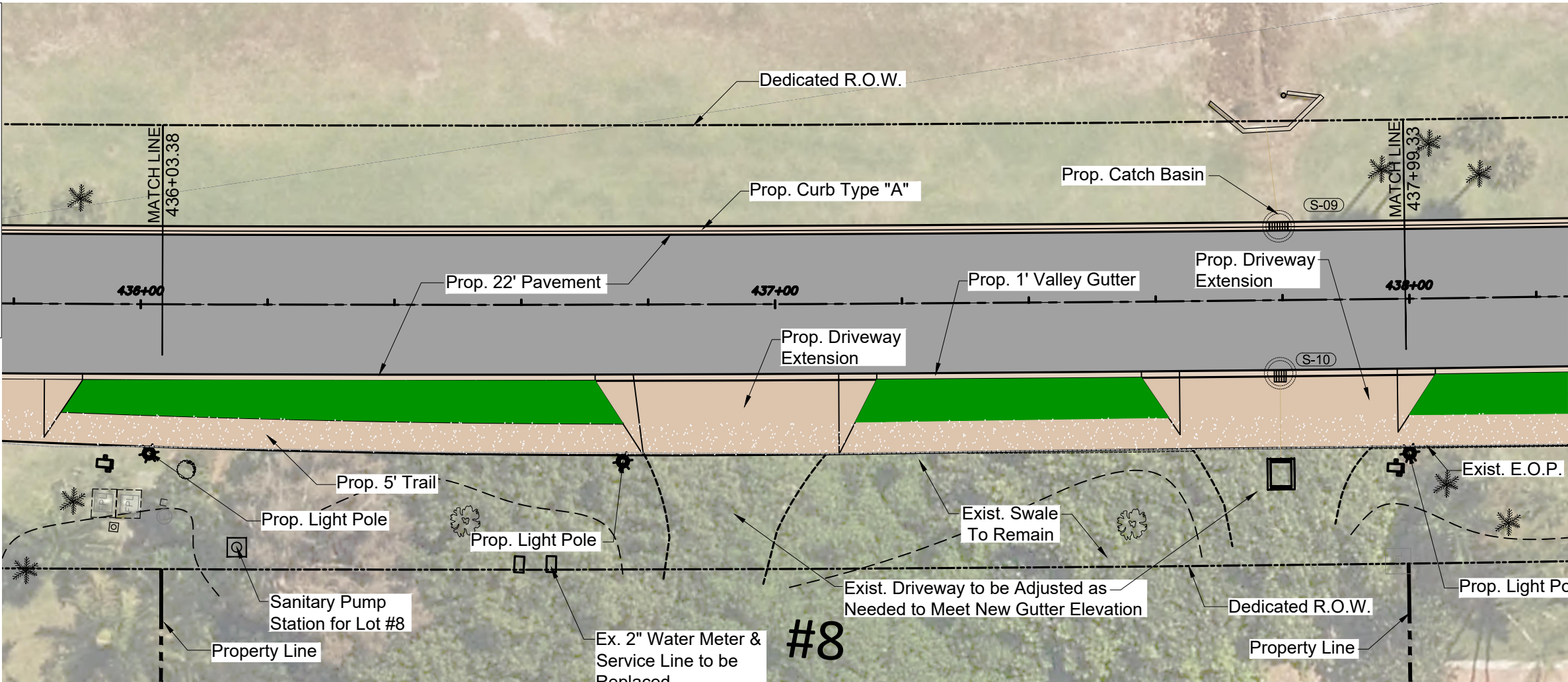
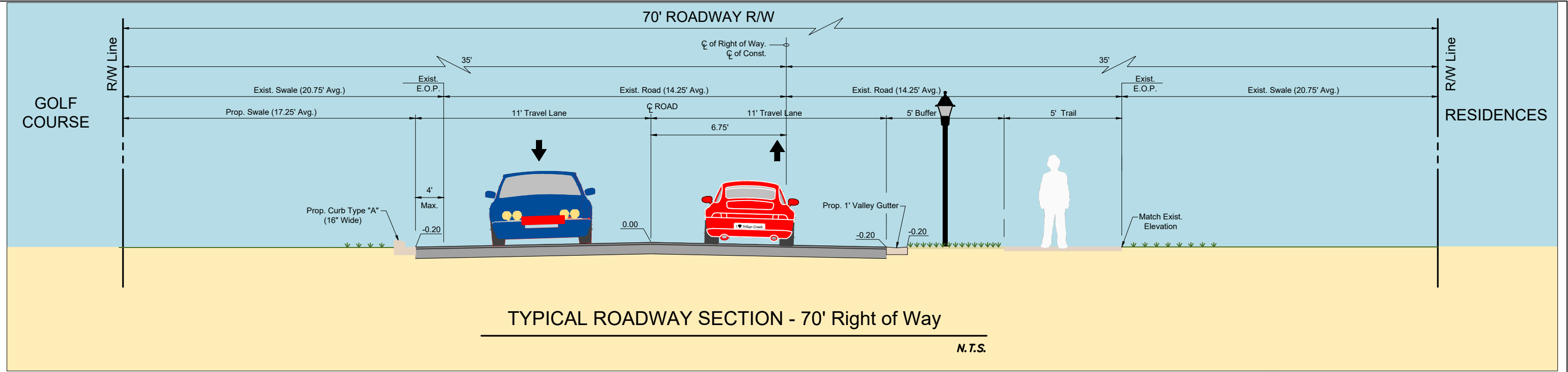
SITE PLAN

Project No. 215615771
Drawing No. C-04

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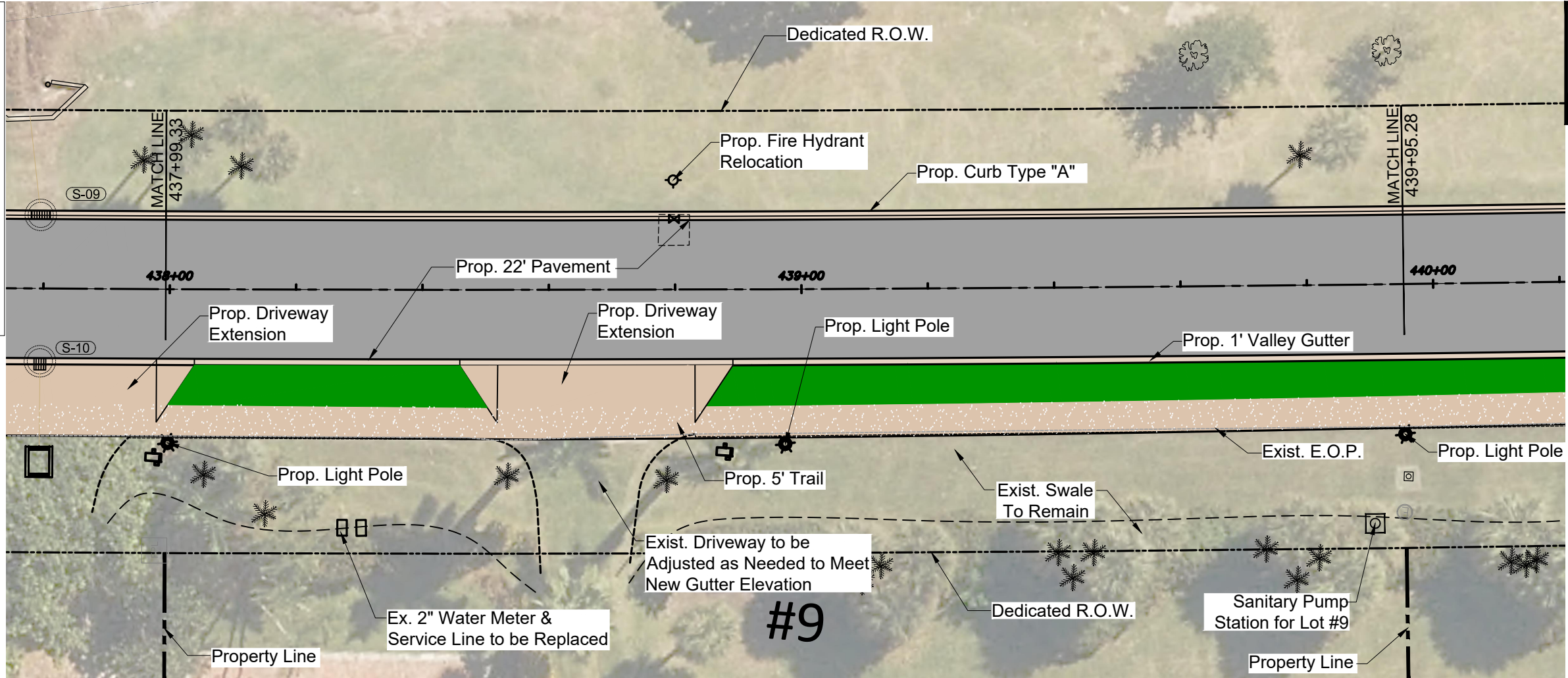
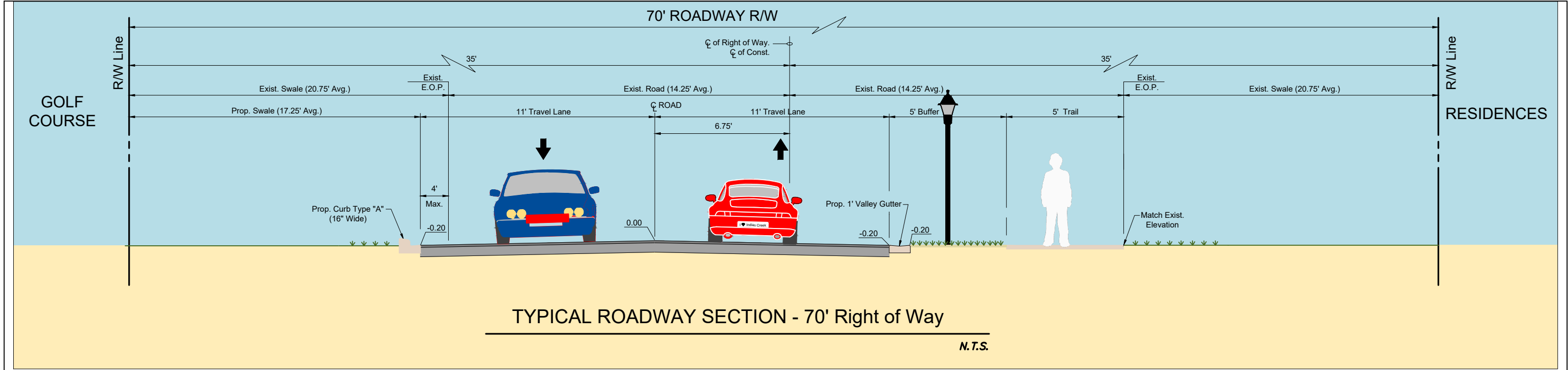
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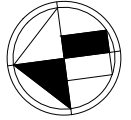
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Project No. 215615771 Scale SEE PLANS

Drawing No. C-08 Sheet Revision

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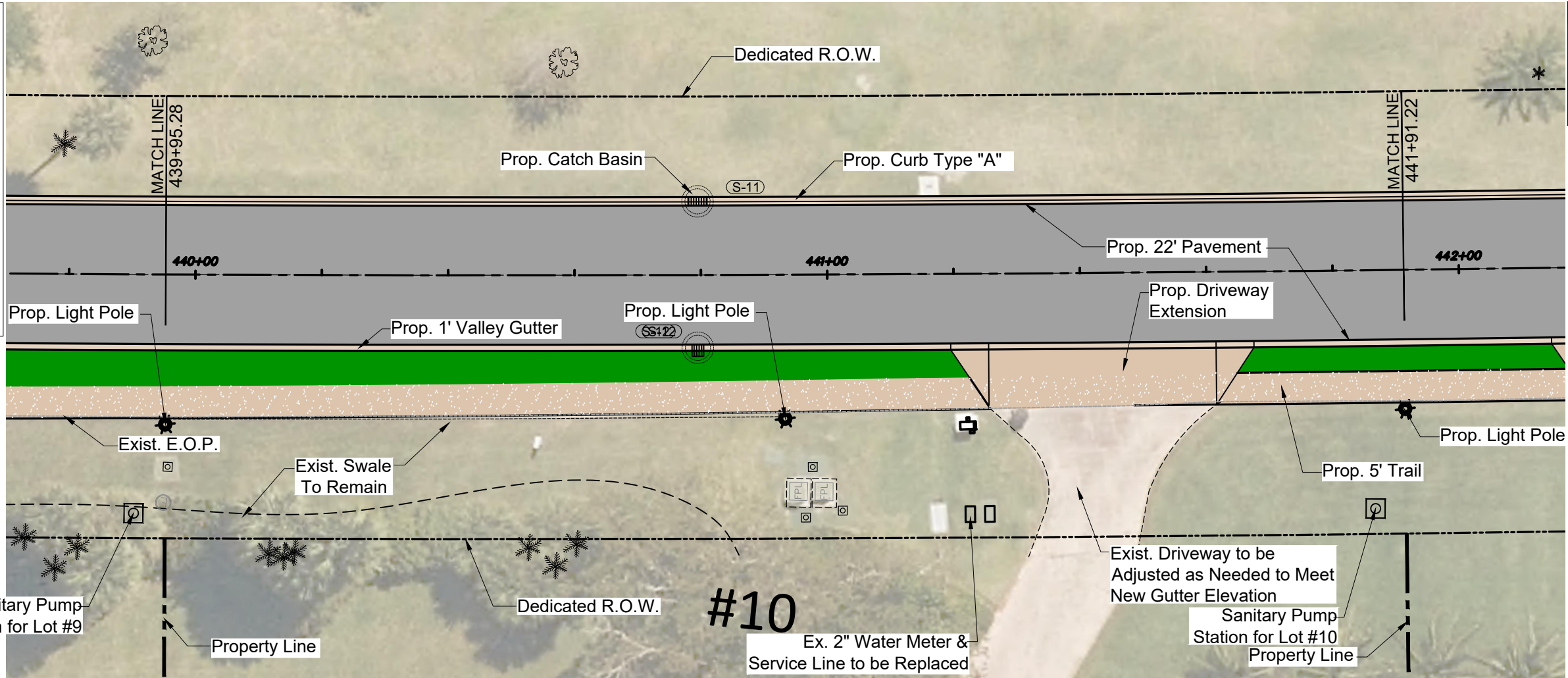
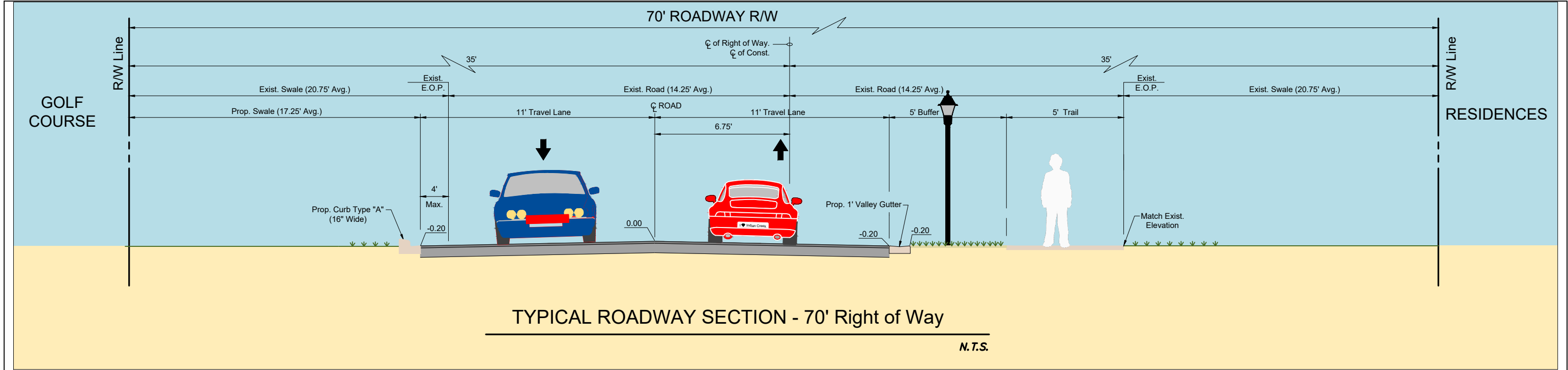
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Drawing No. C-09 Sheet Revision

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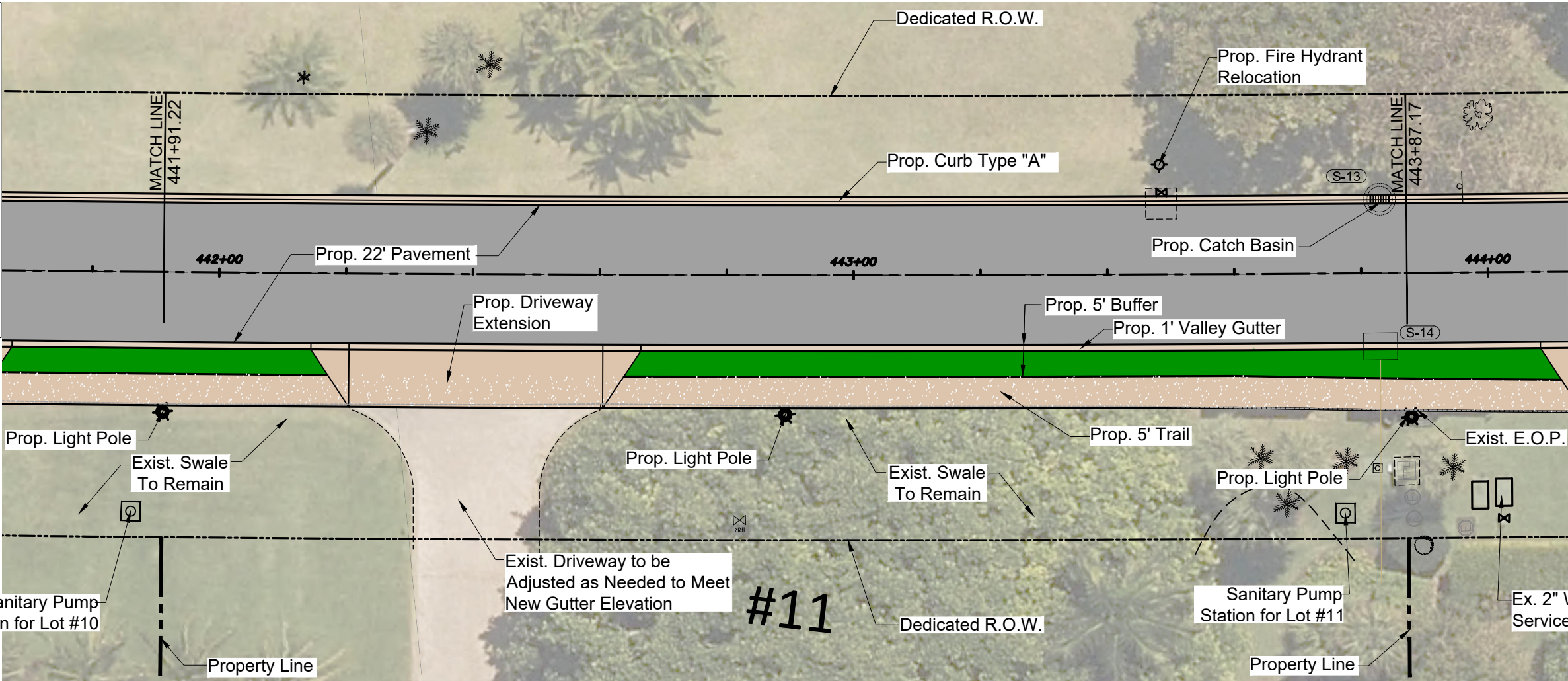
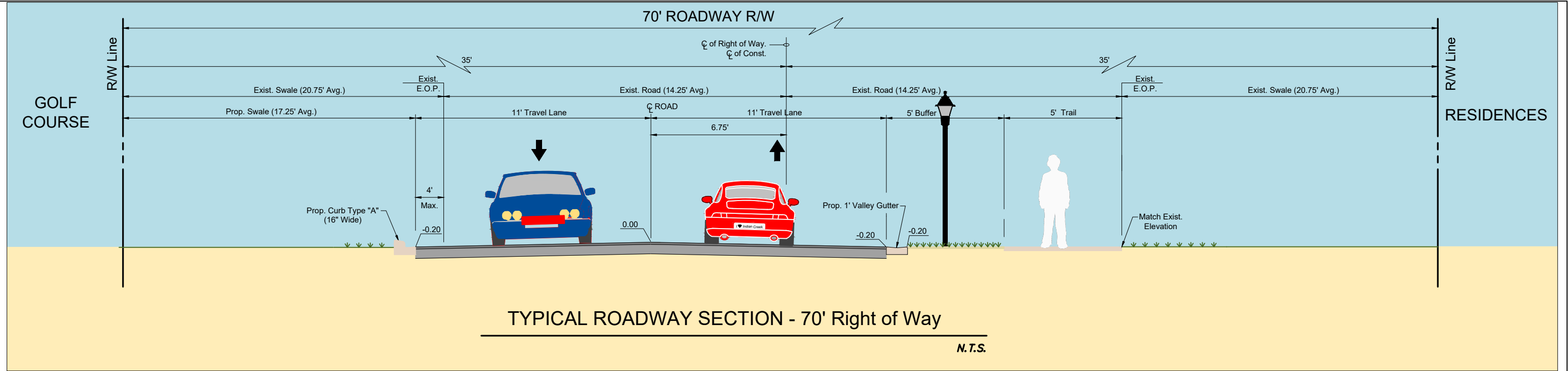
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SITE PLAN

Project No. 215615771
Drawing No. C-10

Scale SEE PLANS
Sheet of 152
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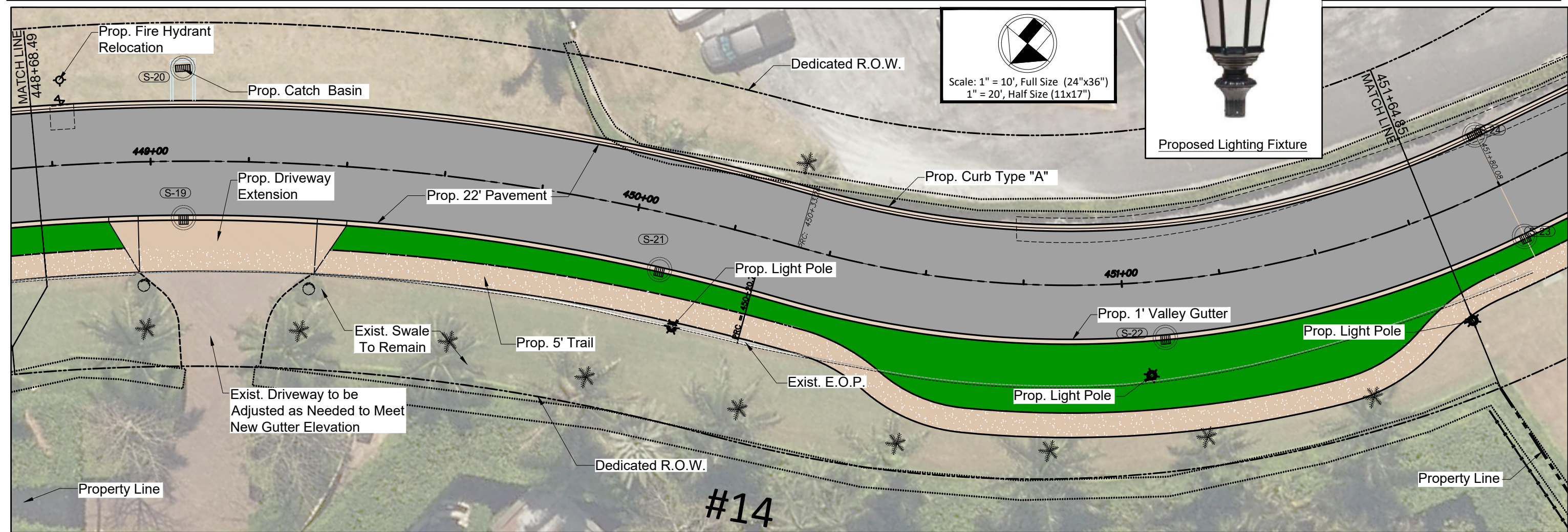
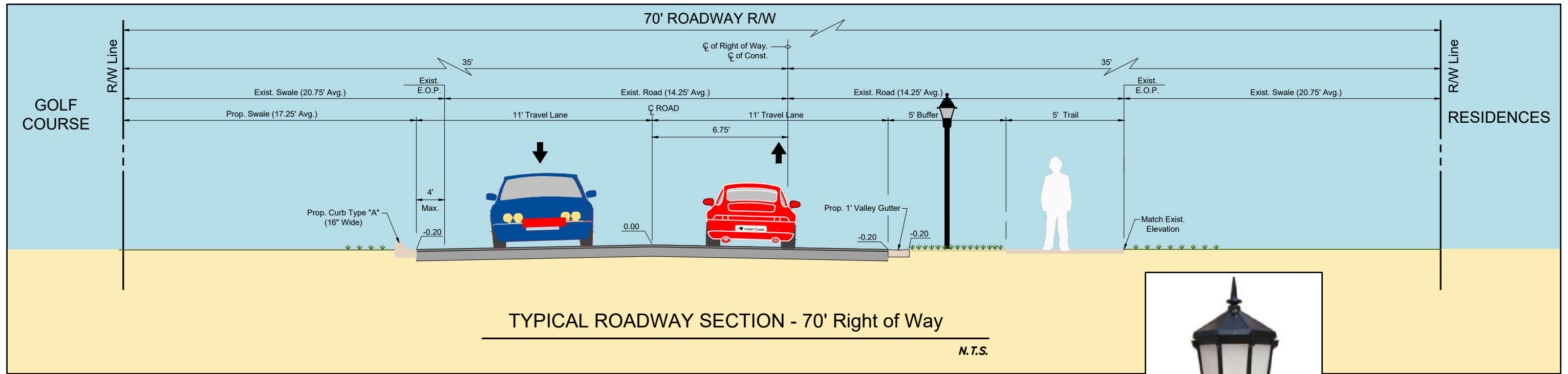
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INDIAN CREEK VILLAGE, FLORIDA

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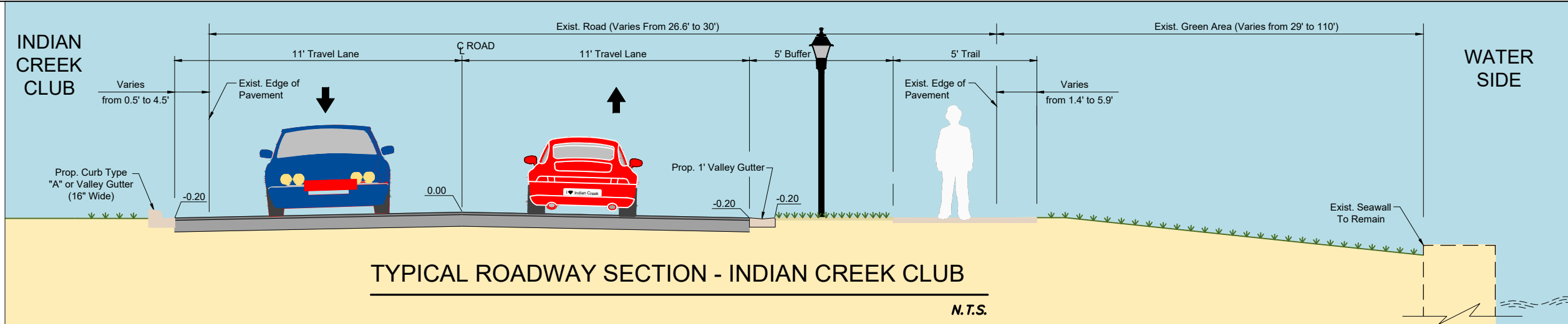
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Project No. 215615771
Drawing No. C-11

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Sheet 152
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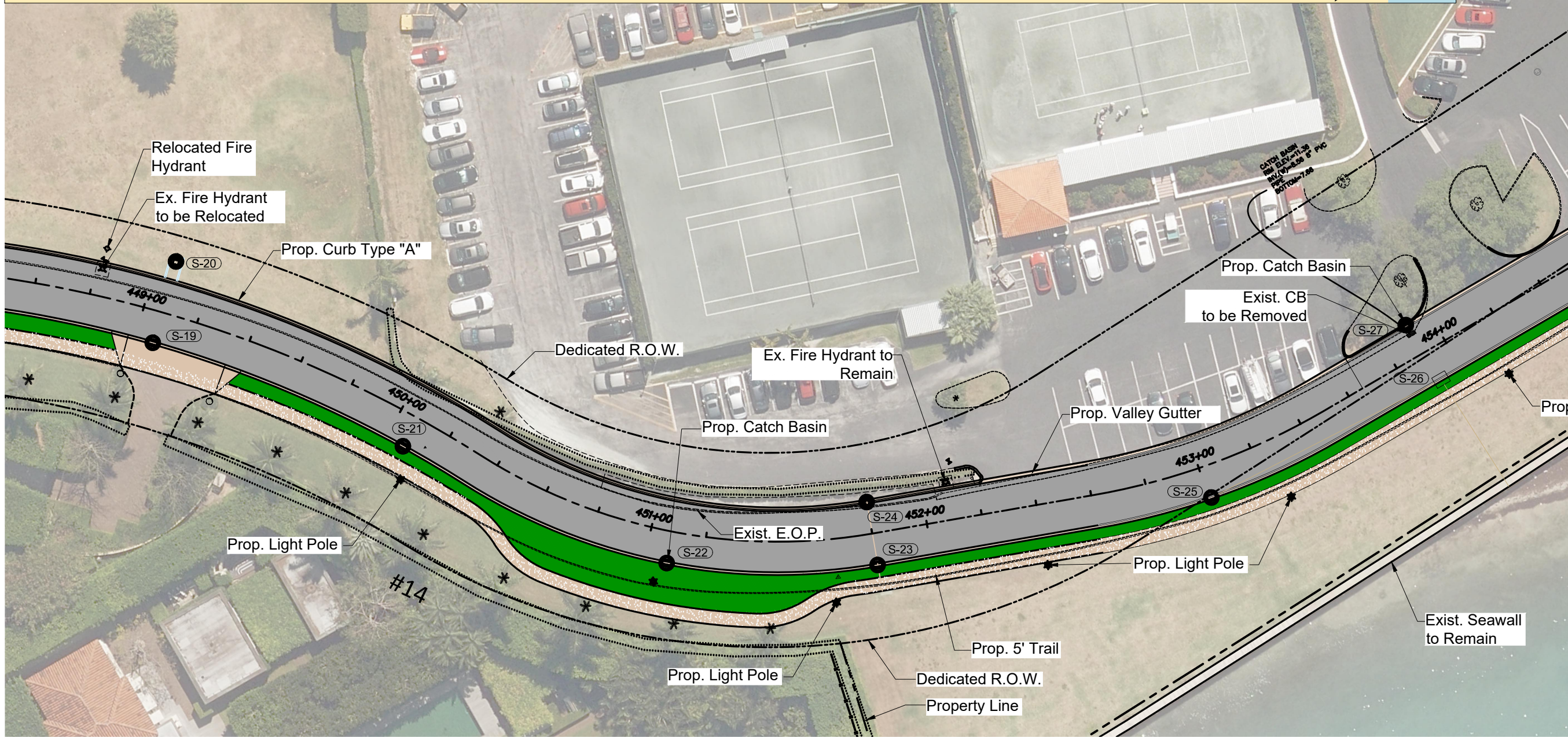


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TYPICAL ROADWAY SECTION - INDIAN CREEK CLUB

N.T.S.



Proposed Lighting Fixture

Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

Seal

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE_PLANS_CLUBHOUSE.DWG ## ## ### 2020-12-07
Dwn. Chkd. Dsgn. YYYY.MM.DD

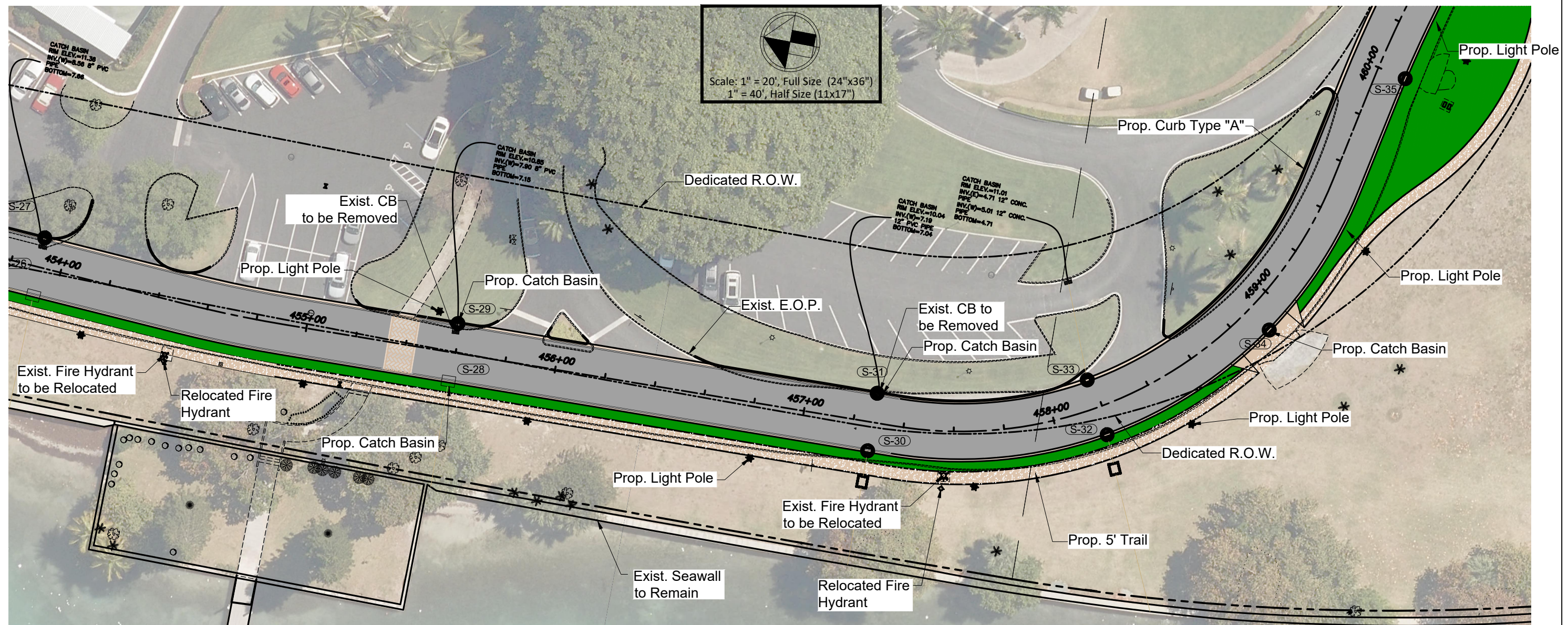
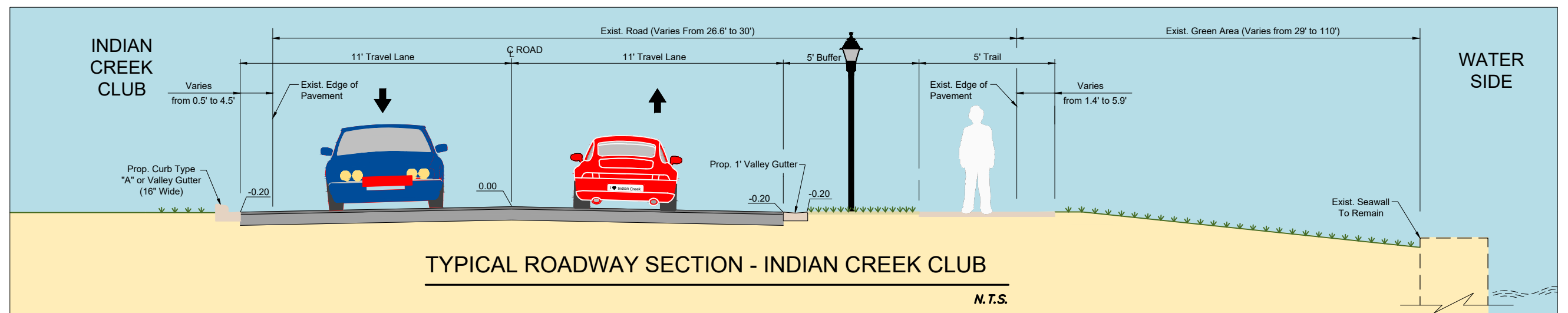
SITE PLAN

Project No. 215615771
Drawing No. C-15

Scale
Sheet
Revision

of 152

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS_CLUBHOUSE.DWG	##	##	####	2020-12-07
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SITE PLAN

Project No.
215615771

Drawing No.

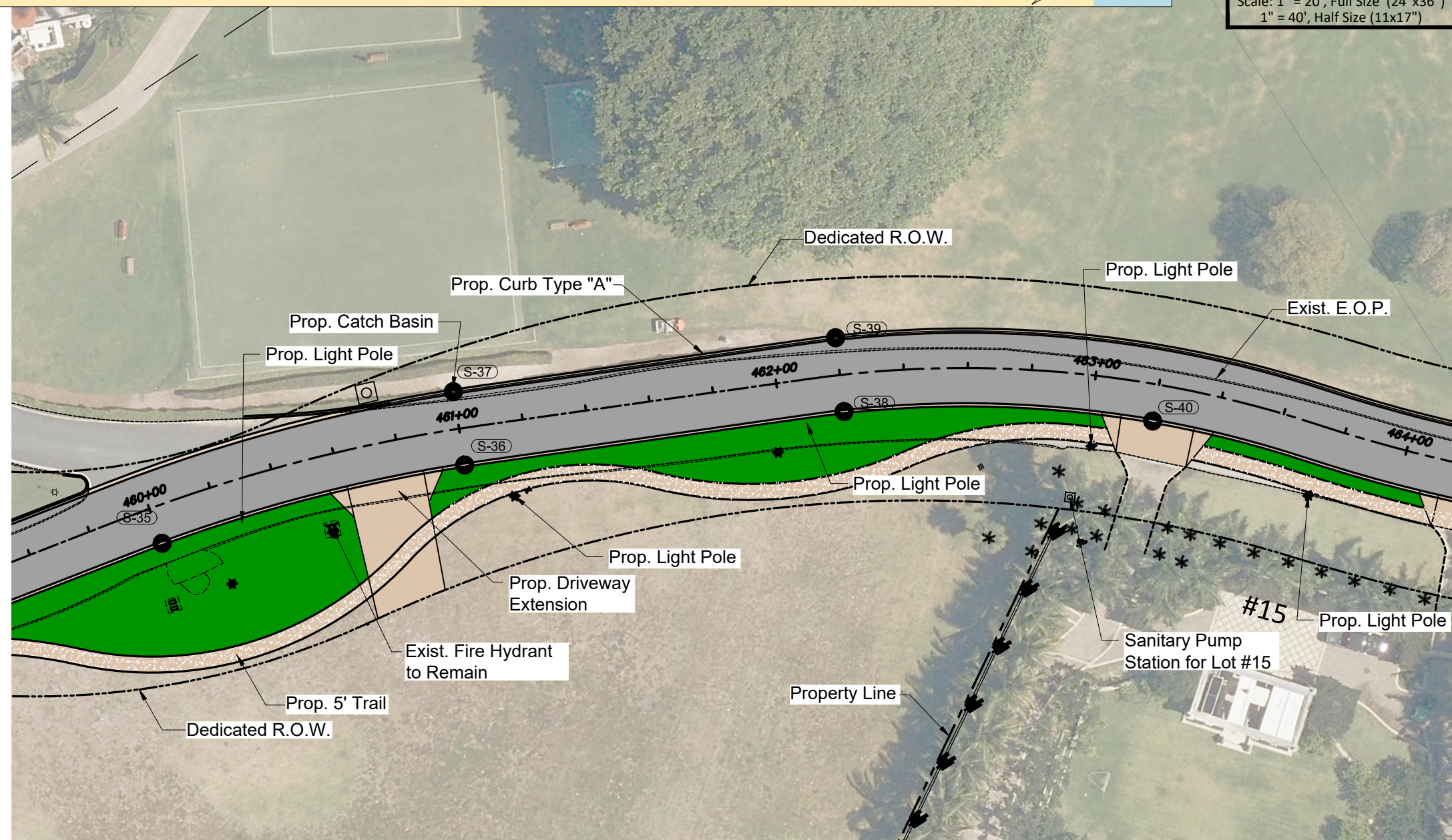
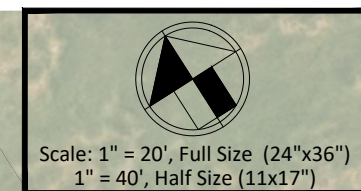
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Scale

Sheet

revision

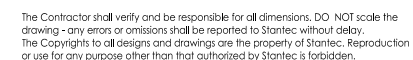
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Revision	By	Appd.	YY.MM.DD

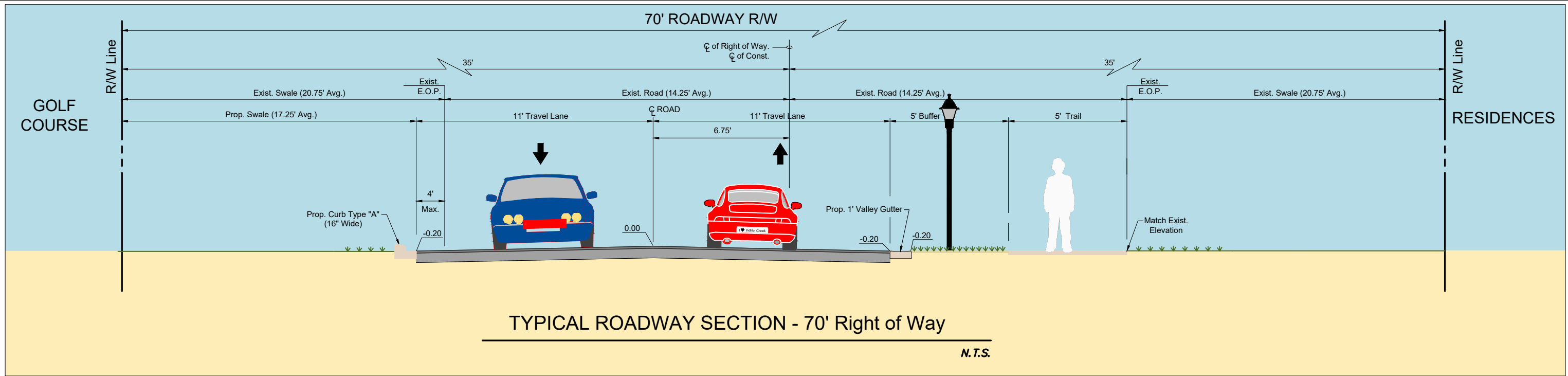
Issued	By	Appd.	YY.MM.DD

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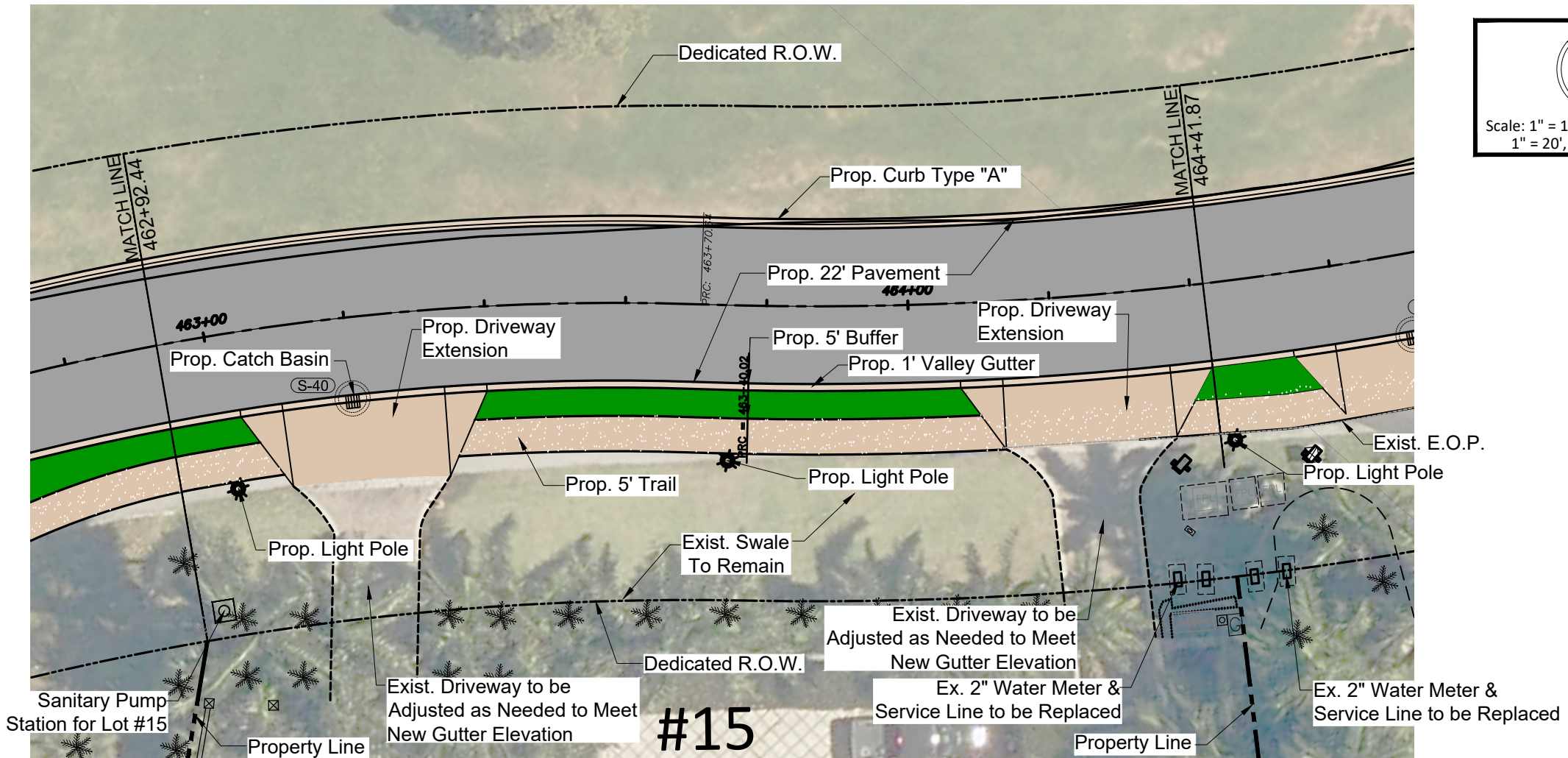



File Name: 15771_SITE PLANS_CLUBHOUSE.DWG	##	##	####	2020-12-07
	Dwn	Chkd	Dsgn	YYYY MM DD

of 152



Proposed Lighting Fixture





Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

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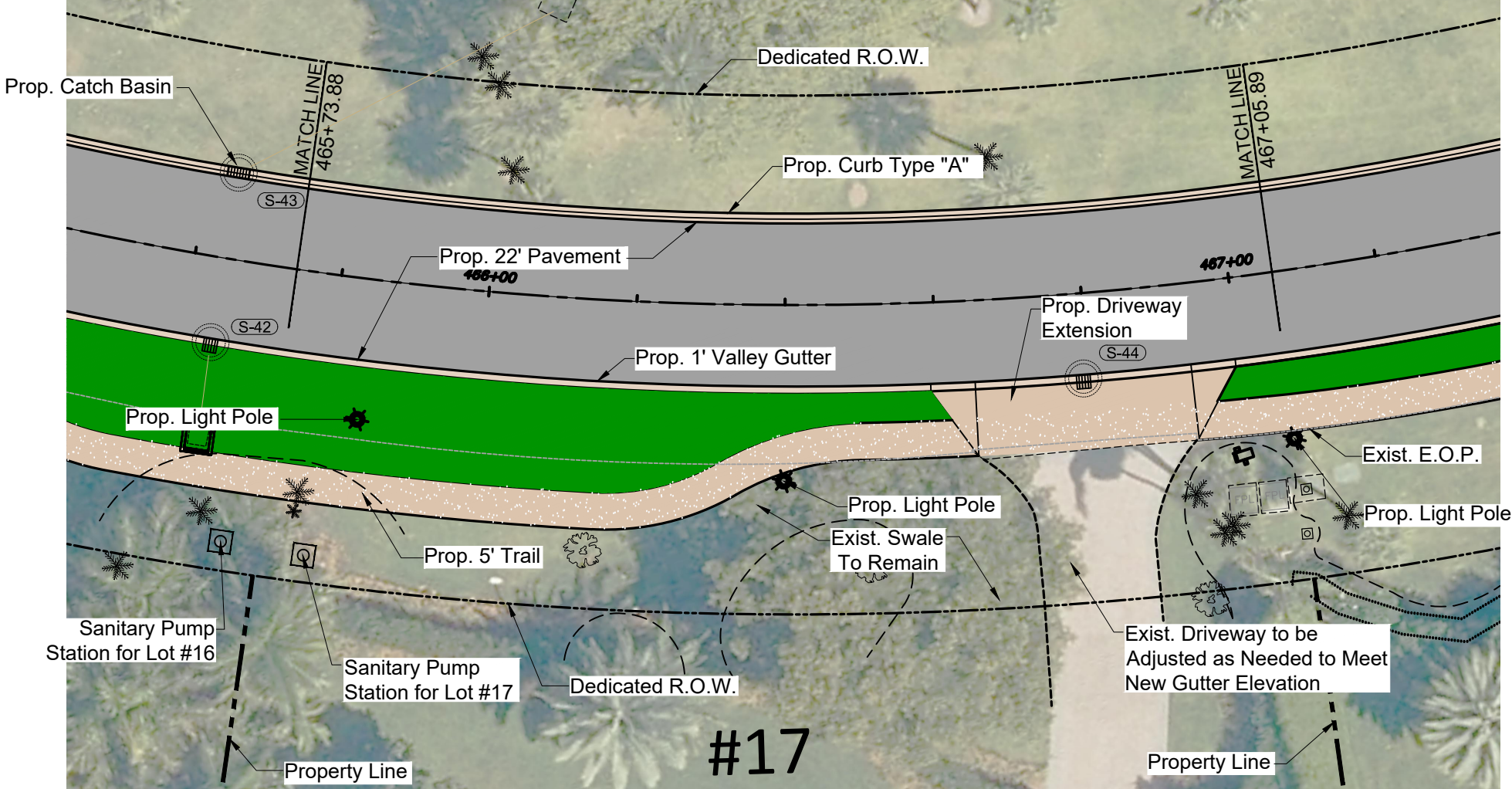
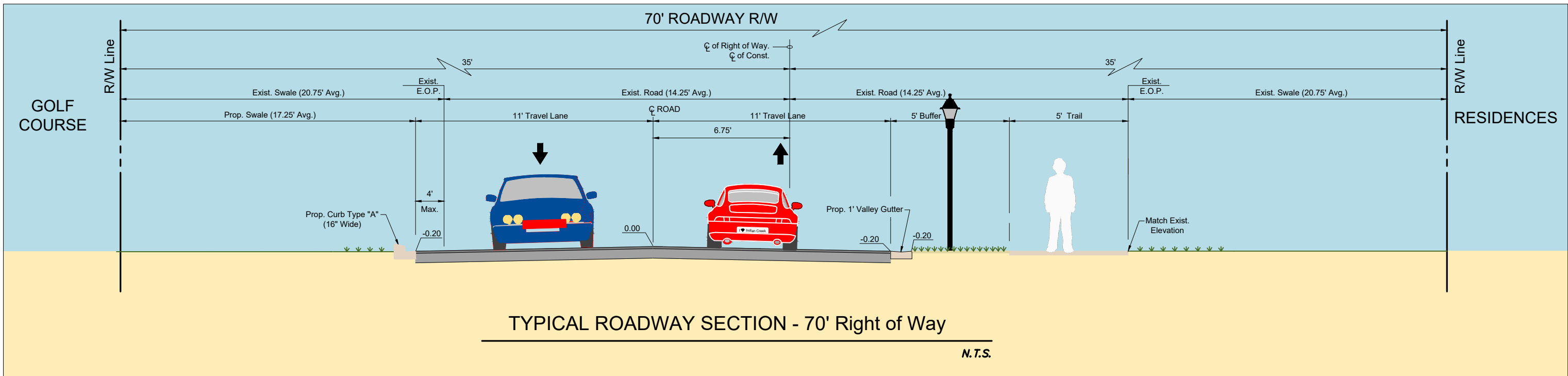
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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS.DWG RM CH 2020-12-07
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SITE PLAN

Project No. 215615771	Scale SEE PLANS
Drawing No. C-18	Sheet 152
Revision	Revision



Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

Seal

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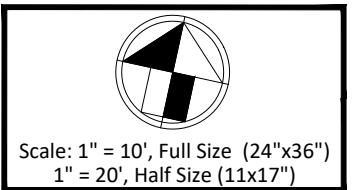
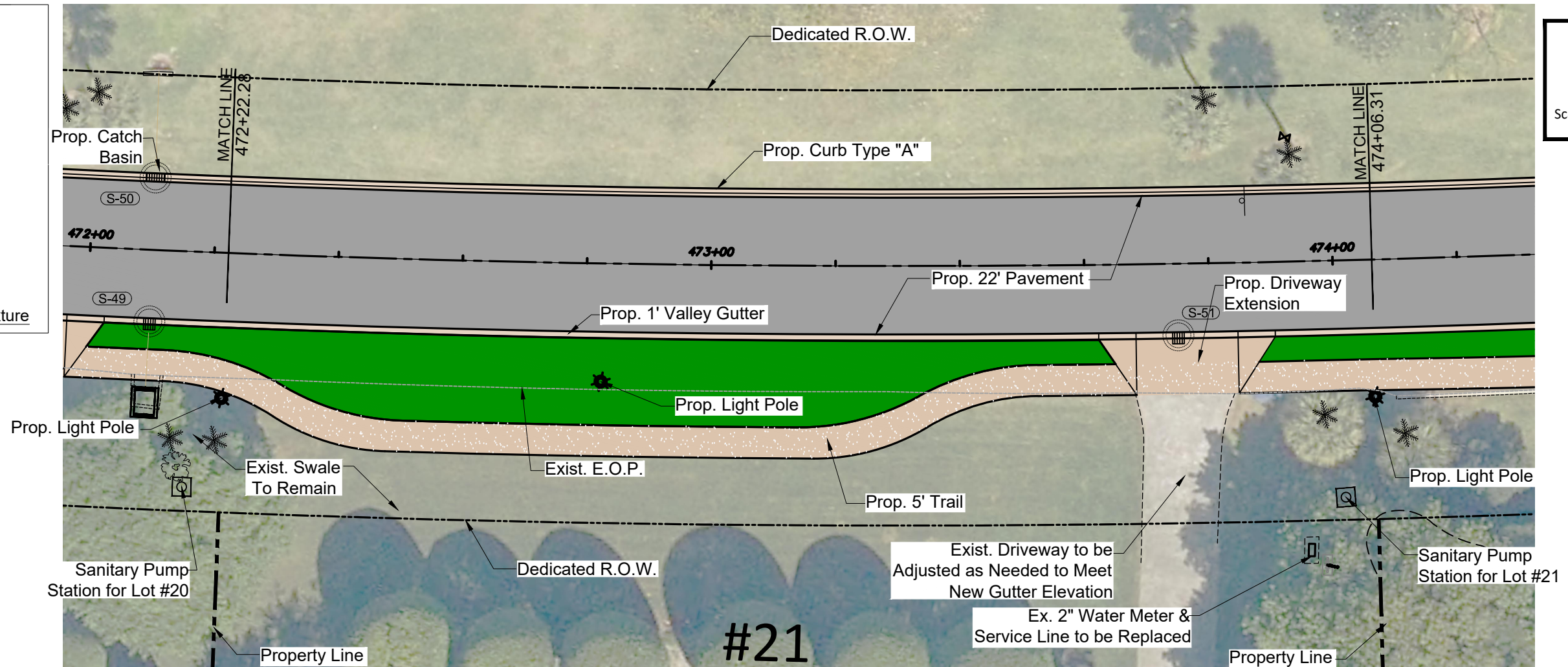
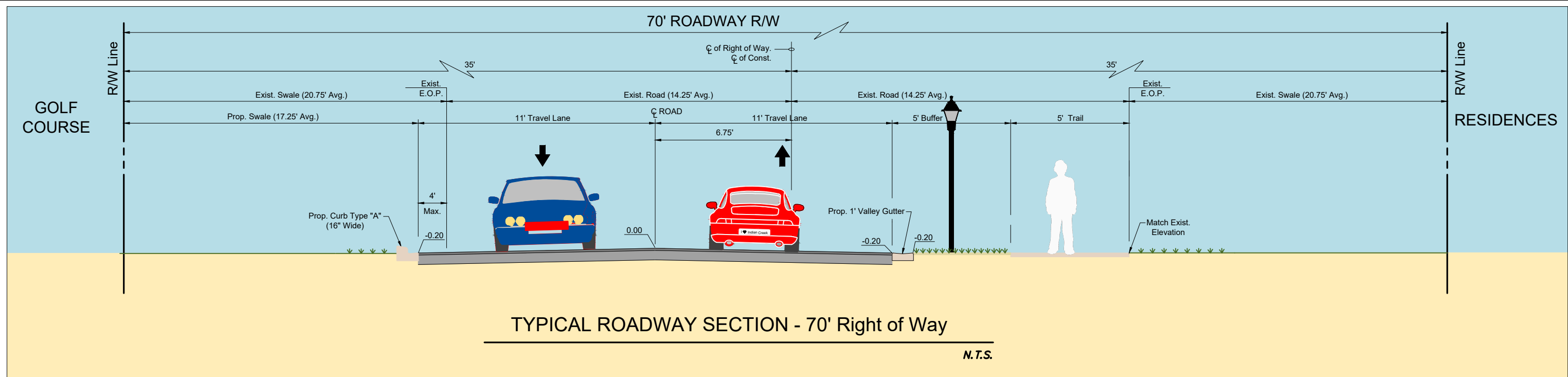
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

SITE PLAN

Project No. 215615771	Scale SEE PLANS
Drawing No. C-20	Sheet 152

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

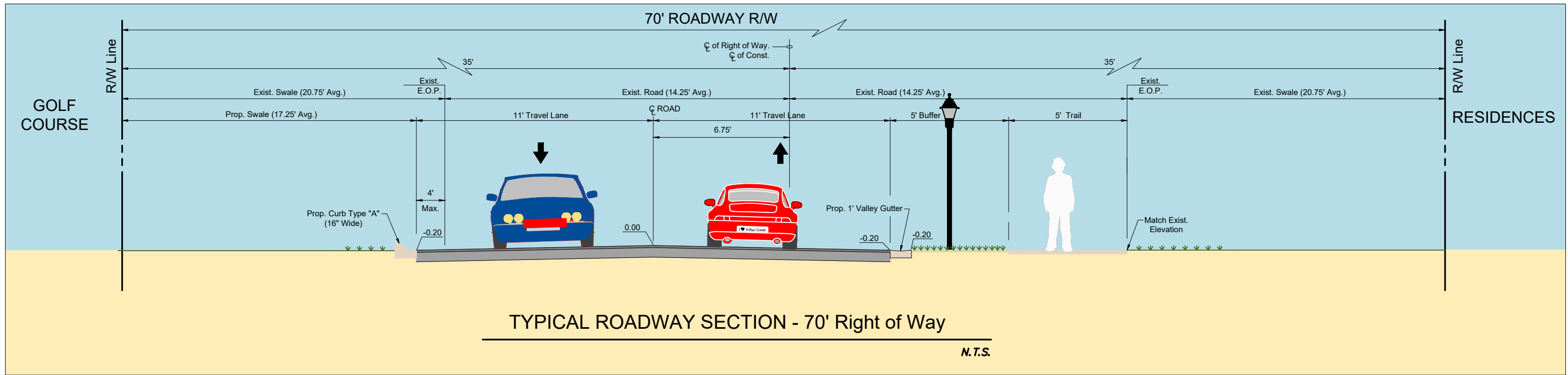
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SITE PLAN

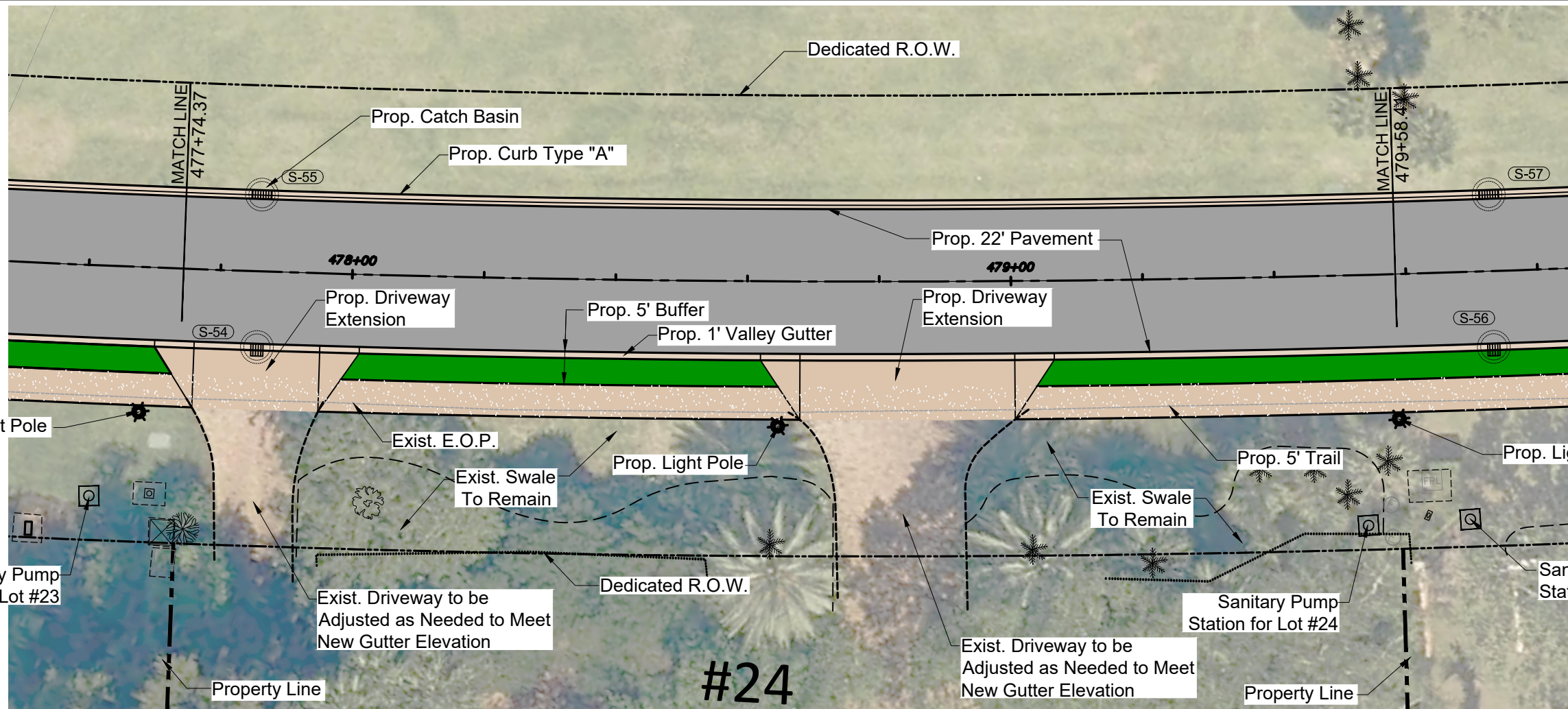
Project No. 215615771 Scale SEE PLANS

Drawing No. C-24 Sheet Revision

of 152



Proposed Lighting Fixture



Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

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Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

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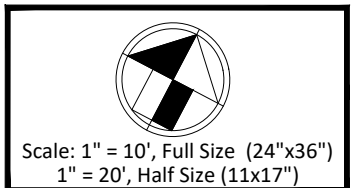
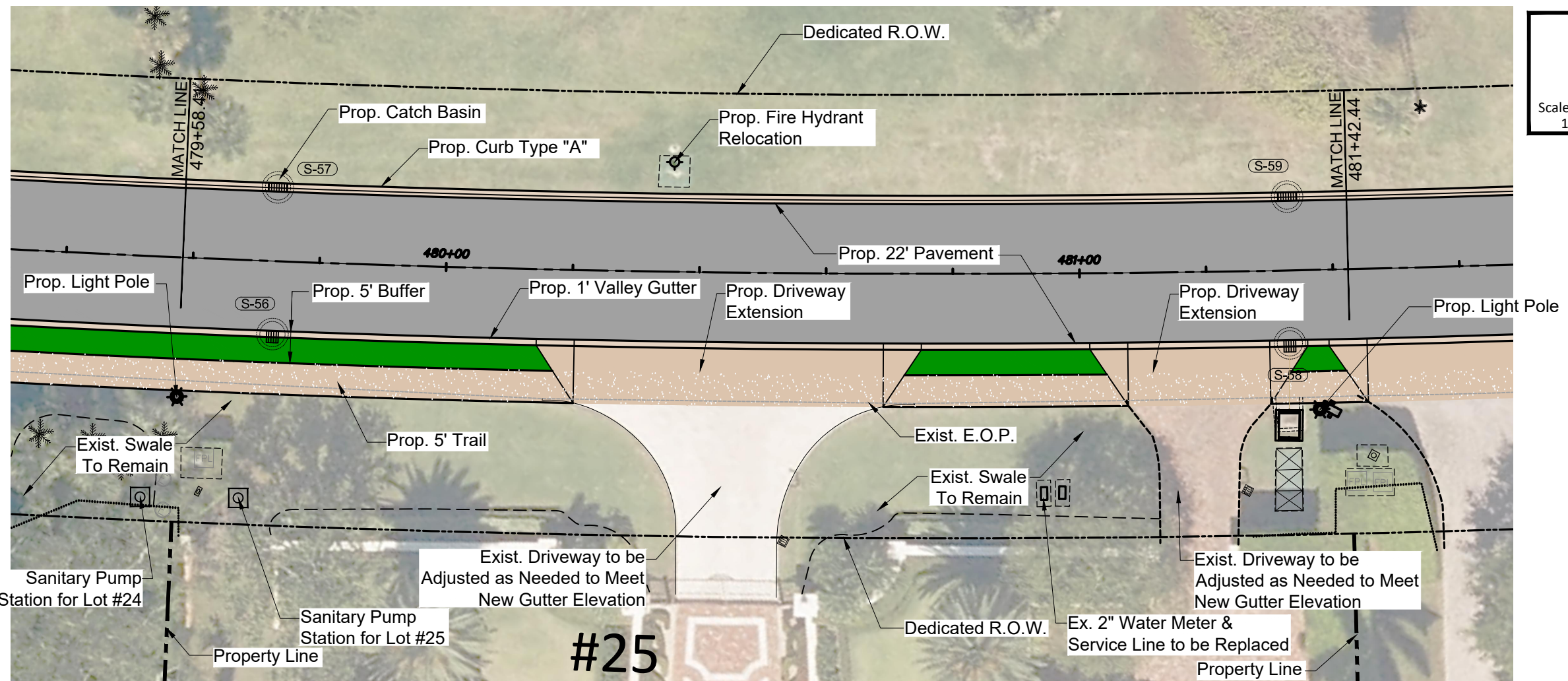
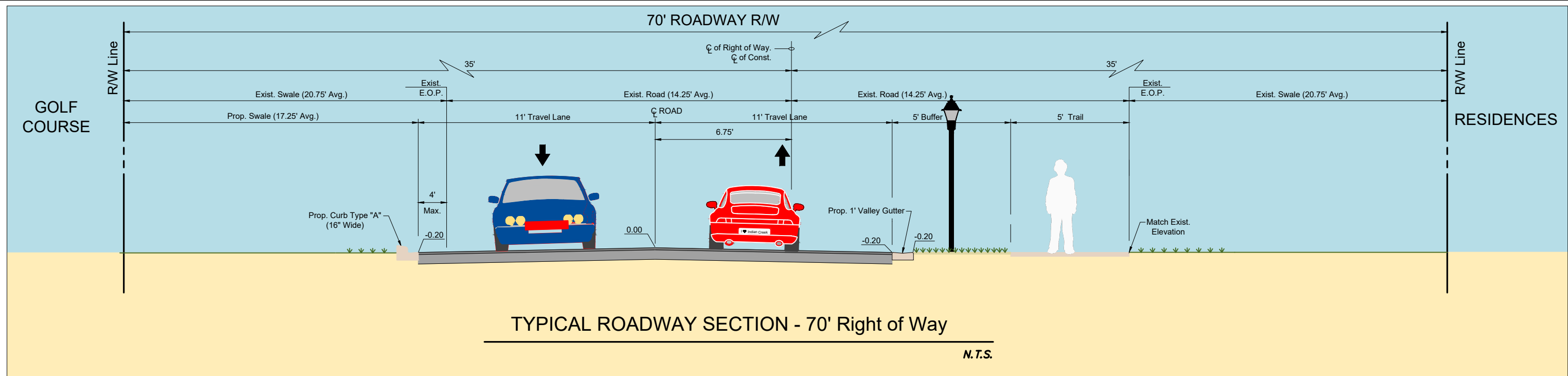
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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS.DWG RM CH 2020-12-07
Dwn. Chkd. Dsgn. YYYY.MM.DD

SITE PLAN

Project No. 215615771 Scale SEE PLANS
Drawing No. C-27 Sheet Revision
of 152



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Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

Seal

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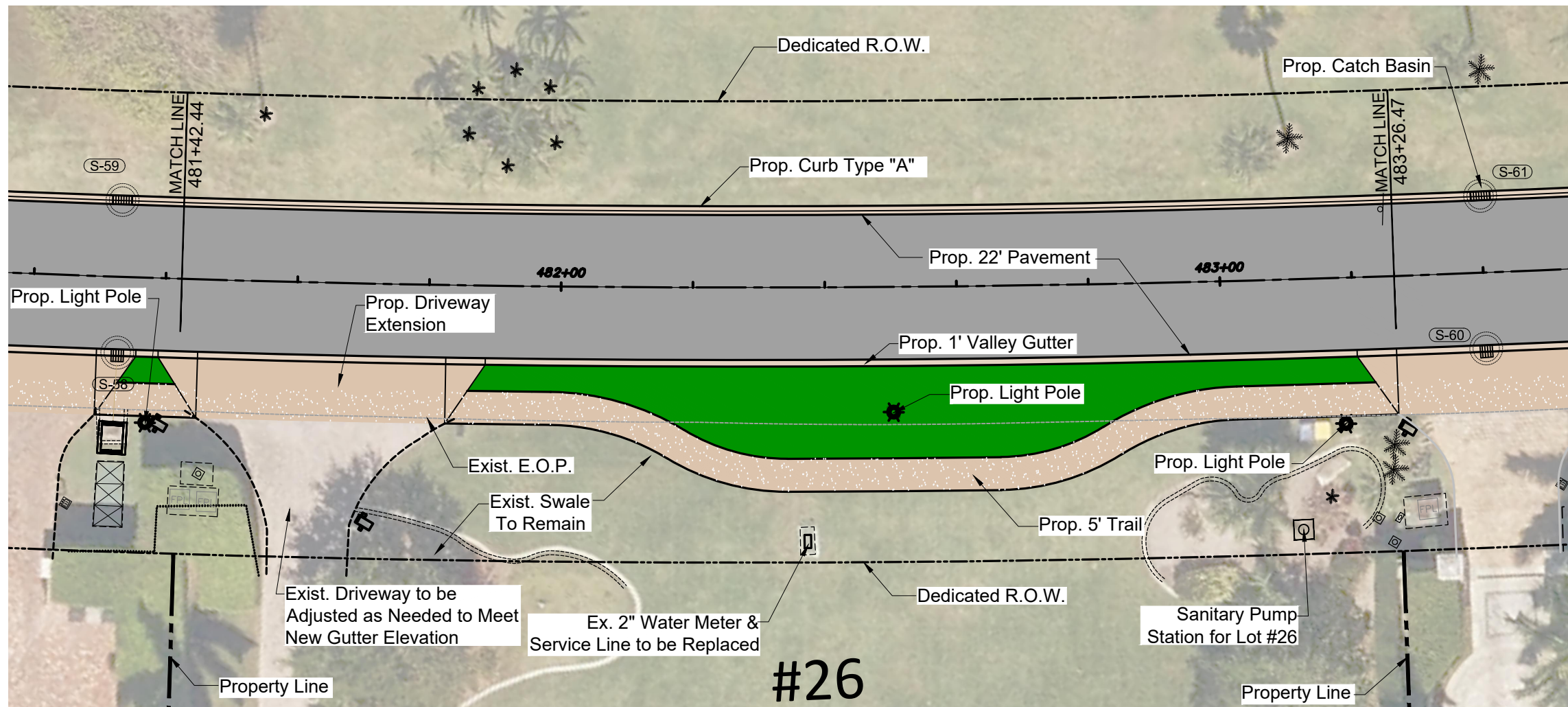
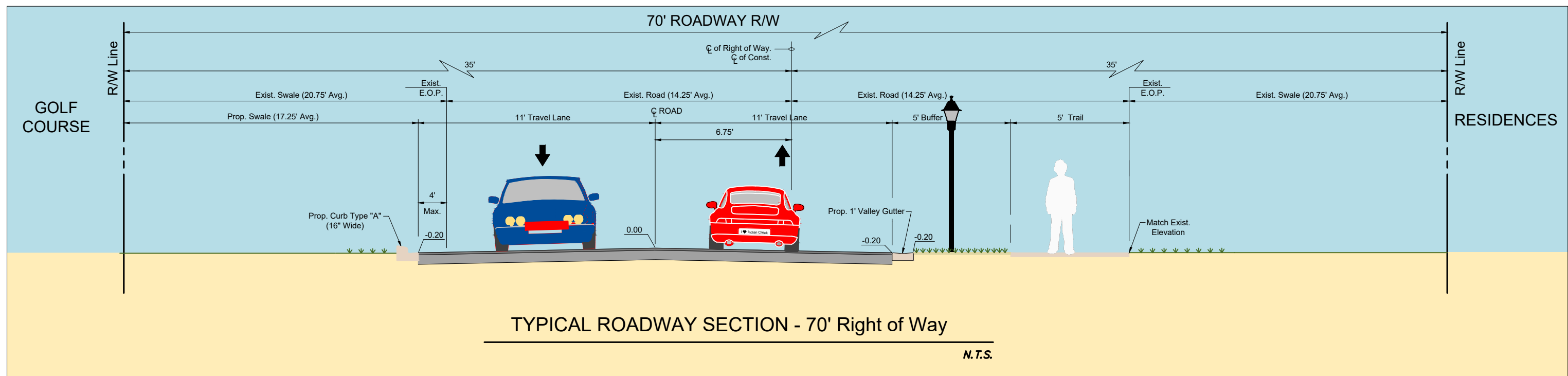
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS.DWG
RM CH
Dwn. Chkd. Dsgn. 2020-12-07
YYYYMMDD

SITE PLAN

Project No. 215615771	Scale SEE PLANS
Drawing No. C-28	Sheet 152
Revision	



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Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS.DWG

RM CH
Dwn. Chkd. Dsgn.

2020-12-07
YYYY.MM.DD

SITE PLAN

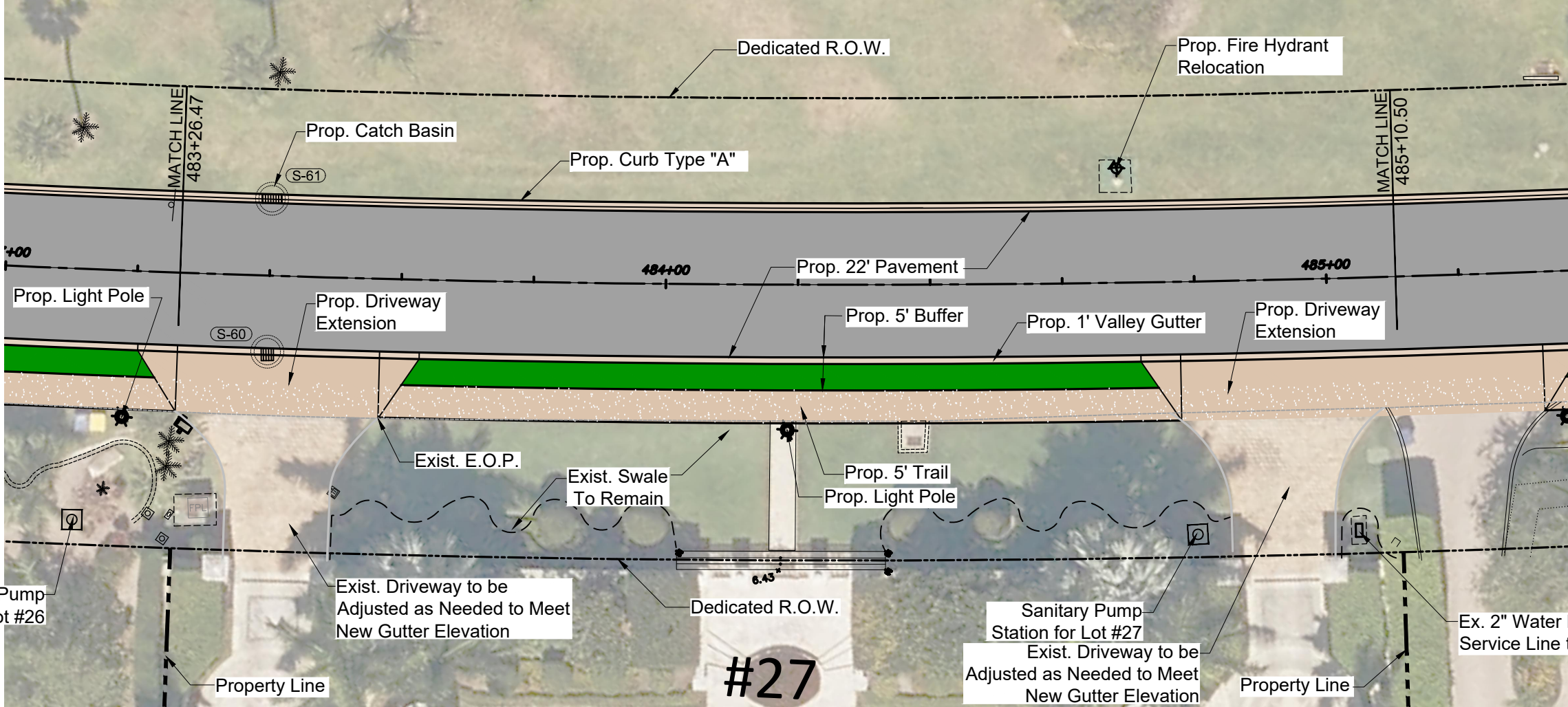
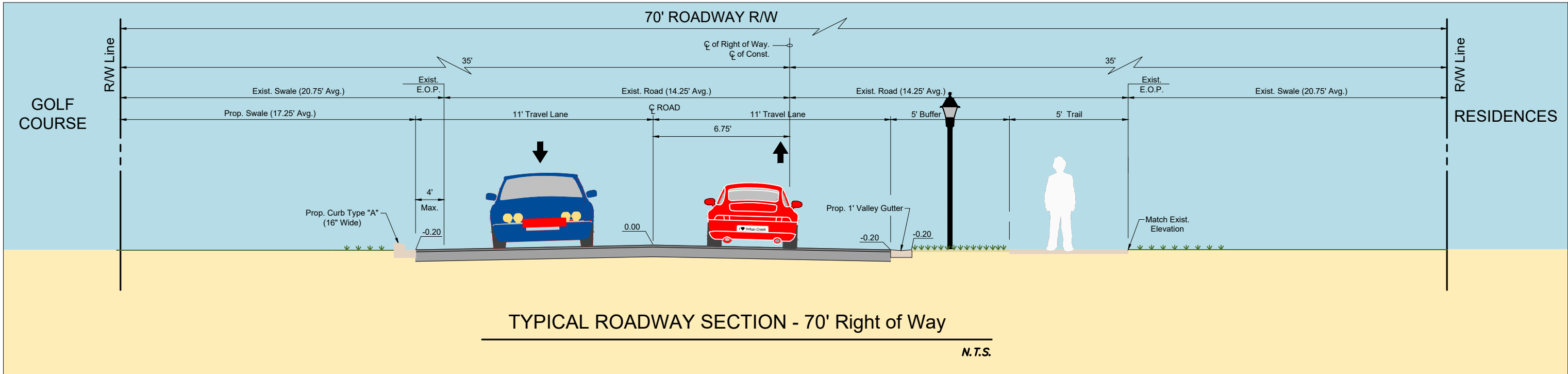
Project No. 215615771

Scale SEE PLANS

Drawing No. C-29

Sheet 152

Revision



Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

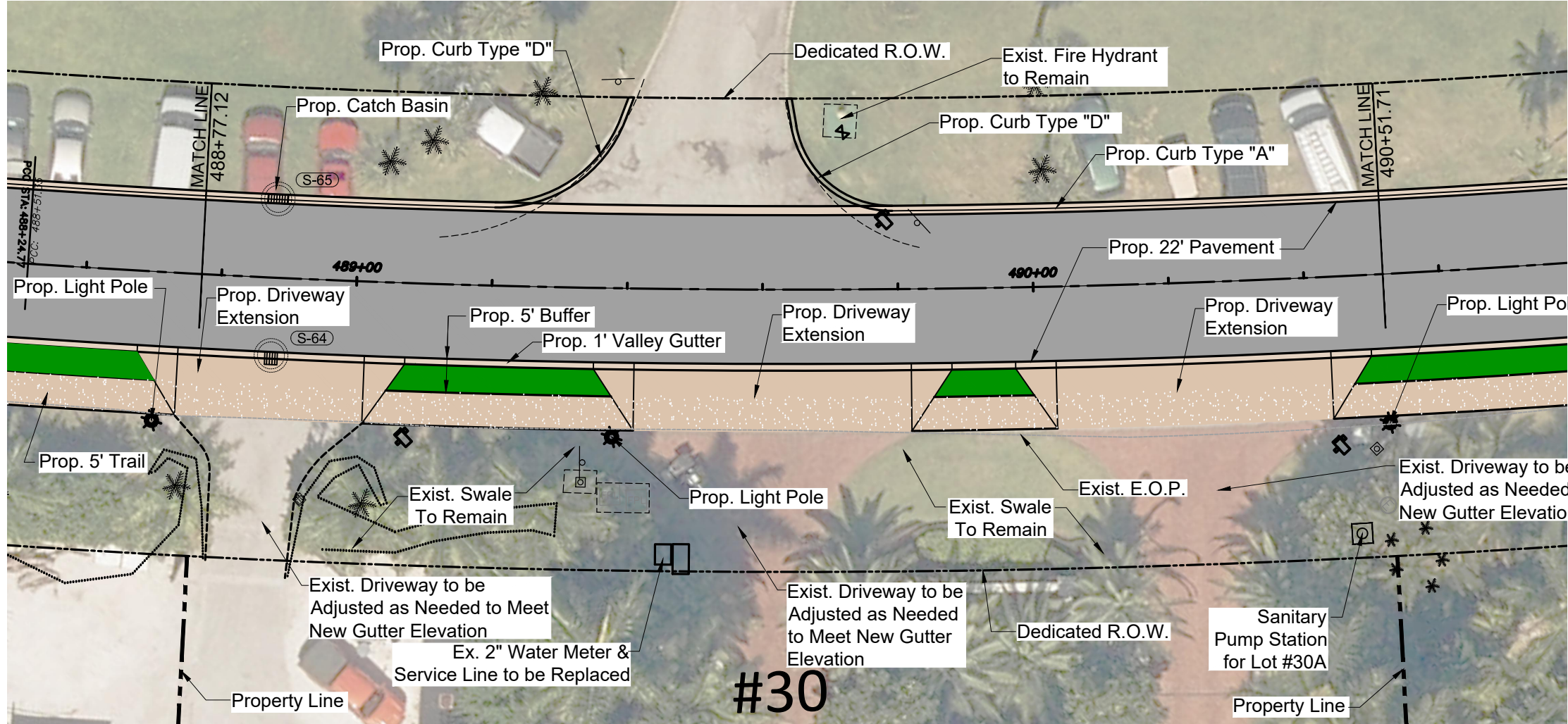
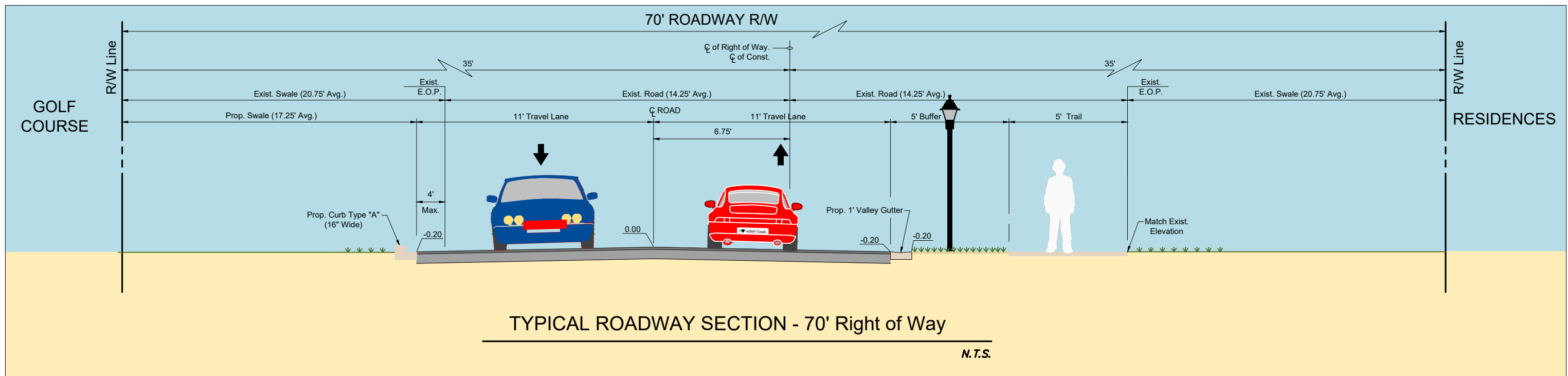
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RM Dwn.
CH Chkd.
Dsgn. 2020-12-07
YYYY.MM.DD

SITE PLAN

Project No. 215615771
Drawing No. C-30

Scale SEE PLANS
Sheet of 152

Revision



Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

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Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

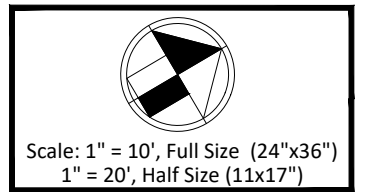
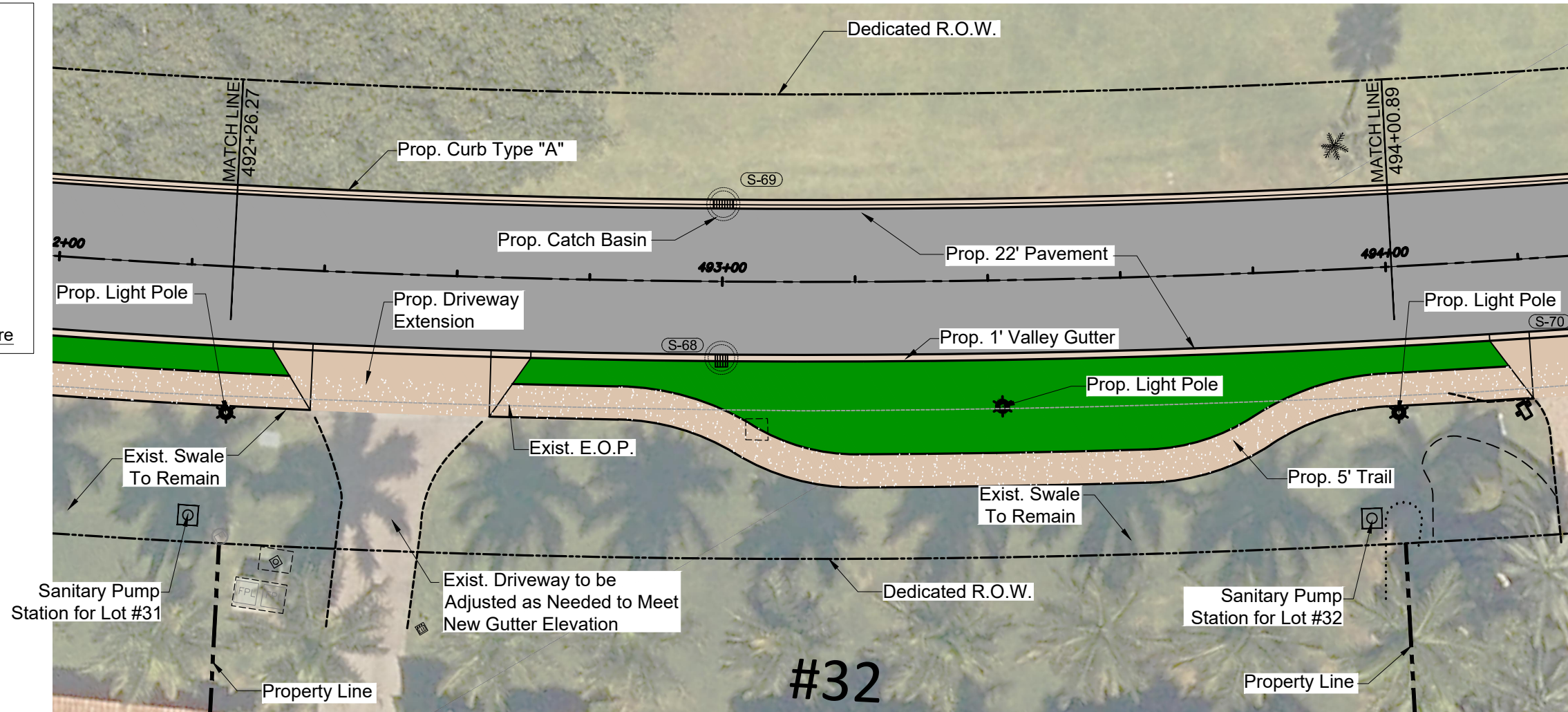
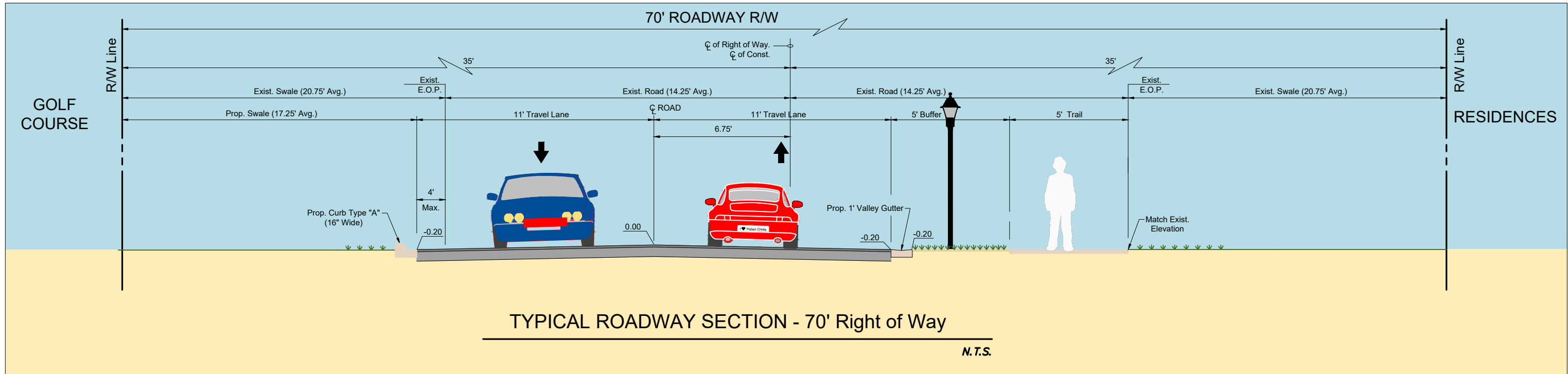
File Name: 15771_SITE PLANS.DWG
RM Dwn.
CH Chkd.
Dsgn. 2020-12-07
YYYYMMDD

SITE PLAN

Project No. 215615771
Drawing No. C-33

Scale SEE PLANS
Sheet
Revision

of 152



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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_SITE PLANS.DWG

RM CH
Dwn. Chkd. Dsgn.

2020-12-07
YYYY.MM.DD

SITE PLAN

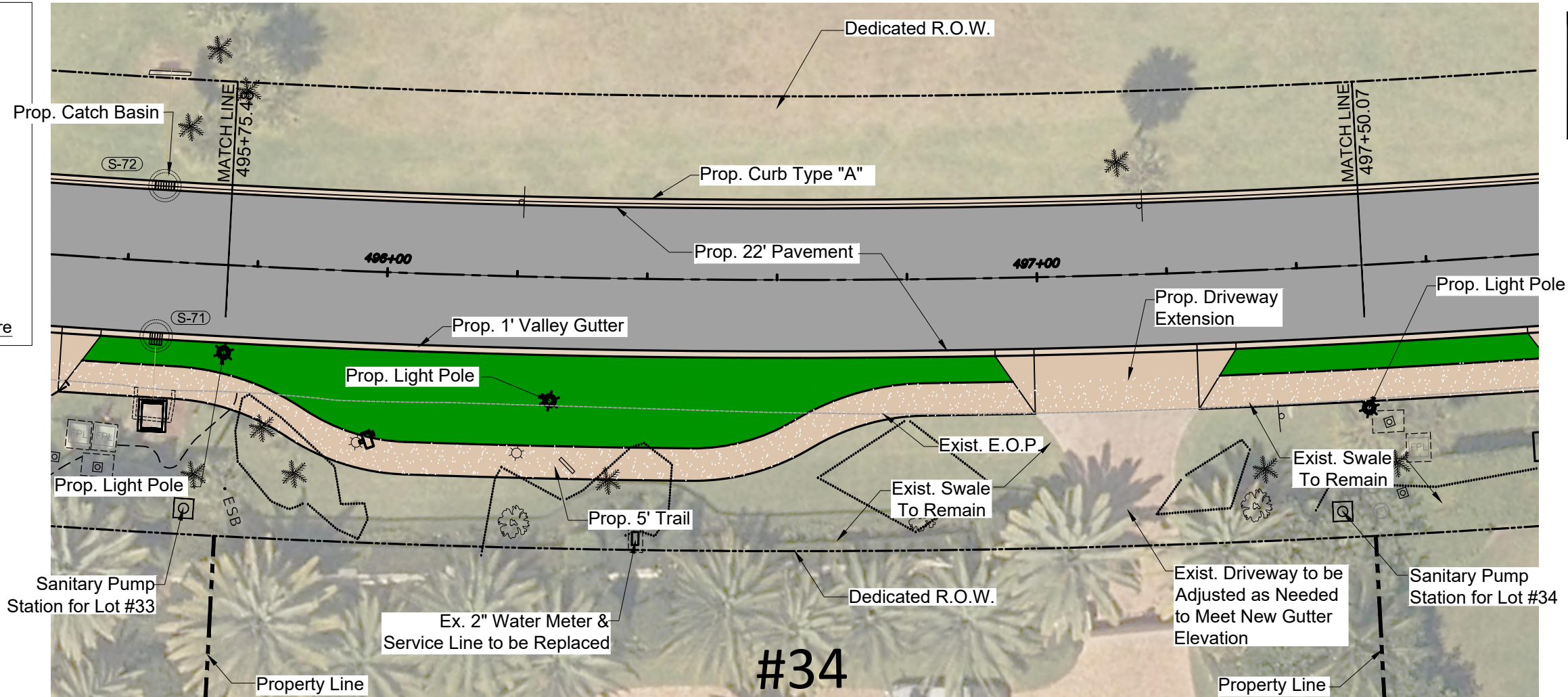
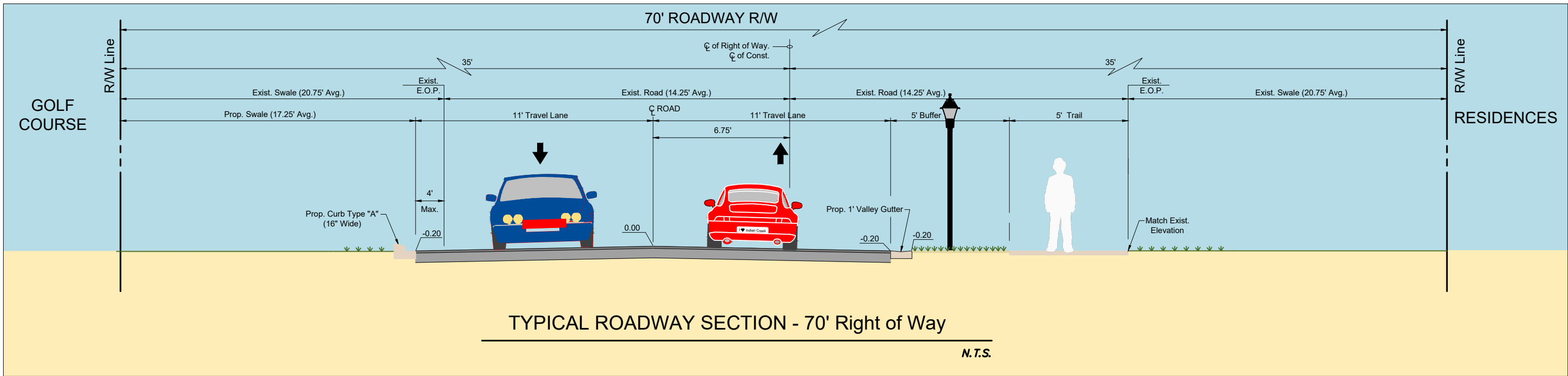
Project No. 215615771

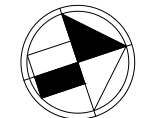
Scale SEE PLANS

Drawing No. C-35

Sheet of 152

Revision

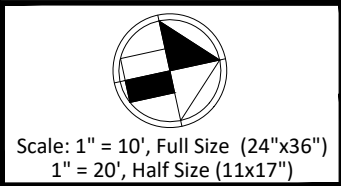
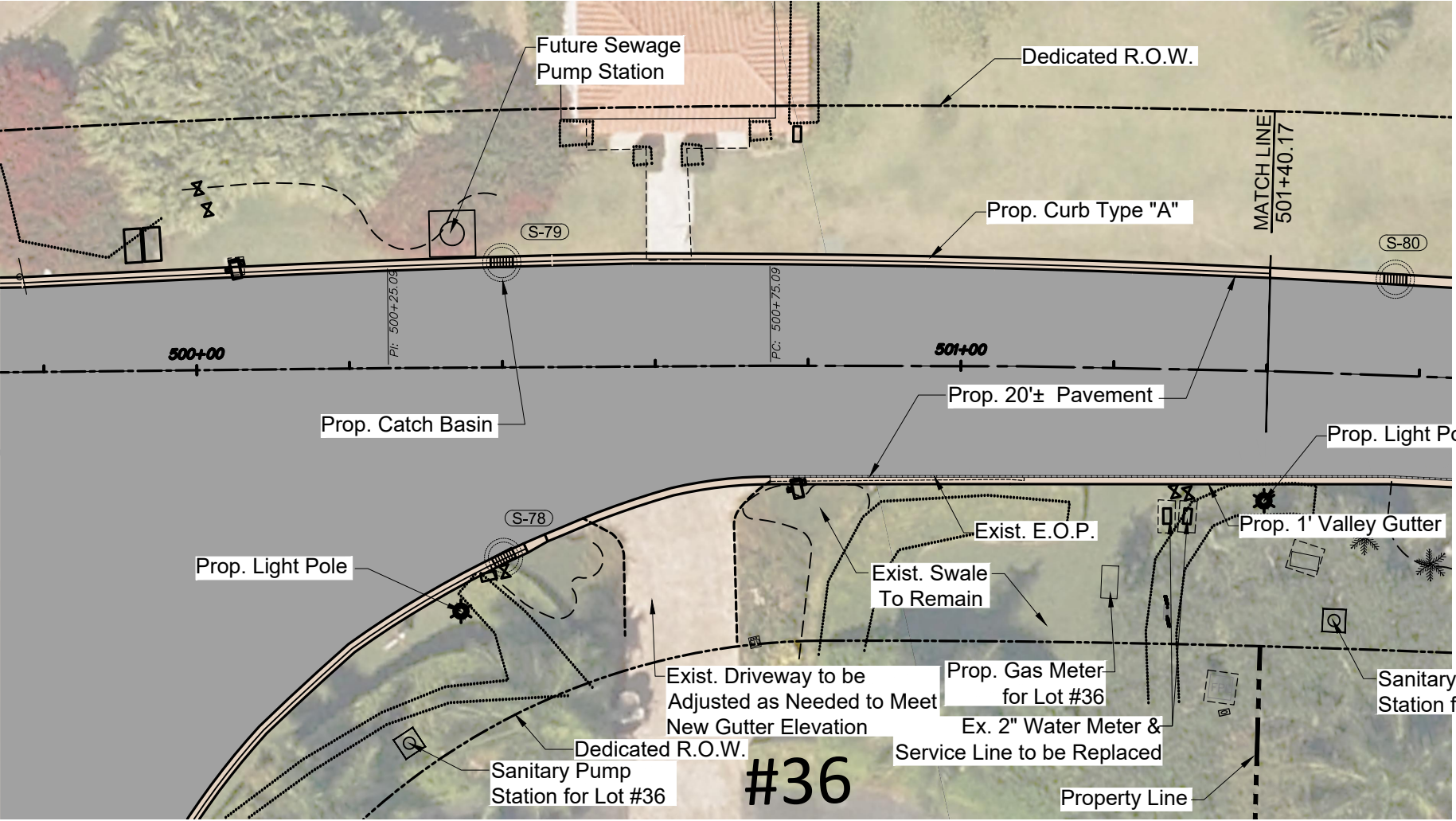
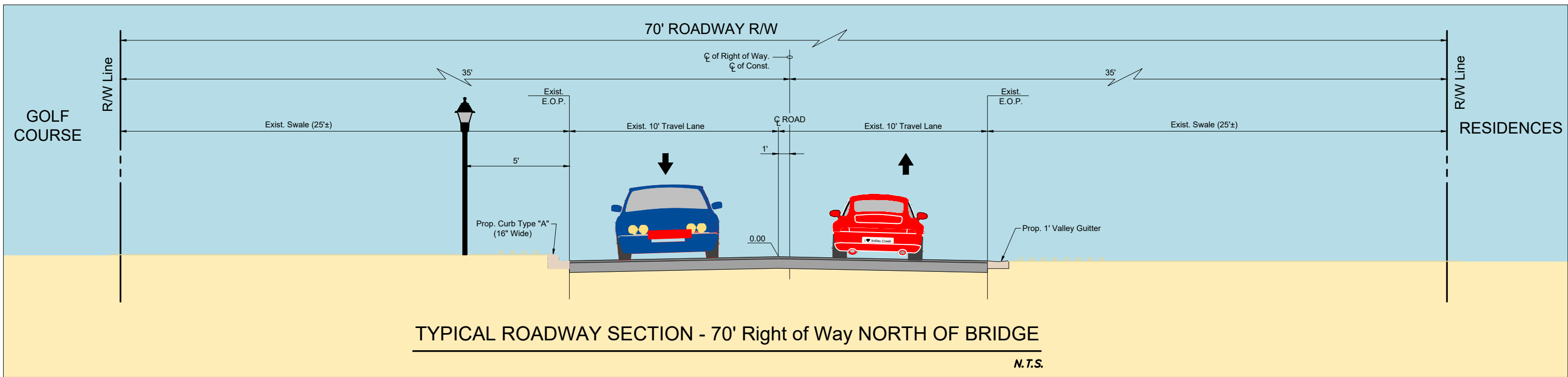




Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

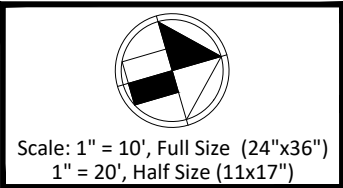
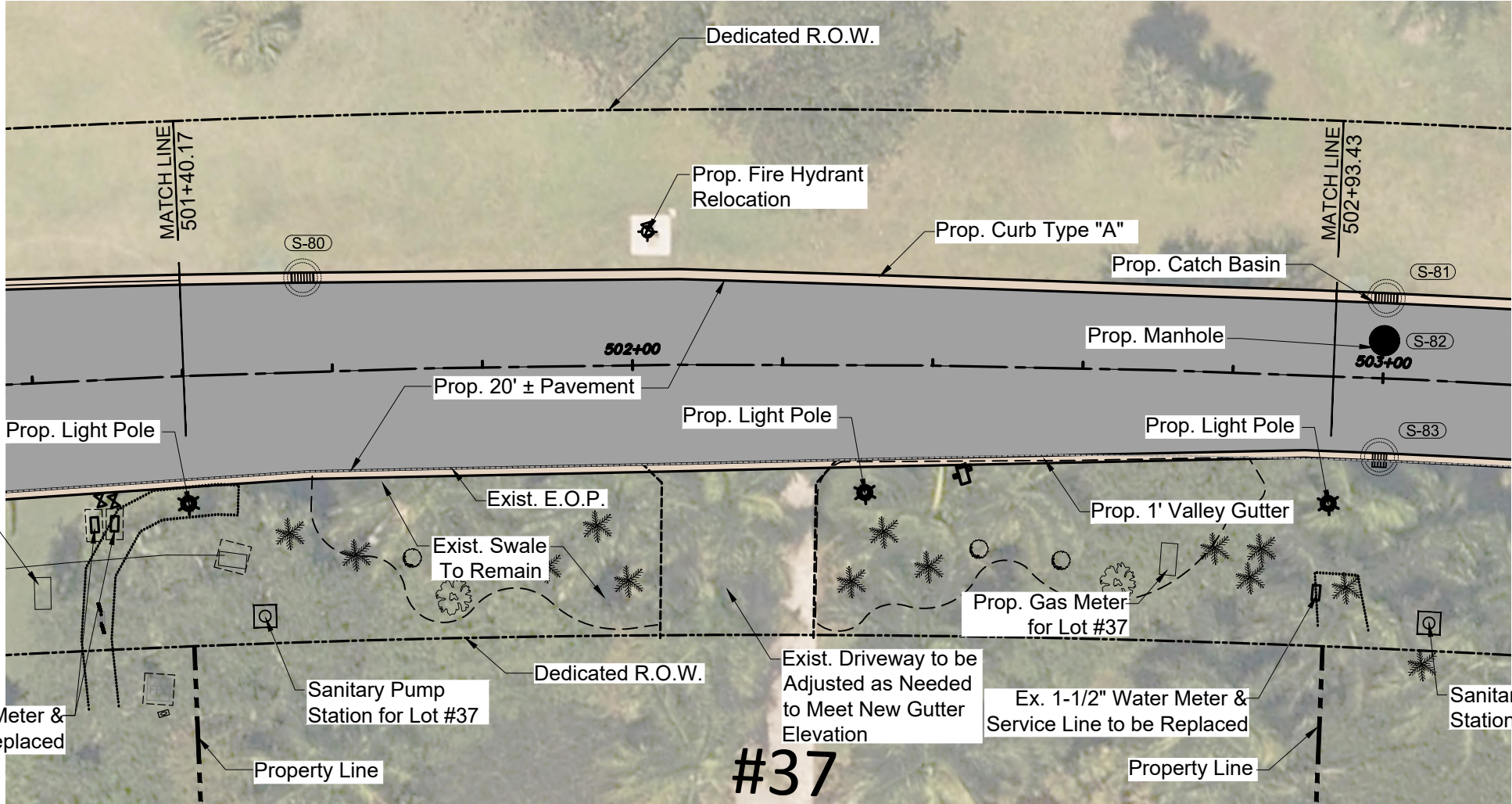
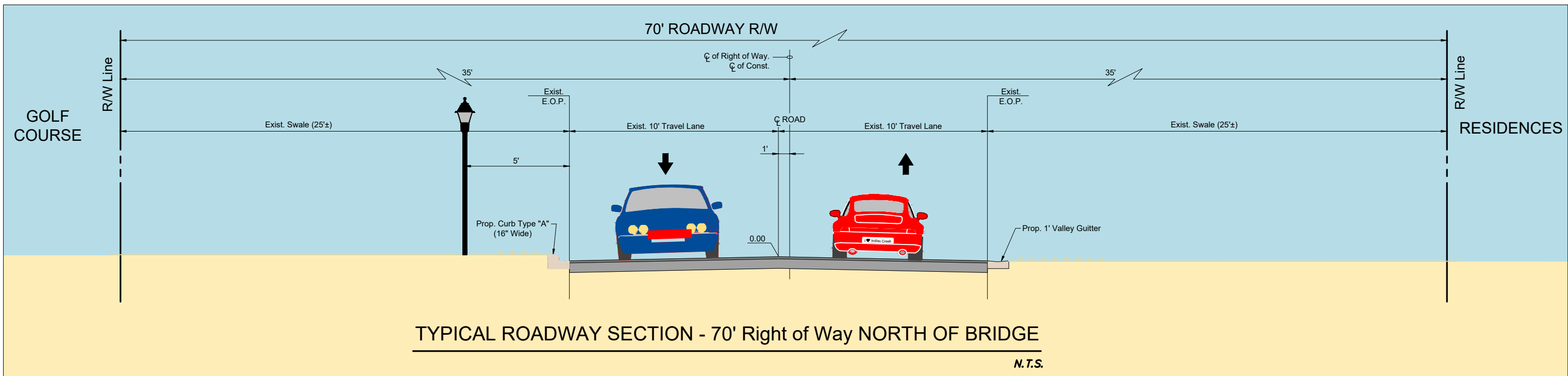
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RM Dwn.
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Dsgn. 2020-12-07
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SITE PLAN

Project No. 215615771
Drawing No. C-39

Scale
Sheet
Revision

SEE PLANS
152



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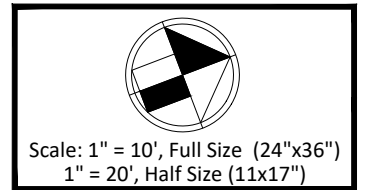
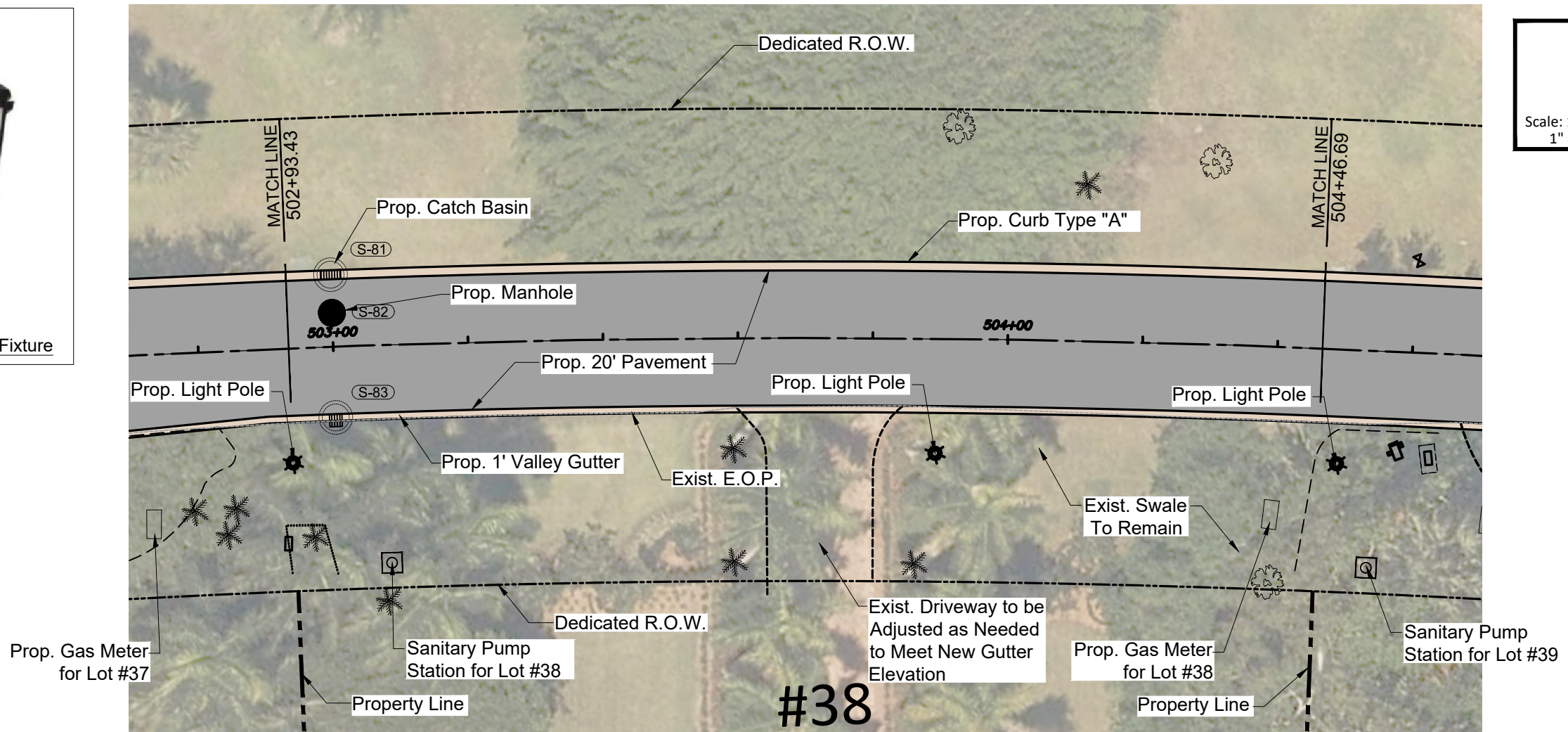
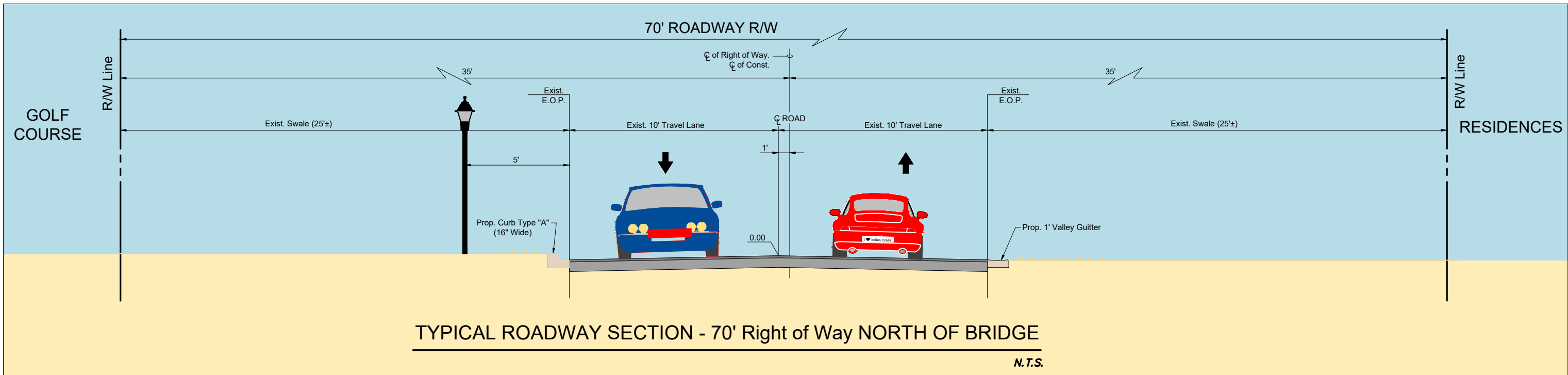
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SITE PLAN

Project No. 215615771
Drawing No. C-40

Scale SEE PLANS
Sheet of 152

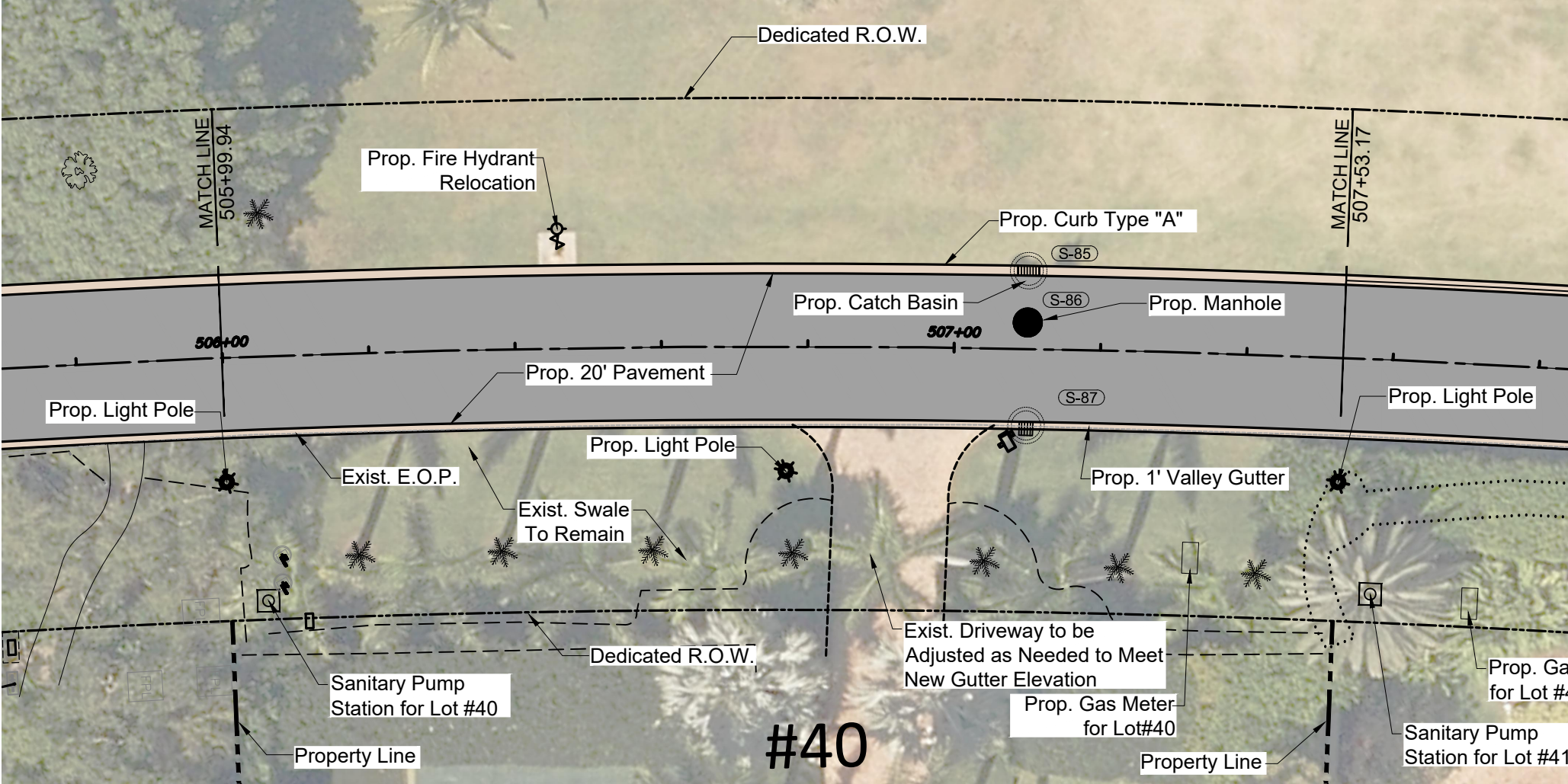
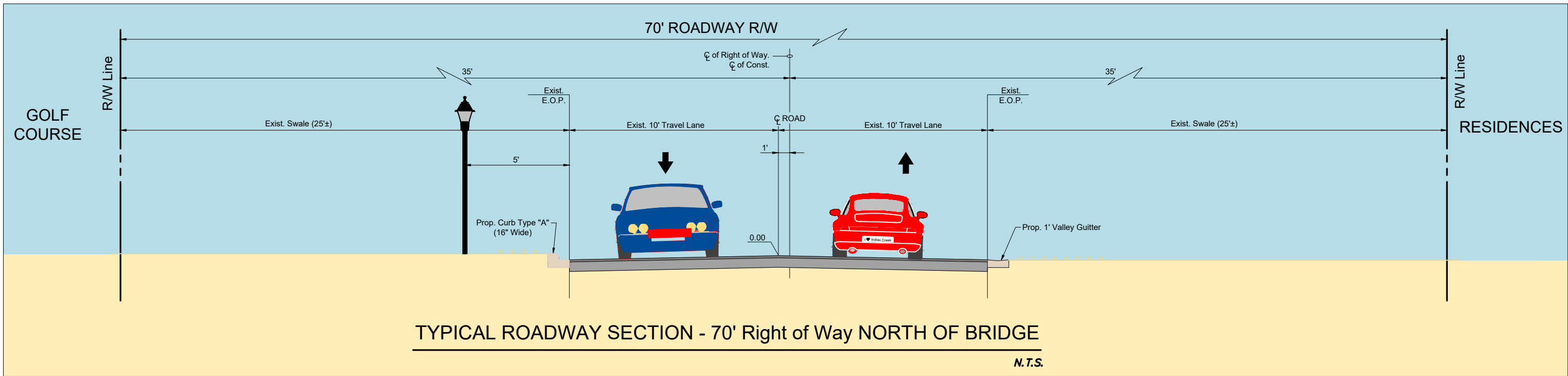
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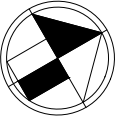


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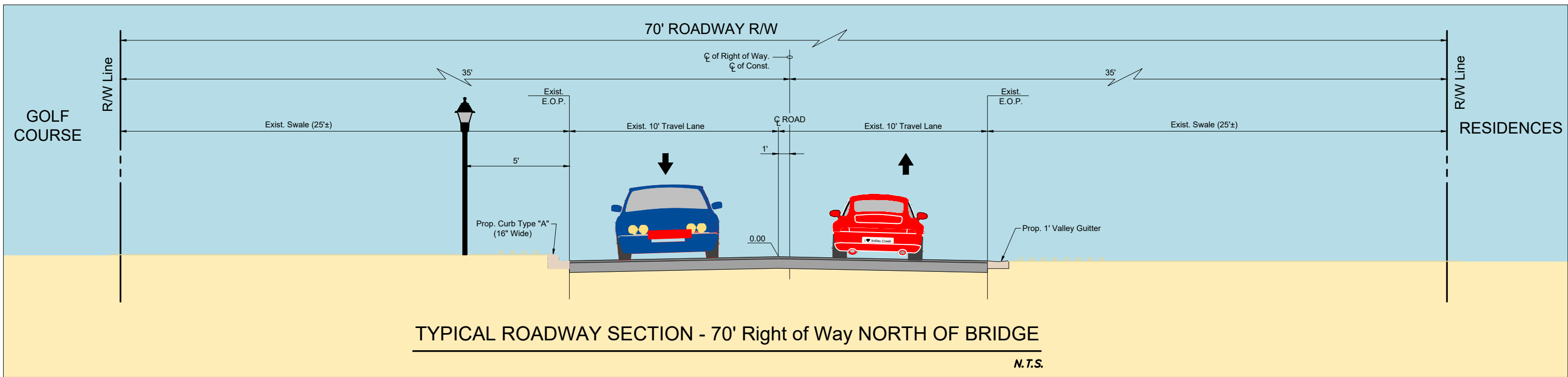


Scale: 1" = 10', Full Size (24"x36")
1" = 20', Half Size (11x17")

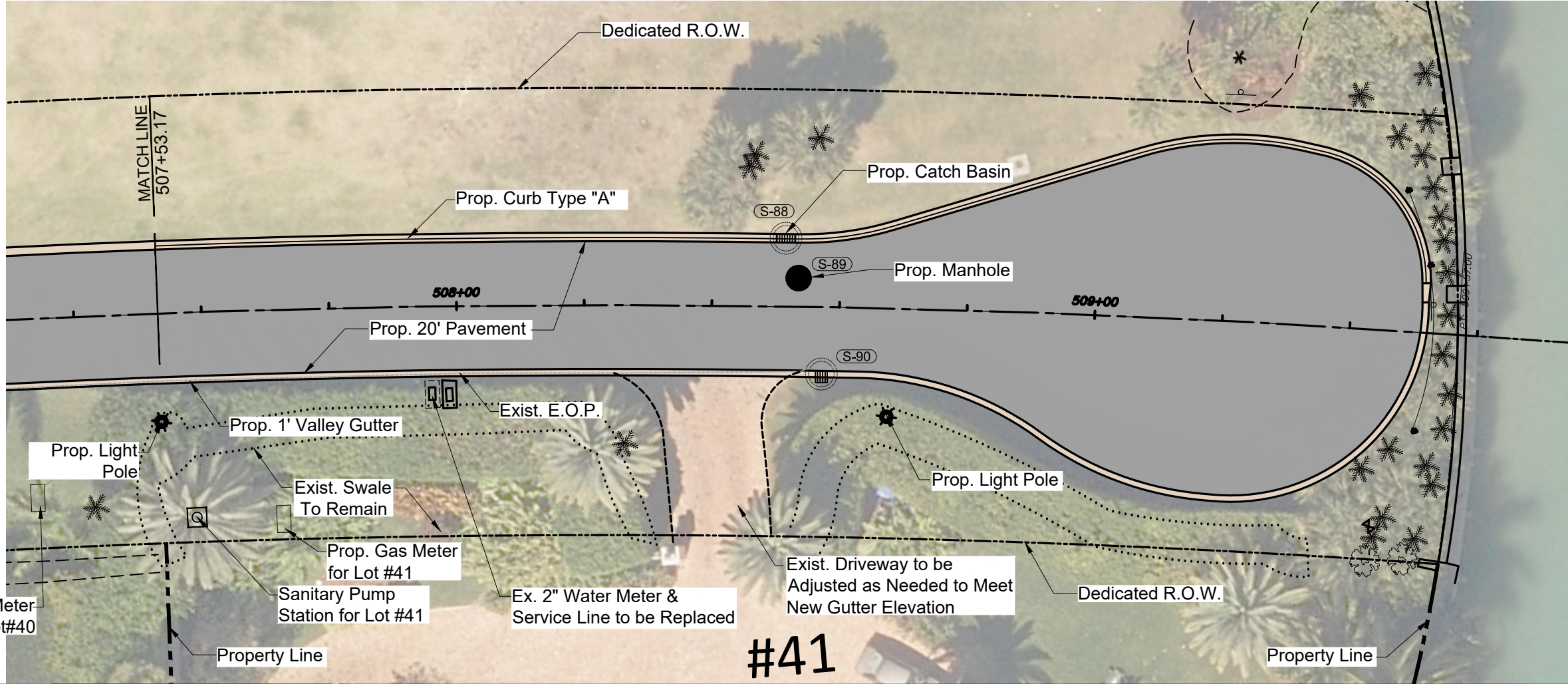
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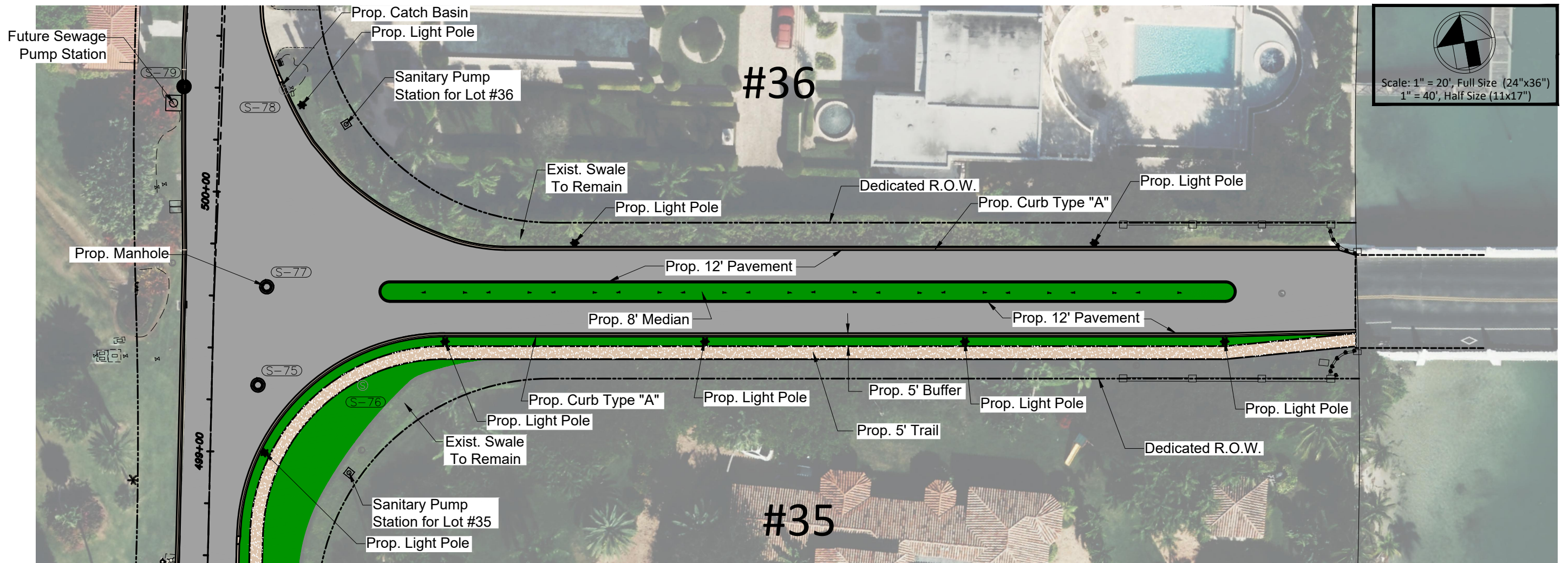
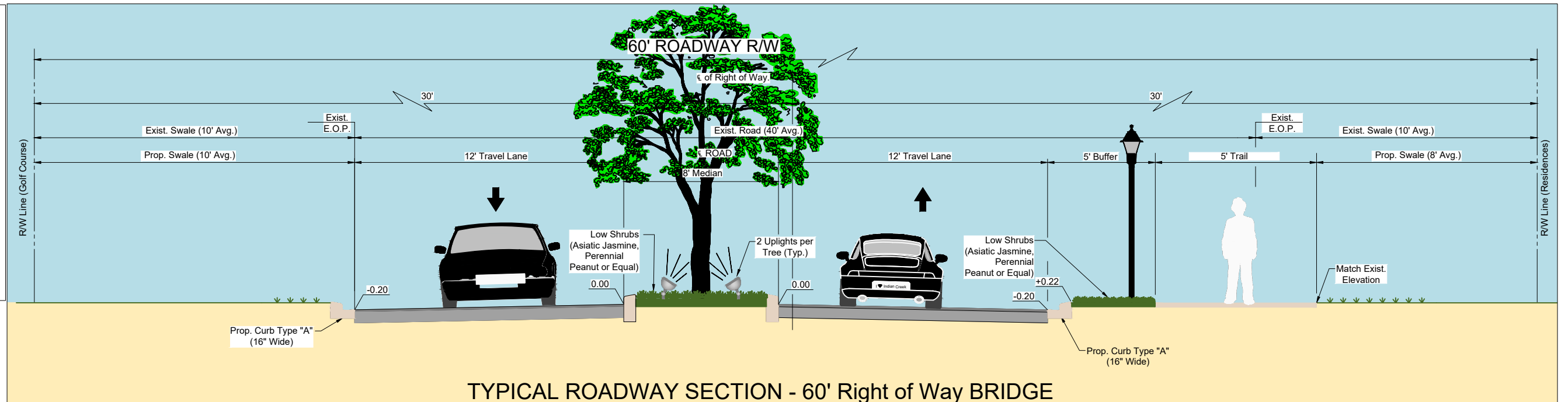


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Proposed Lighting Fixture



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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

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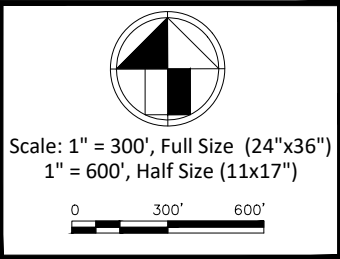
SITE PLAN

Project No. 215615771
Drawing No. C-45

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OUTFALL TABLE						
OUTFALL No.	BASIN No.	LOT No.	GEOMETRY	MATERIAL	DIMENS. (IN)	INV. EL.
OF15	1	5	CIRCULAR	CIPP	18	0.42
OF14	2	8	RECTANGULAR	CONC.	24x60	1.25
OF13	2	11	CIRCULAR	CIPP	12	2.76
OF11	3	GCLB	CIRCULAR	CIPP	8	8.56
OF10	3	GCLB	CIRCULAR	PVC	10	7.9
OF9	3	GCLB	CIRCULAR	CIPP	10	7.19
OF8	3	GCLB	CIRCULAR	CIPP	12	5.01
OF7	4	16	CIRCULAR	CIPP	24	1.6
OF4	5	20	CIRCULAR	CONC.	24	0.97
OF3	7	25	RECTANGULAR	CONC.	24x36	0.56
OF2	11	33	CIRCULAR	CIPP	18	0.67
OF1	12	35	CIRCULAR	CIPP	12	1.48



BASIN AREAS

TOTAL BASIN AREA:	14.17	acres
PERVIOUS AREA:	9.30	acres
IMPERVIOUS AREA:	4.87	acres

SUB-BASIN AREAS		STA	to	STA	PERVIOUS AREA	IMPERVIOUS AREA
B1	1.99 acres	422+25		434+85	1.30	0.69
B2	2.75 acres	434+85		452+00	1.79	0.96
B3	0.75 acres	452+00		459+70	0.49	0.26
B4	1.79 acres	459+70		470+75	1.17	0.62
B5	0.48 acres	470+75		473+75	0.31	0.17
B6	0.59 acres	473+75		477+40	0.38	0.20
B7	0.80 acres	477+40		482+37	0.52	0.28
B8	0.37 acres	482+37		484+70	0.24	0.13
B9	0.86 acres	484+70		490+00	0.56	0.30
B10	0.71 acres	490+00		494+40	0.46	0.25
B11	0.39 acres	494+40		496+79	0.25	0.14
B12	0.77 acres	496+79		499+57	0.50	0.27
B13	0.71 acres	499+57		502+00	0.49	0.23
B14	0.64 acres	502+00		506+00	0.44	0.21
B15	0.57 acres	506+00		509+57	0.39	0.18

WEIR TABLE								WEIR GEOM. (ICPR - LINK)	
WEIR No.	PROP. STRUCTURE CONNECTION	ASSOCIATED OUTFALL	RIM EL.	WEIR EL.	INFLUENT INV. EL.	OUTFALL INV. EL.	BOTT. EL.	HEIGHT (FT)	WIDTH (FT)
W1	S-05	OF15	5.1	3.7	0.42	0.42	-3.1	0.4	4
W2A	S-10	OF14	5.1	3.7	1.25	1.25	-2.3	0.4	4
W2B	S-14	OF13	7.0	5.6	2.76	2.76	-0.7	0.4	4
W3A	S-26	OF11	11.5	10.1	8.56	8.56	5.1	0.4	4
W3B	S-28	OF10	11.0	9.1	7.90	7.90	4.4	0.9	4
W3C	S-30	OF9	10.5	7.0	7.19	7.19	3.7	2.5	4
W3D	S-32	OF8	10.8	7.0	5.01	5.01	1.5	2.8	4
W4	S-42	OF7	7.0	5.5	1.60	1.60	-1.9	0.5	4
W5	S-49	OF4	5.0	3.6	0.97	0.97	-2.5	0.4	4
W7	S-58	OF3	4.9	3.5	0.56	0.56	-2.9	0.4	4
W11	S-71	OF2	5.2	3.6	0.67	0.67	-2.8	0.6	4
W12	S-75	OF1	5.2	3.6	1.48	1.48	-2.0	0.6	4

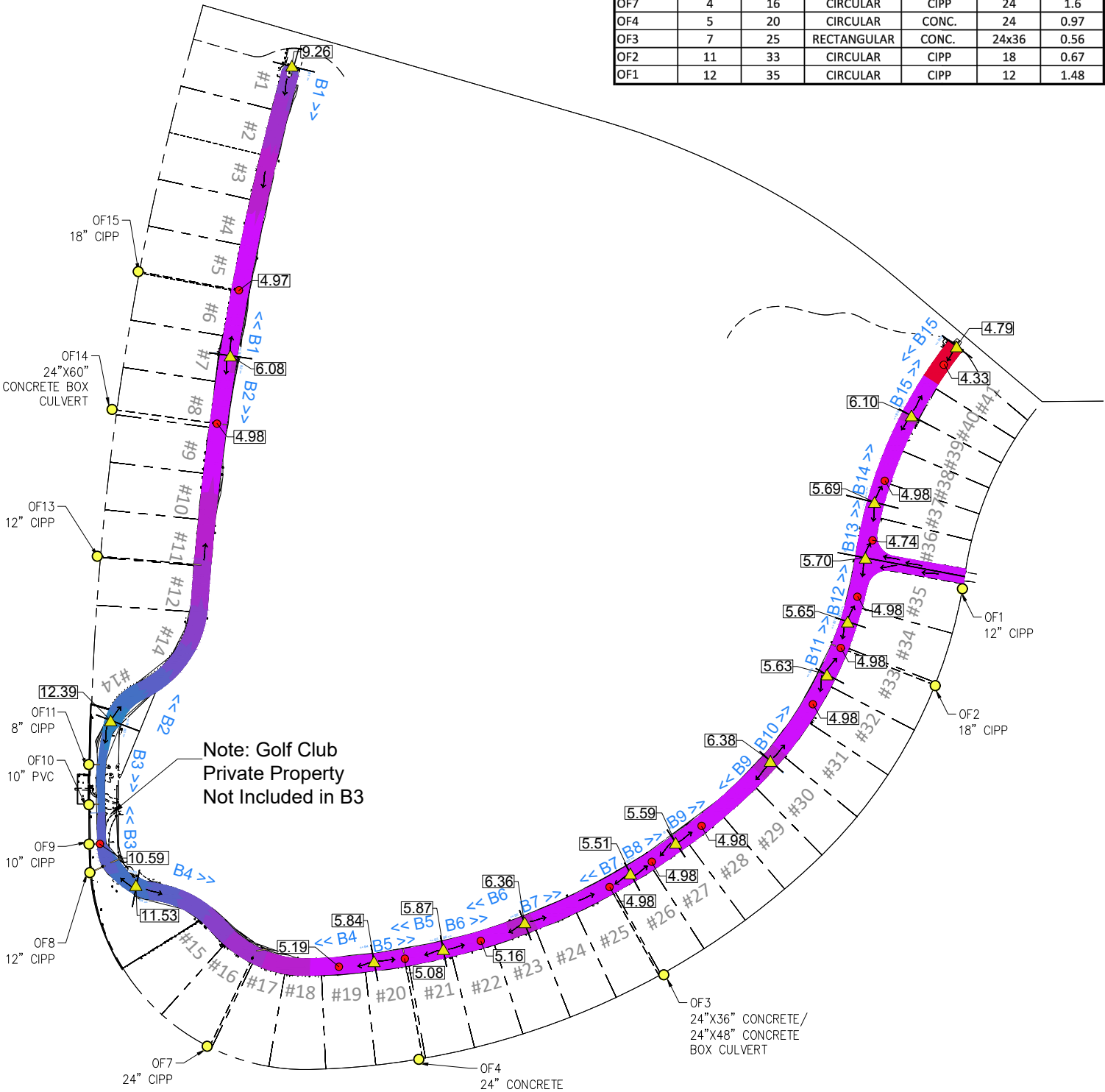
WEIR CONNECTIVITY	
FROM NODE	TO NODE
W1_i	W1_ii
W2A_i	W2A_ii
W2B_i	W2B_ii
W3A_i	W3A_ii
W3B_ii	W3B_ii
W3C_i	W3C_ii
W3D_i	W3D_ii
W4_i	W4_ii
W5_i	W5_ii
W7_i	W7_ii
W11_i	W11_ii
W12_i	W12_ii

LEGEND

- = EXISTING OUTFALL
- = SUB-BASIN BOUNDARIES
- = ELEV 4' TO 5'
- = ELEV 5' TO 6'
- = ELEV 6 TO 7'
- = ELEV 7' TO 8'
- = ELEV 8' TO 9'
- = ELEV 9' TO 10'
- = ELEV 10' TO 11'
- = ELEV 11' TO 12'
- = BASIN LOW POINT
- = BASIN HIGH POINT
- = RUN-OFF FLOW

BASIN PLAN NOTES:

- ELEVATIONS SHOWN ARE IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). (0.00' NAVD88 ≈ 1.50' NGVD29).
- THIS BASIN PLAN ACCOMPANIES THE DRAINAGE REPORT, WATER QUANTITY CALCULATIONS, AND ICPR SIMULATIONS FOR STAGE STORAGE.
- PROPOSED WEIRS TO BE PLACED ABOVE TOP OF EXFILTRATION TRENCH, TO ALLOW FOR WATER QUALITY TREATMENT.



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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_BASIN_PLAN.DWG

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2020-12-07
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BASIN PLAN

Project No. 215615771

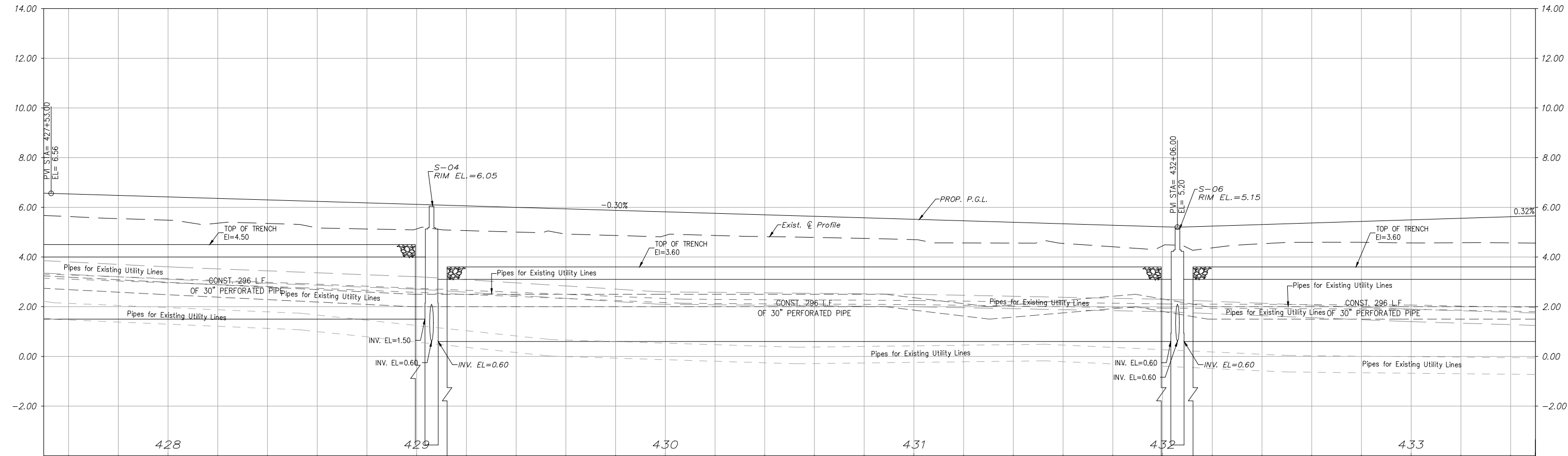
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Drawing No. C-46

Sheet 152

Revision

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INDIAN CREEK VILLAGE, FLORIDA

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PLAN & PROFILE

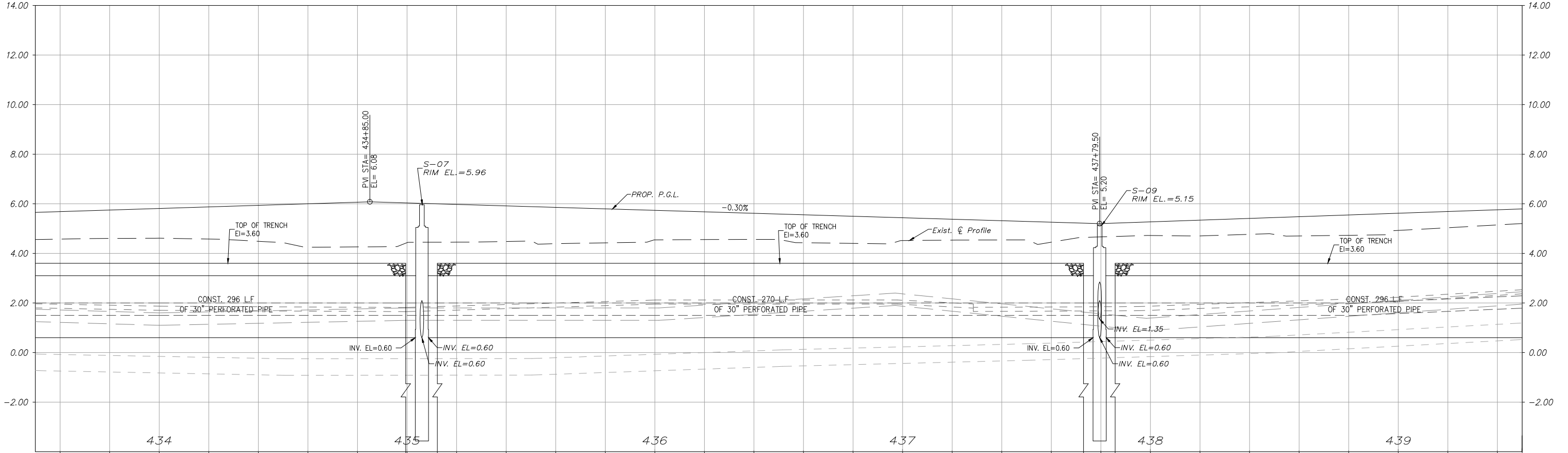
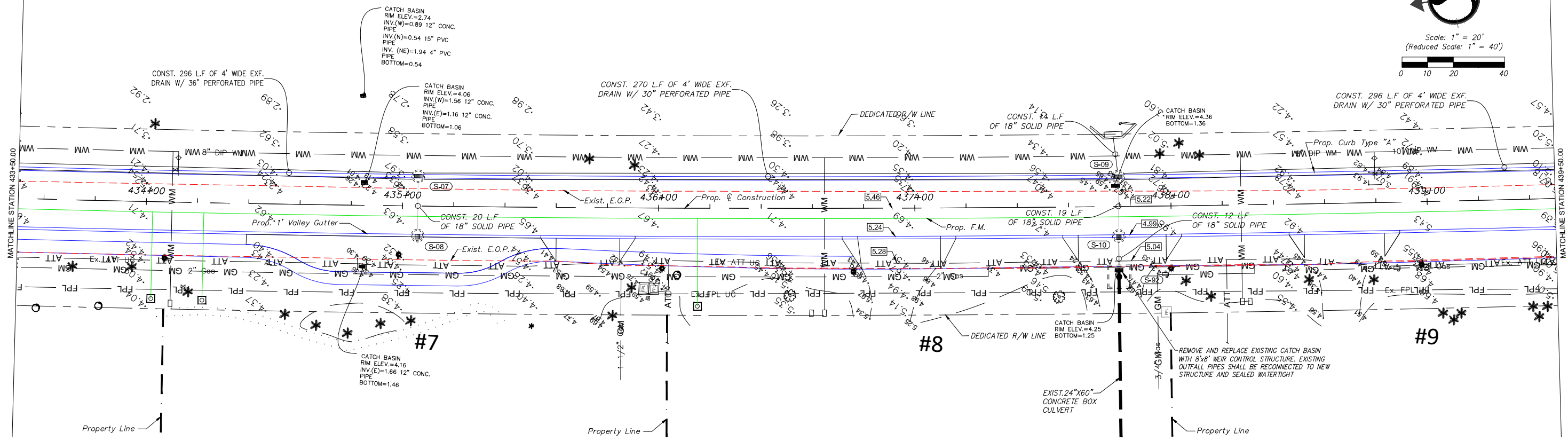
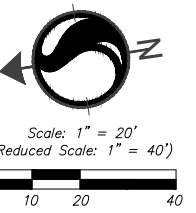
Project No. 215615771

Scale

Drawing No. C-48

Sheet of 152

Revision




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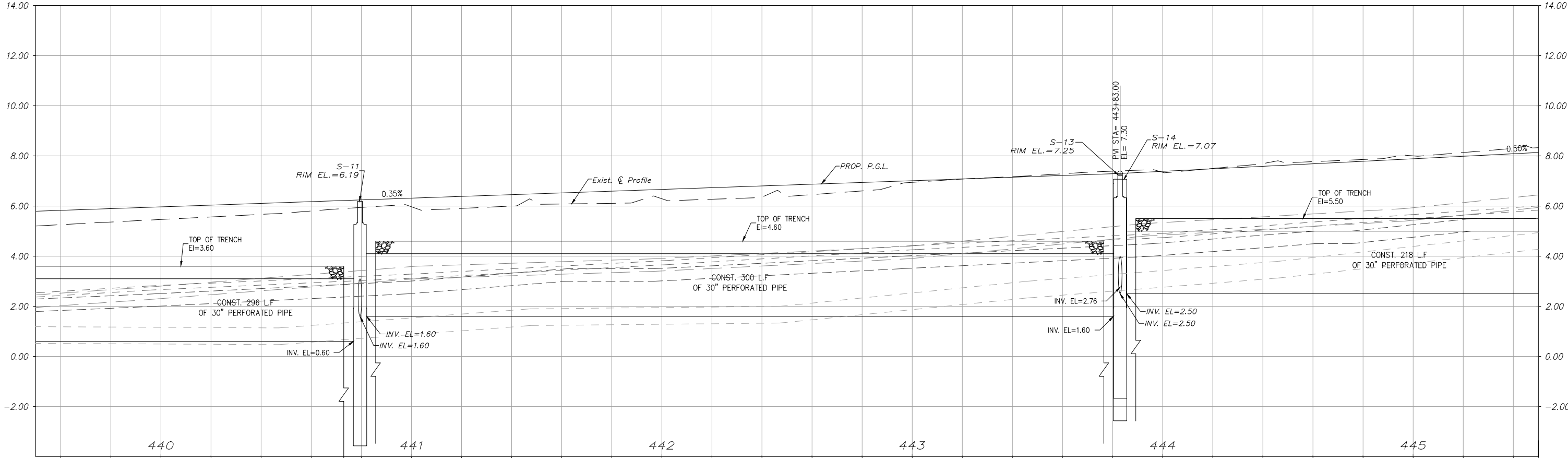
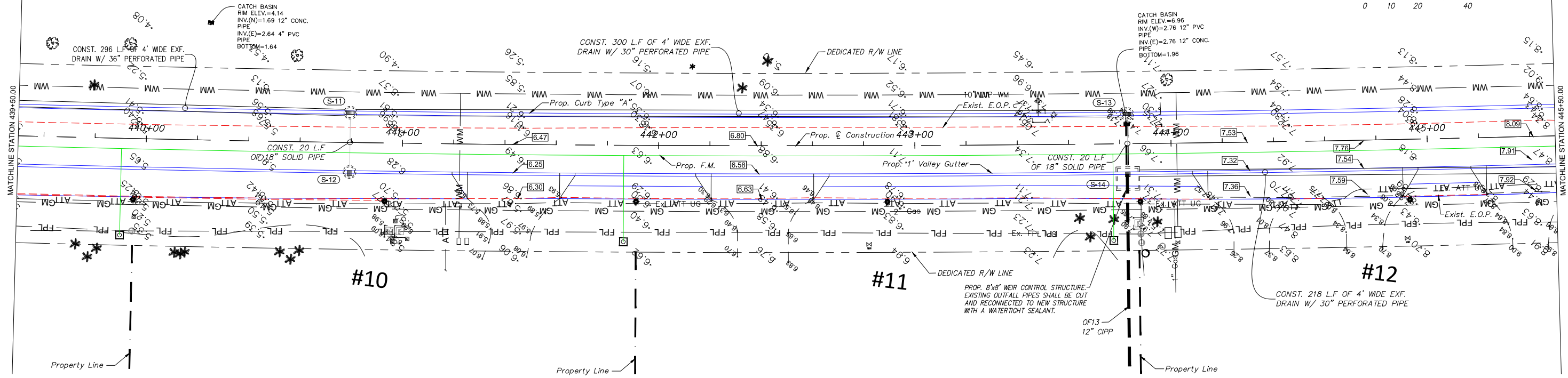
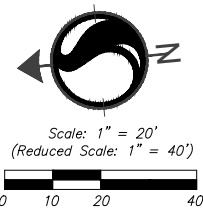
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C-49


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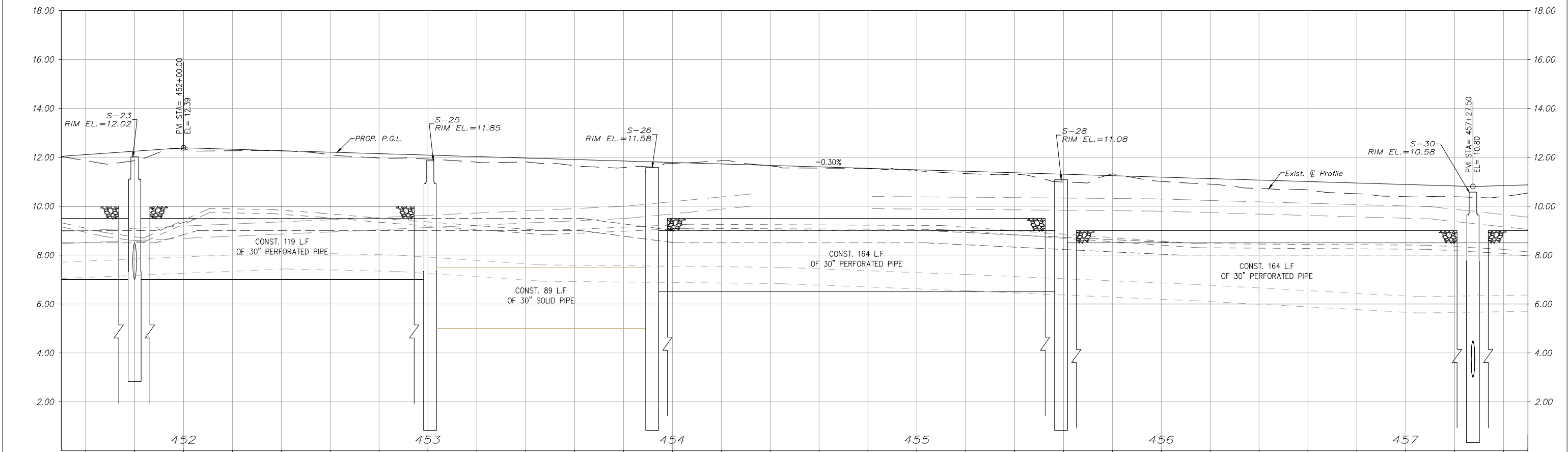
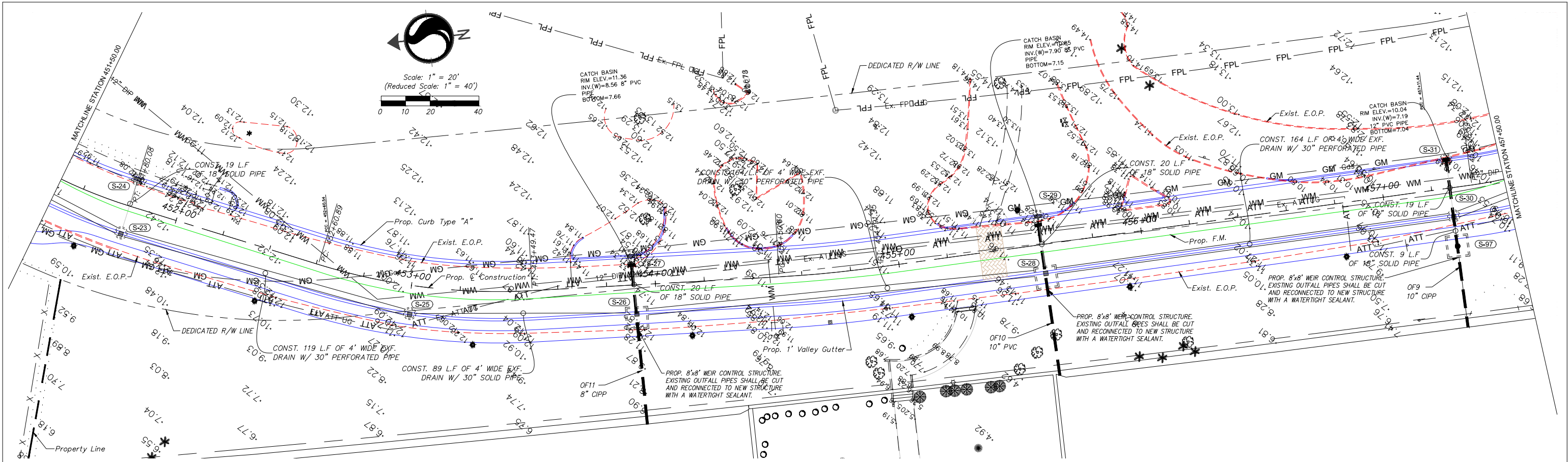
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Revision



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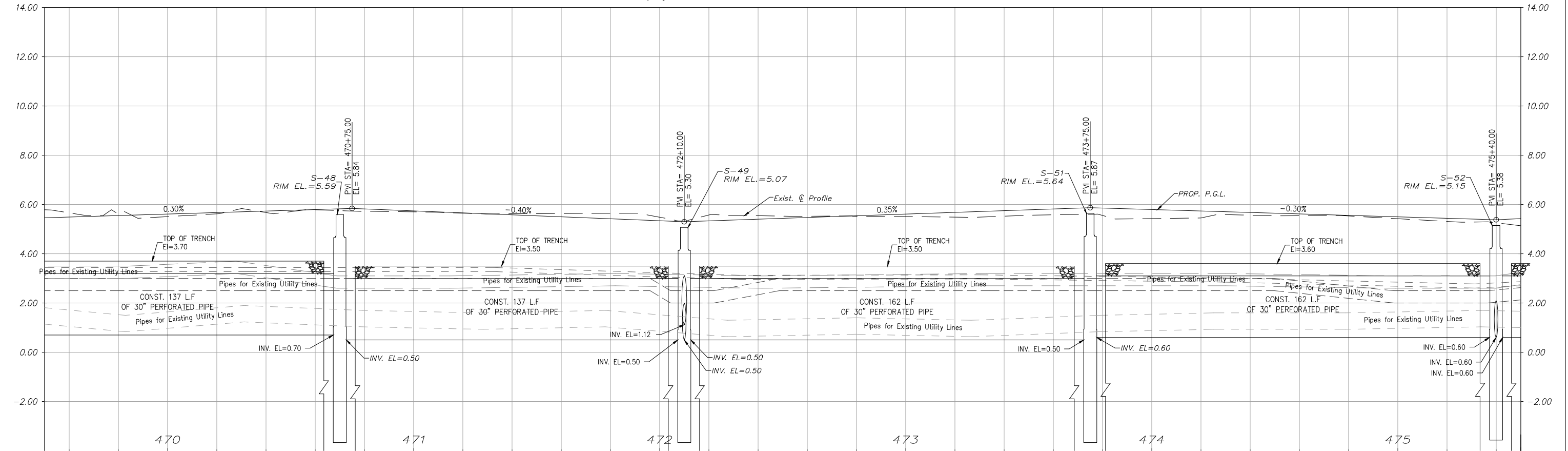
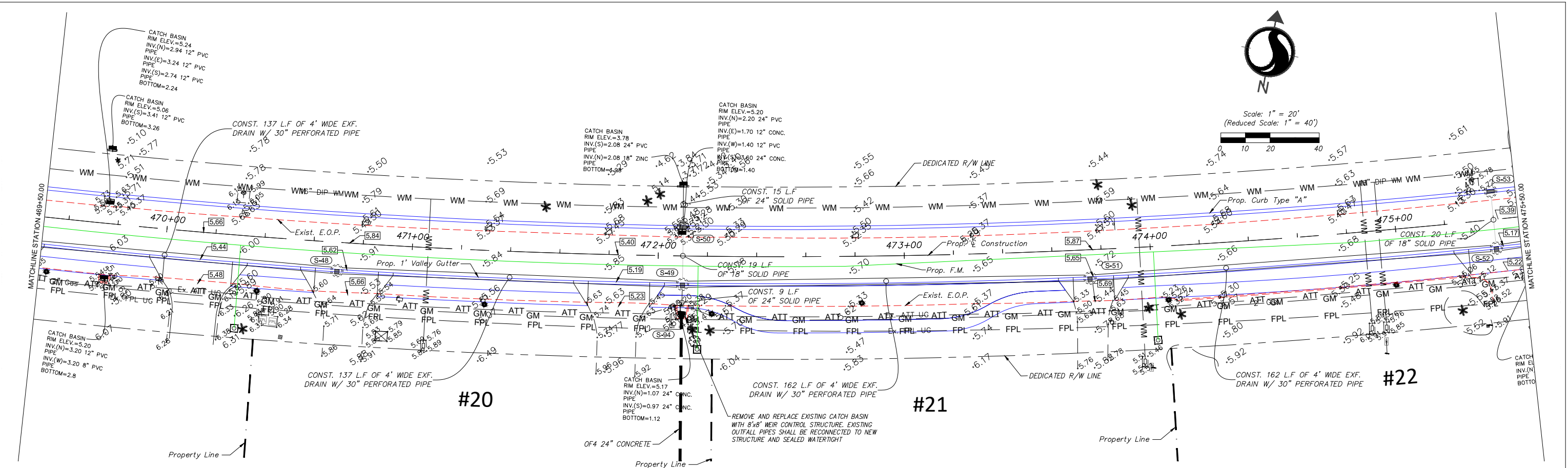
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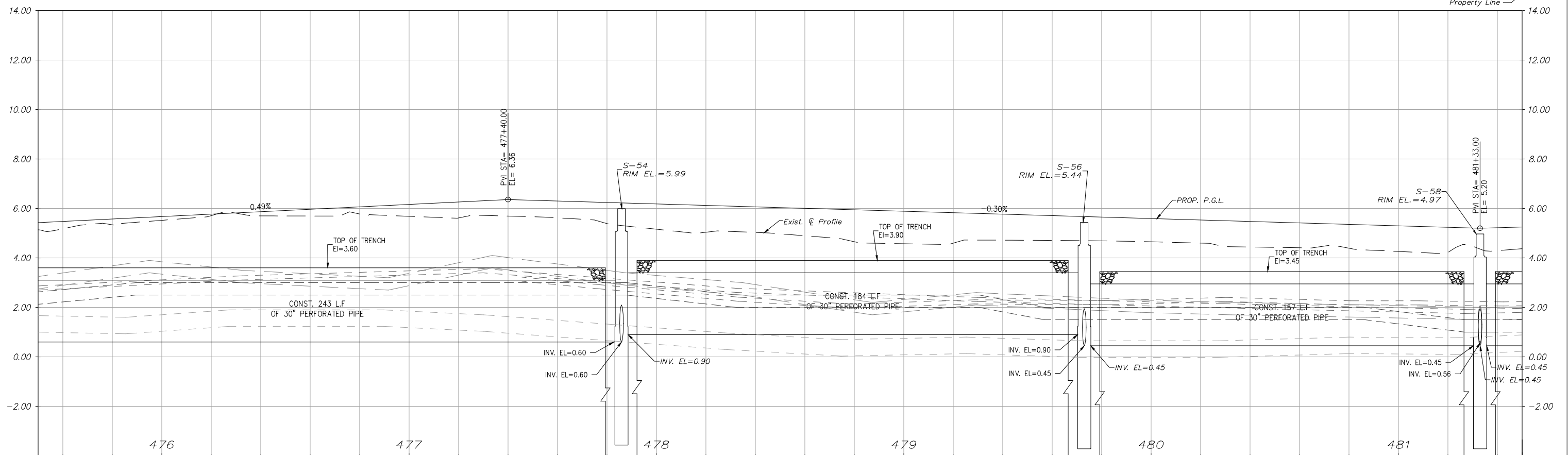
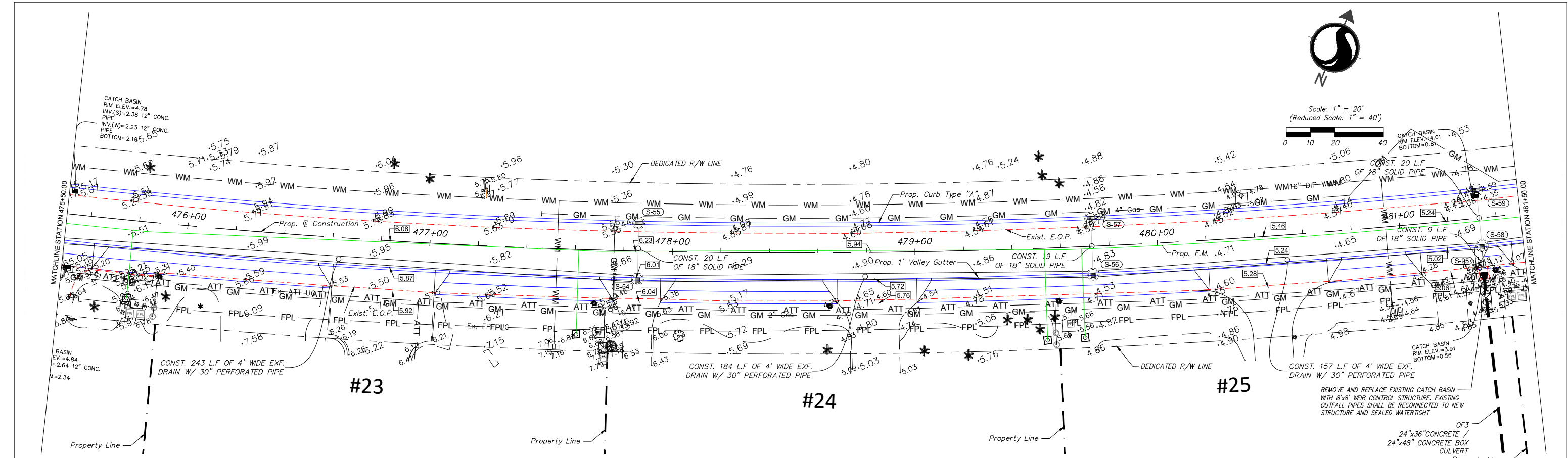
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Project No. 215615771

Drawing No. C-55

Scale Sheet Revision

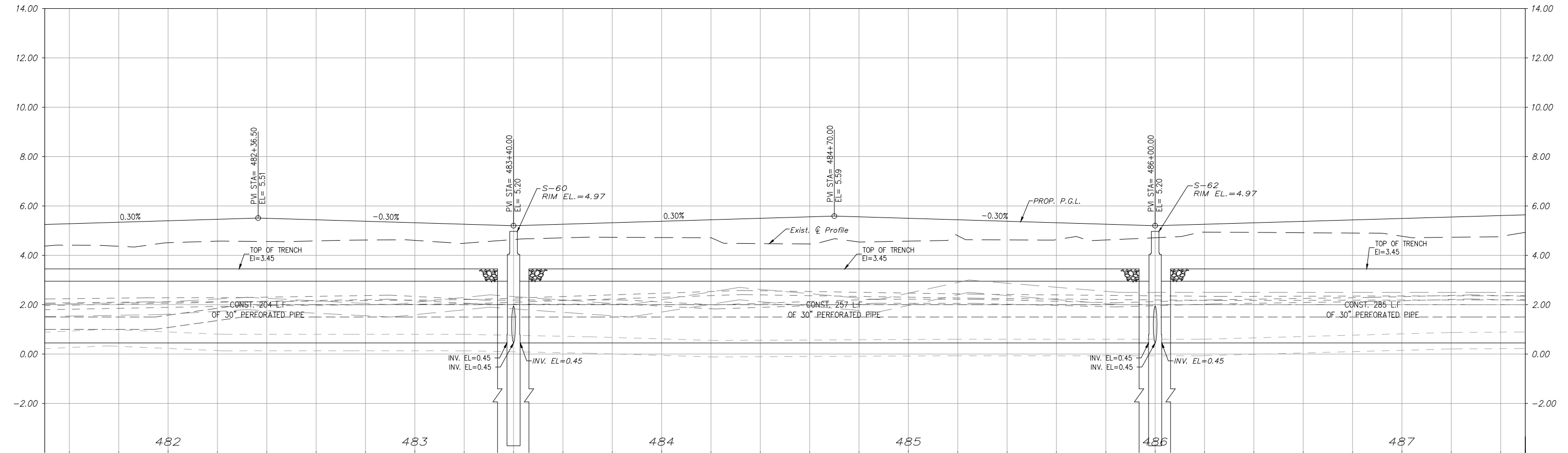
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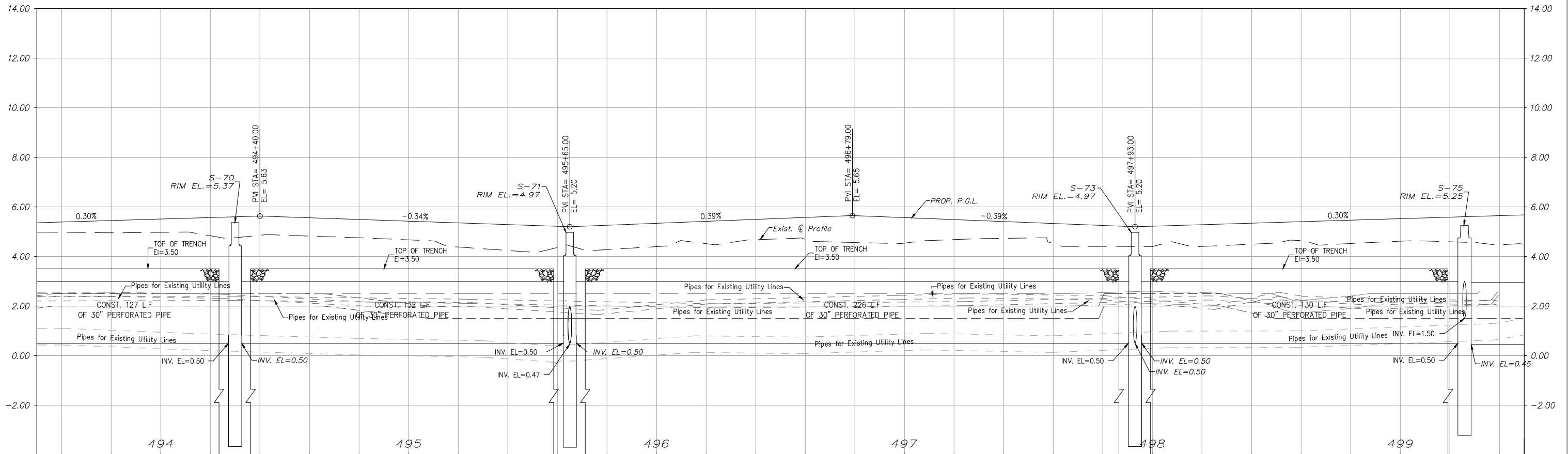
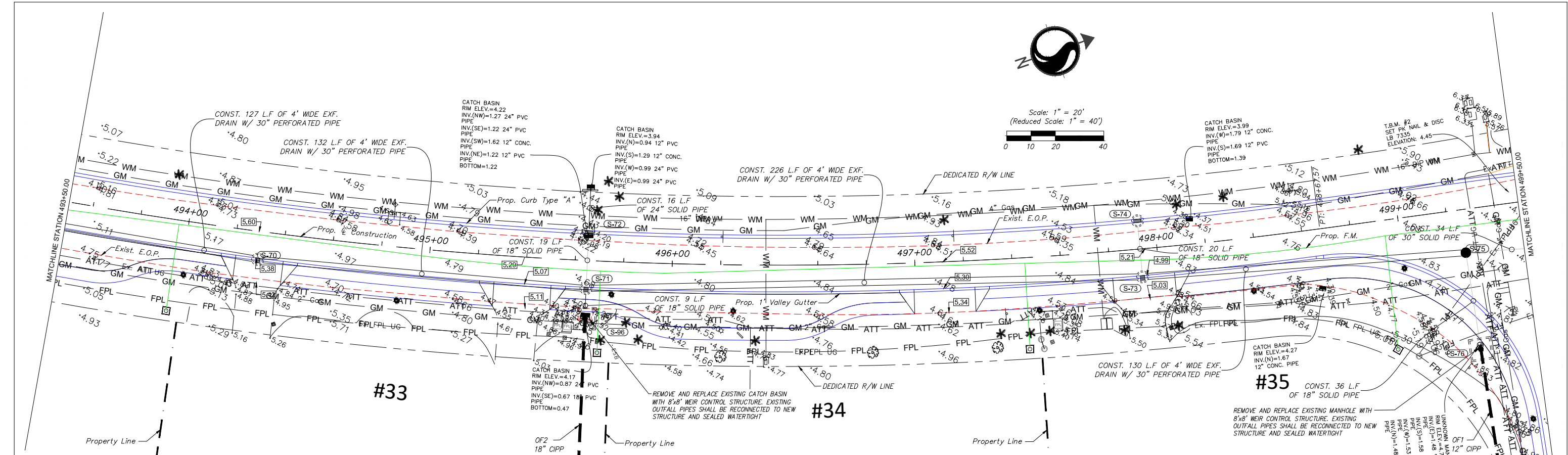
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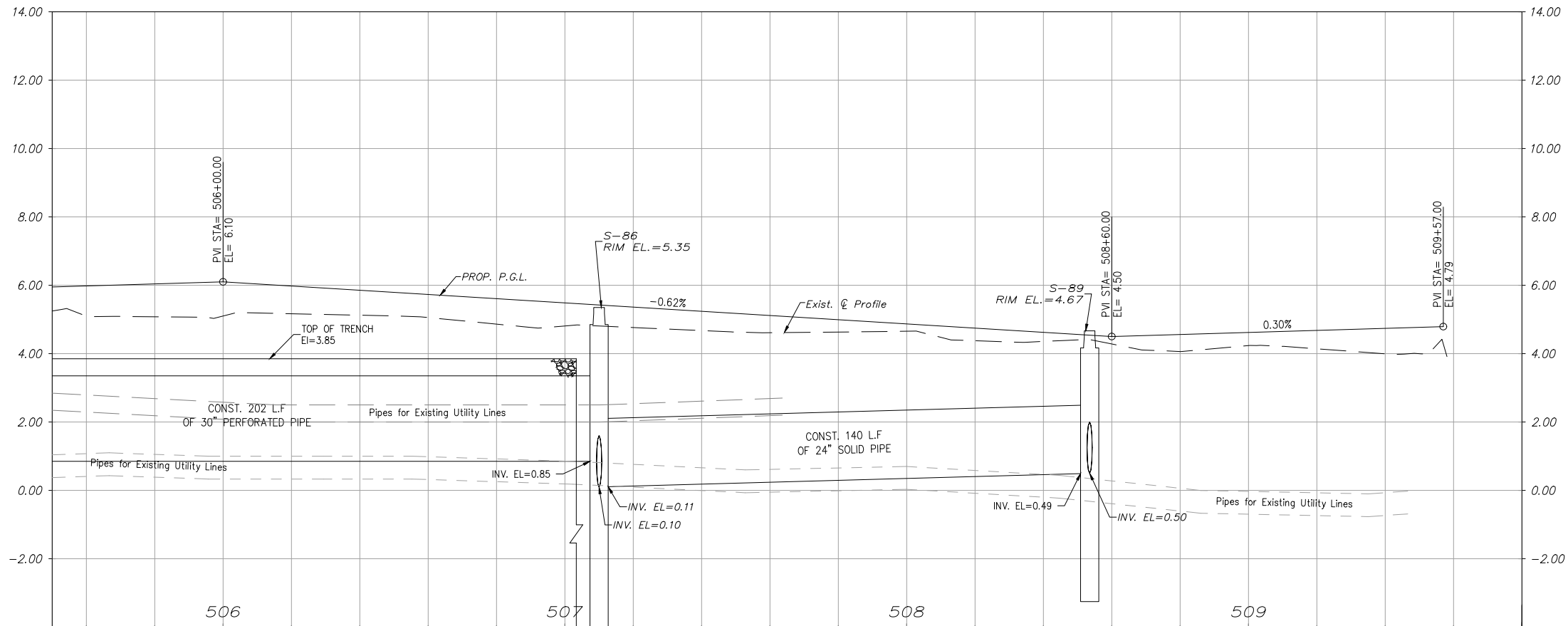
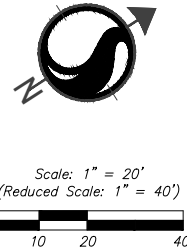
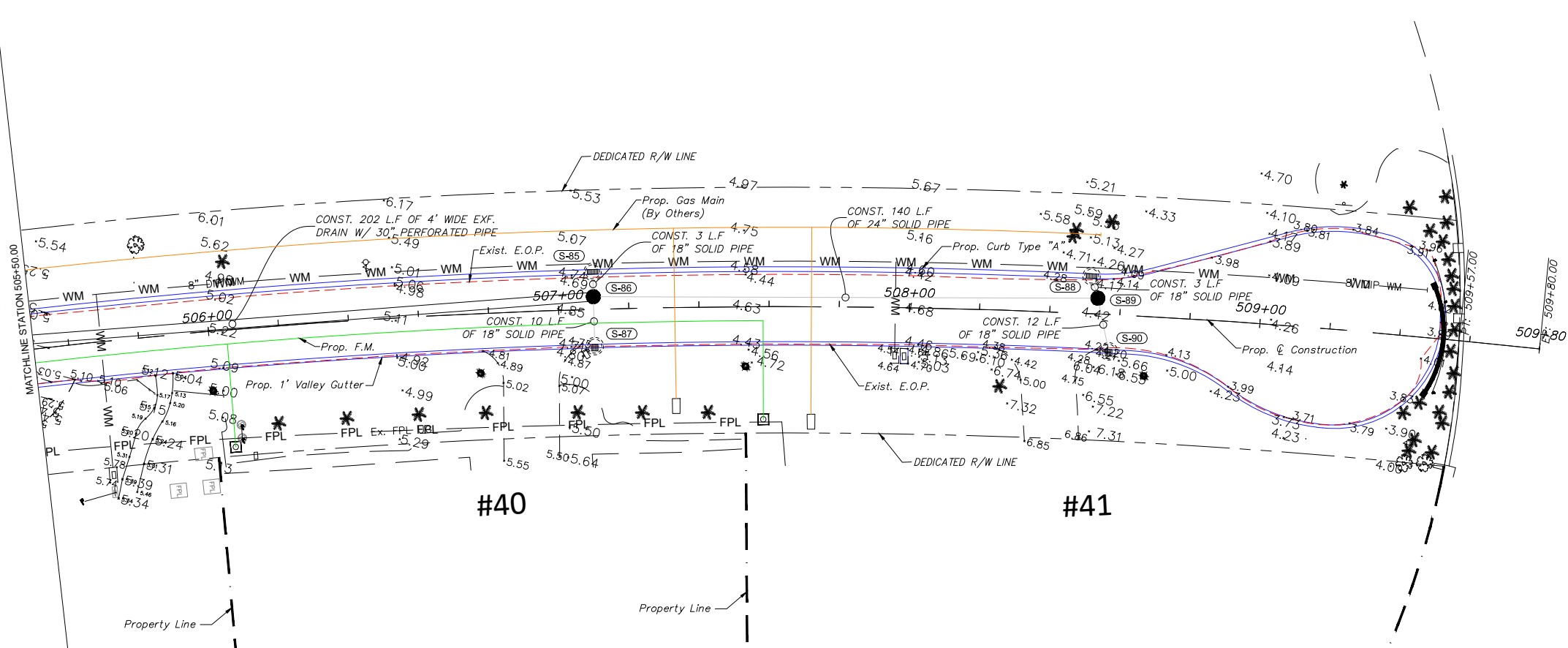
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PLAN & PROFILE

Project No.
215615771

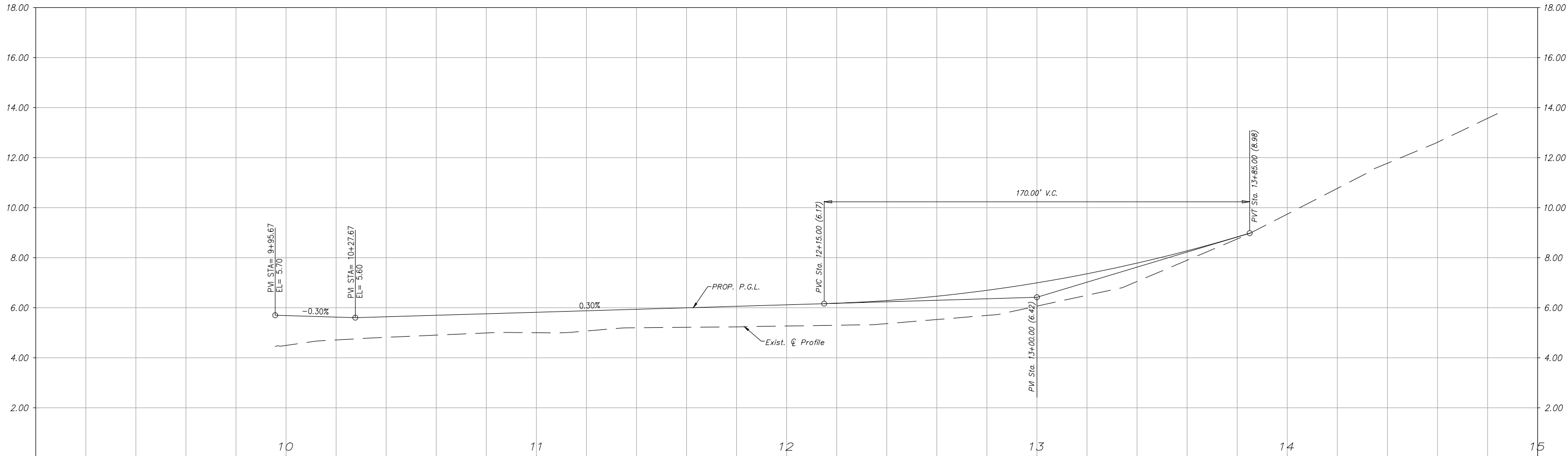
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Drawing No.
C-61

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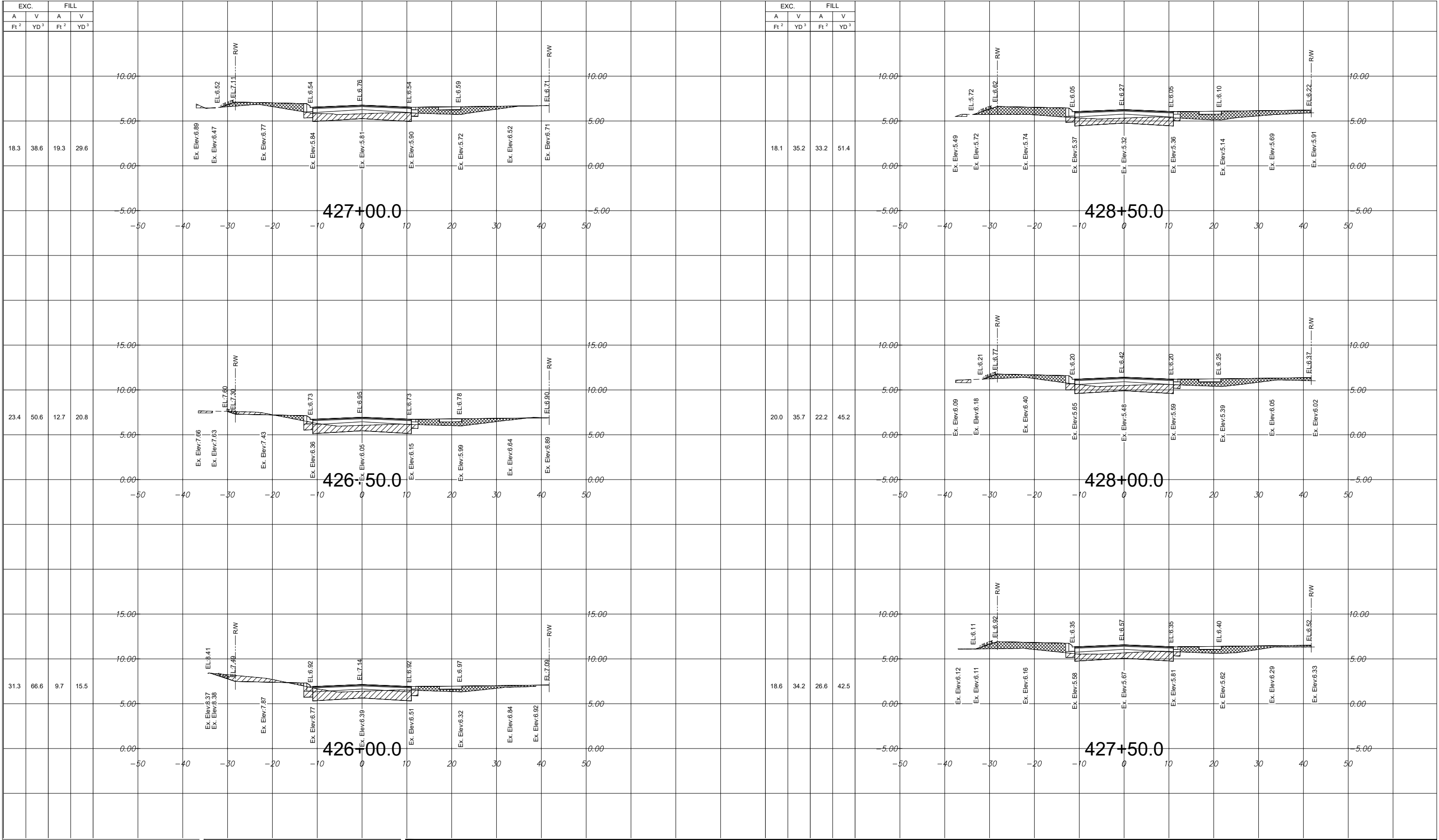
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File Name: 15771_PLAN & PROFILE.DWG
 RM Dwn. CMH Chkd. --- Dsgn. 2020-12-07
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PLAN & PROFILE

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File Name: 15771 XSECTIONS.DWG

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CROSS SECTIONS

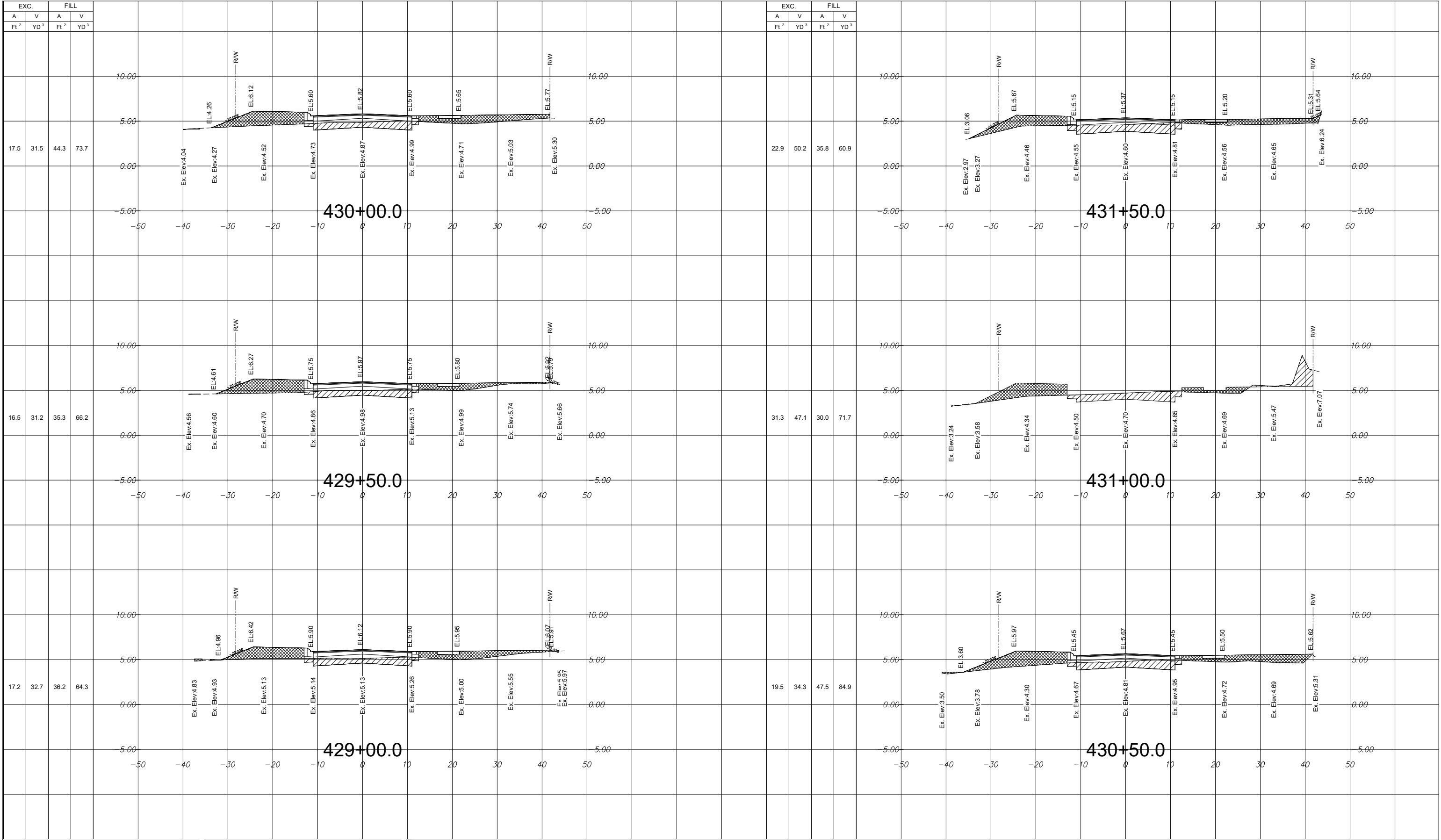
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215615771

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CROSS SECTIONS

Project No.
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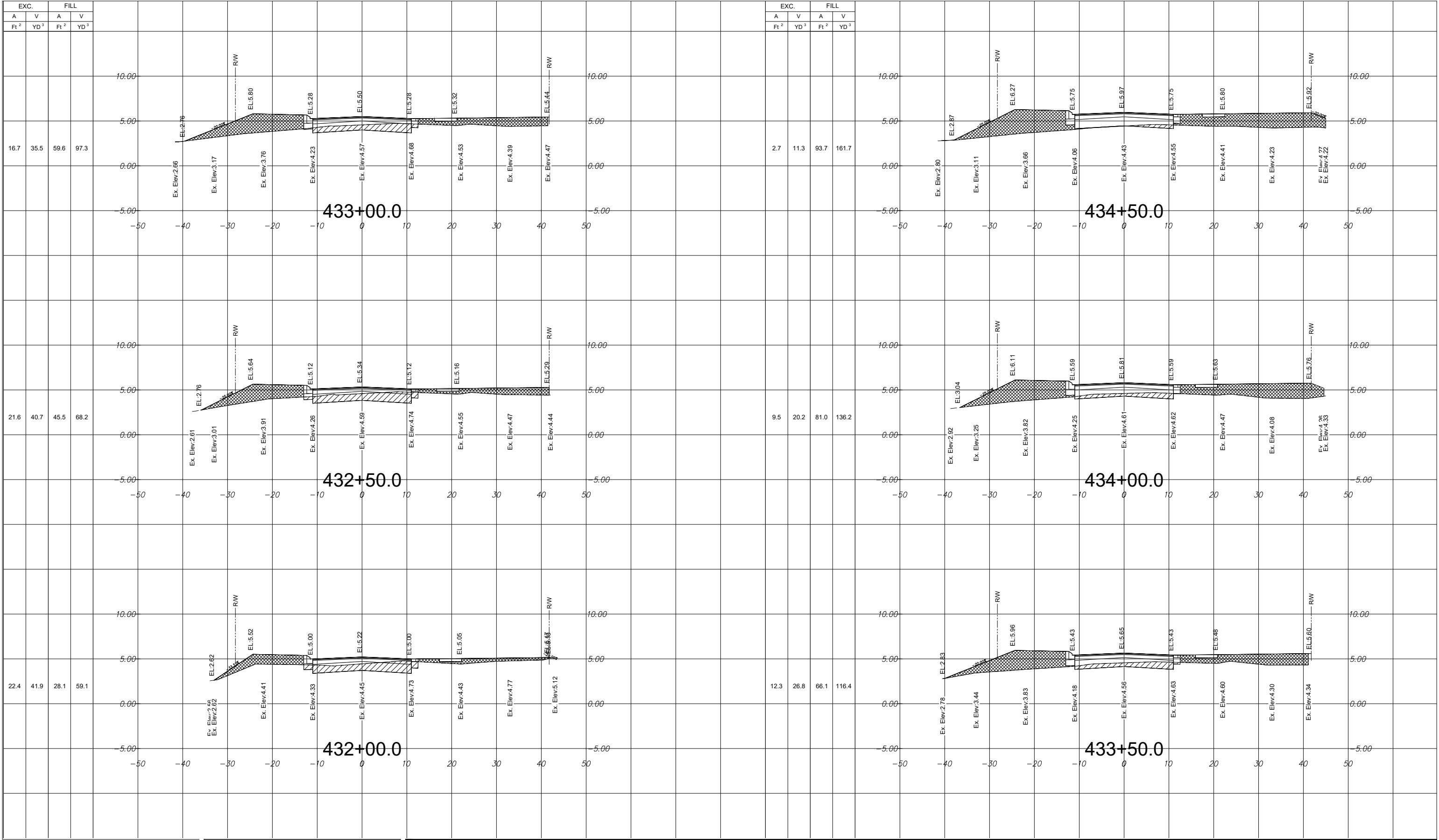
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CROSS SECTIONS

Project No.
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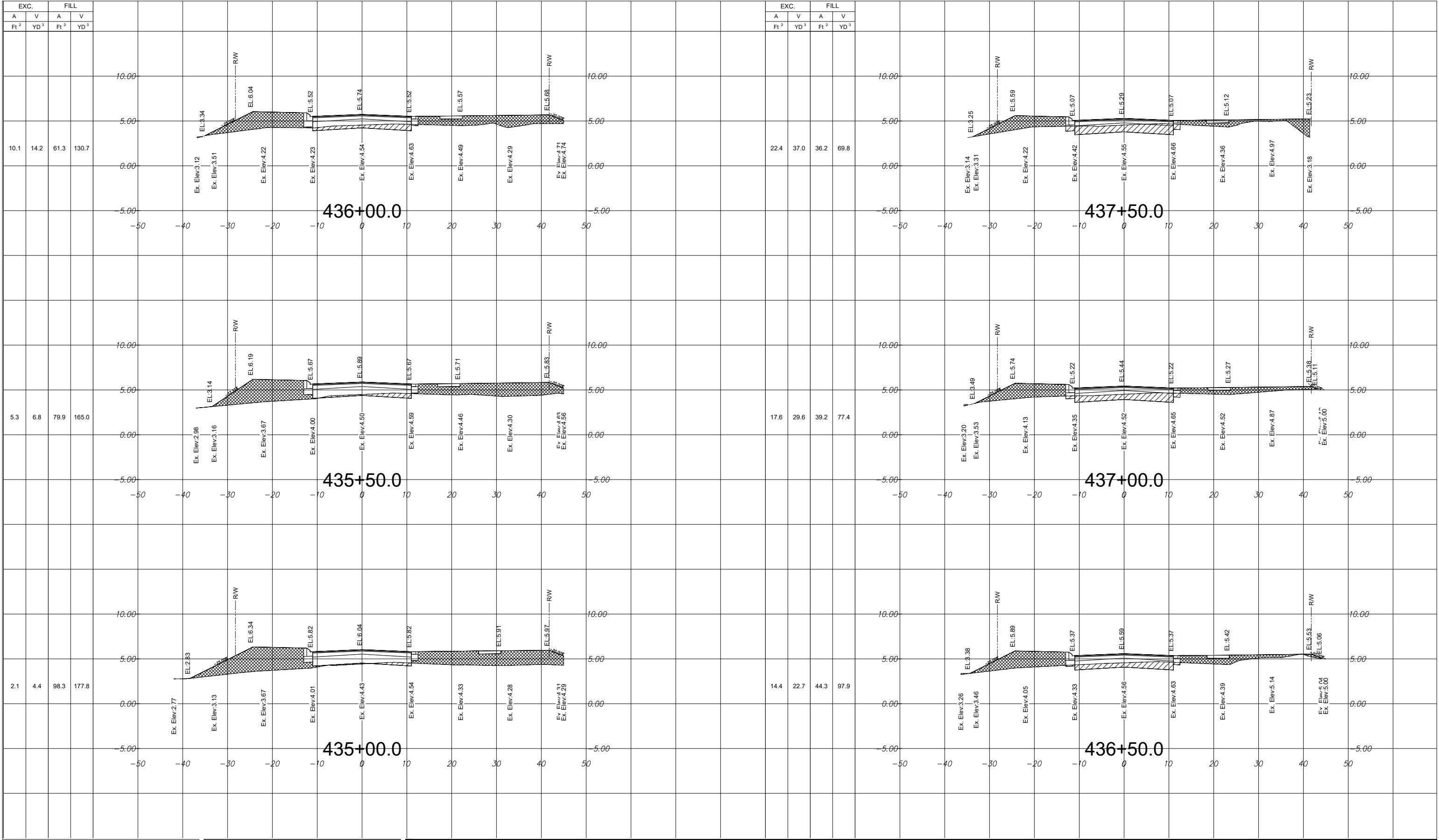
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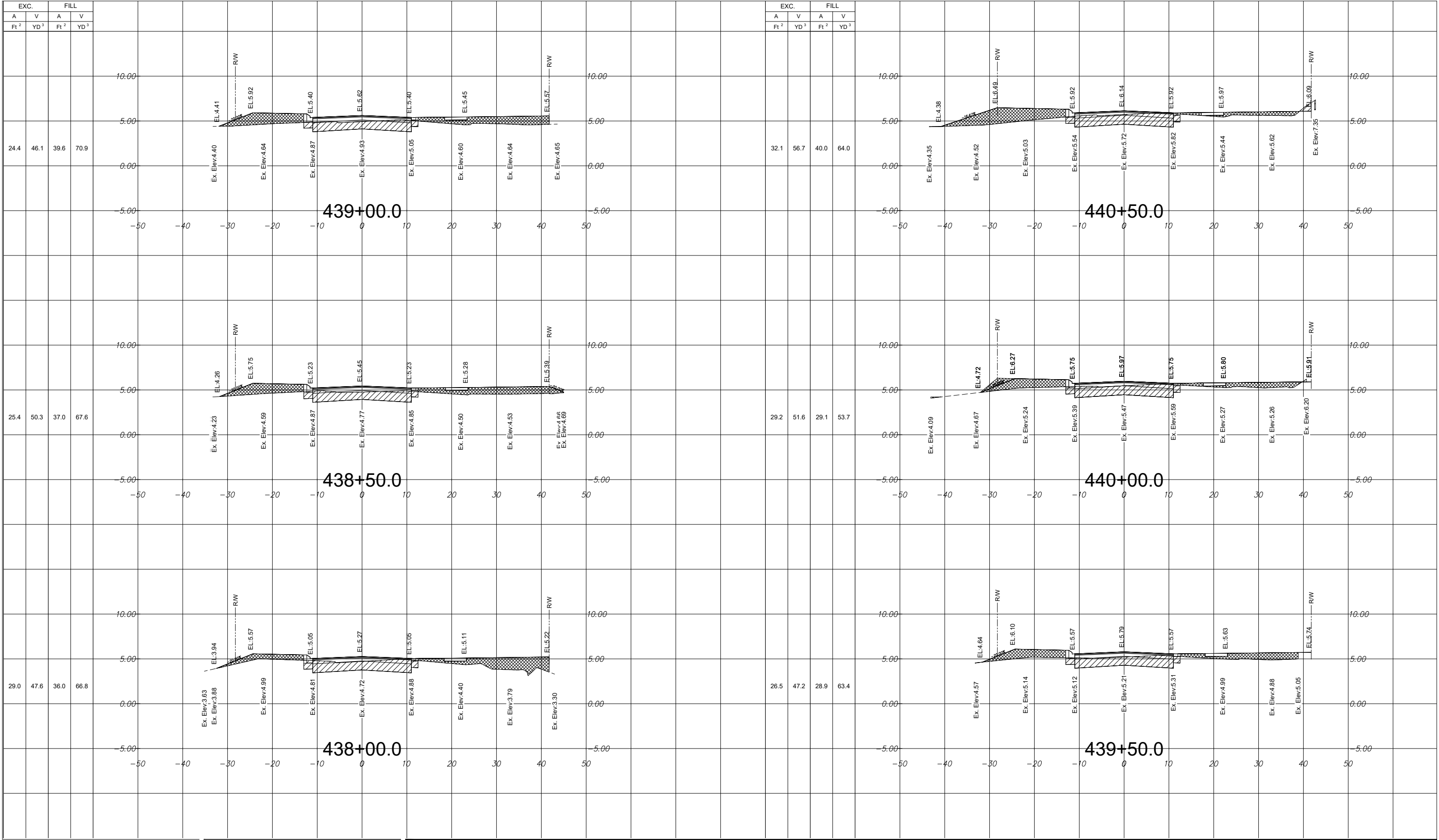
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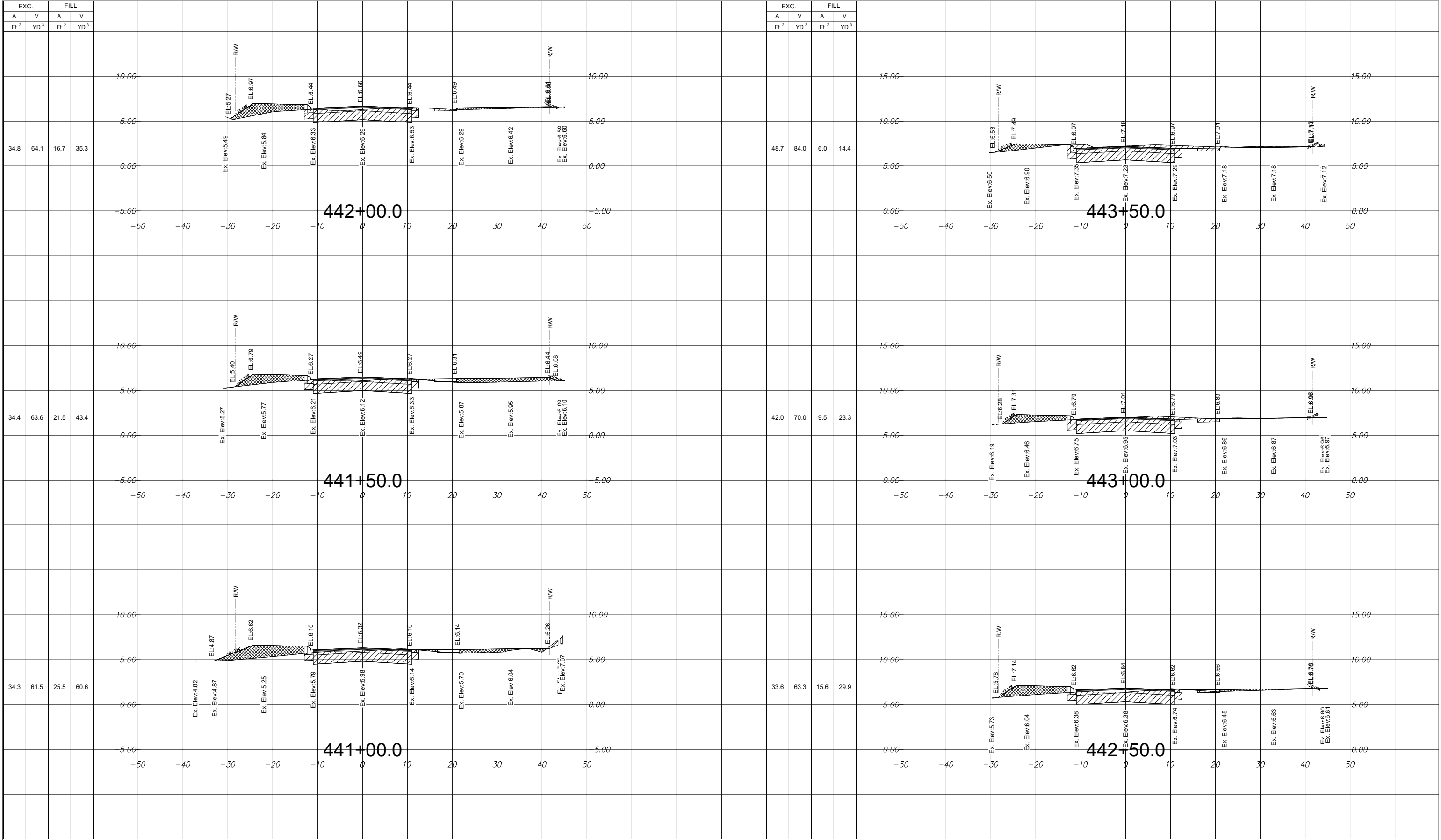
Drawing No.
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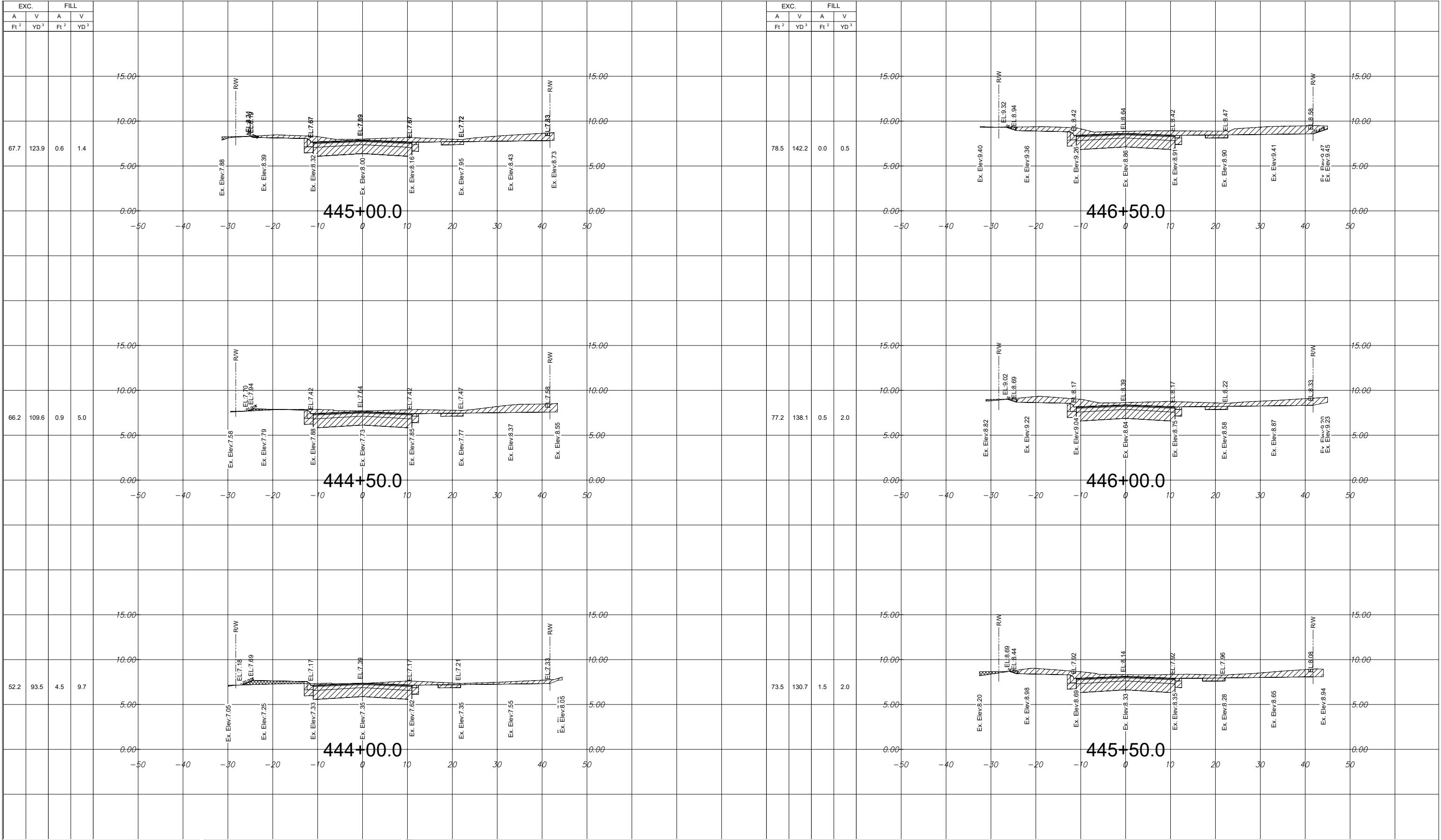
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Scale

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C-72

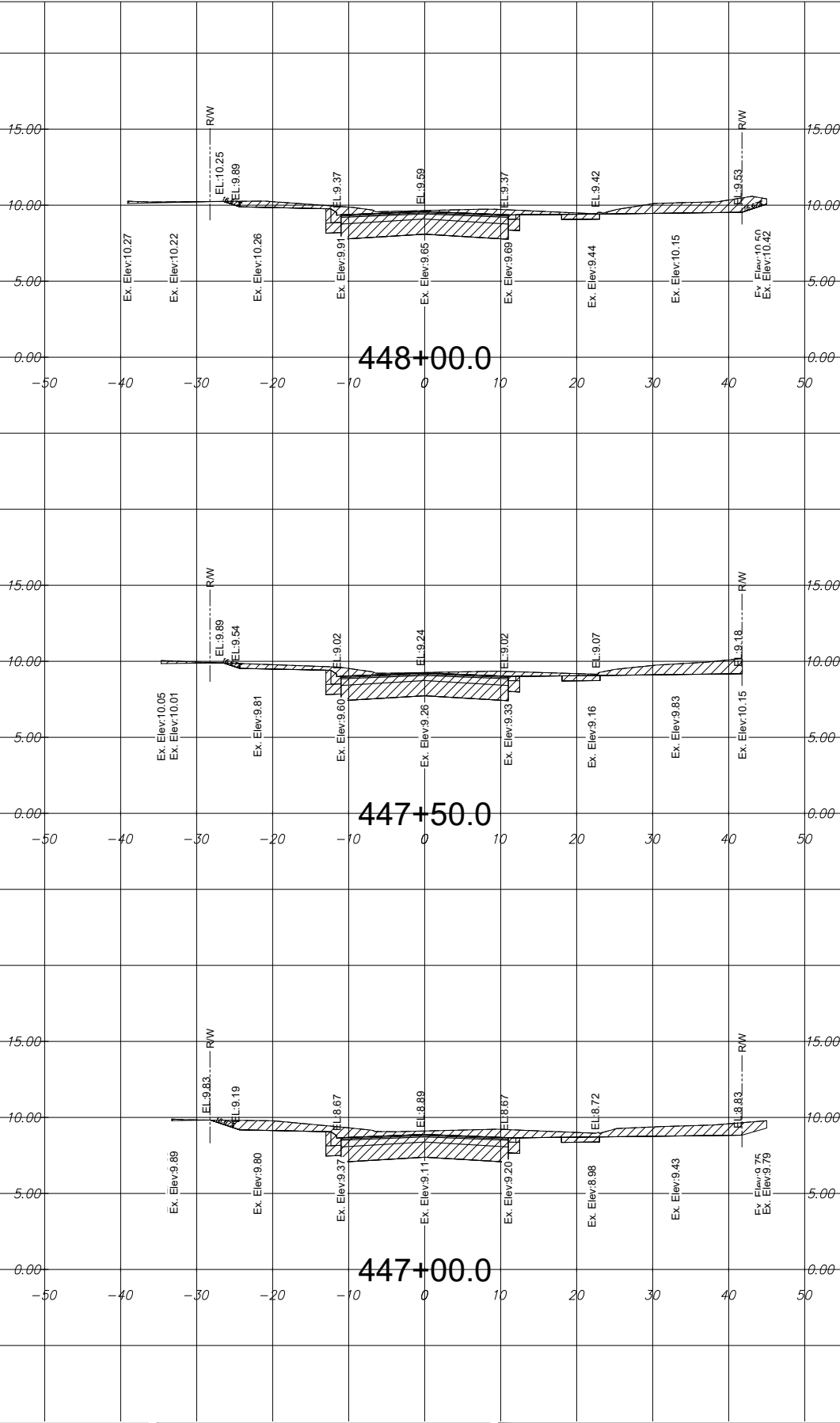
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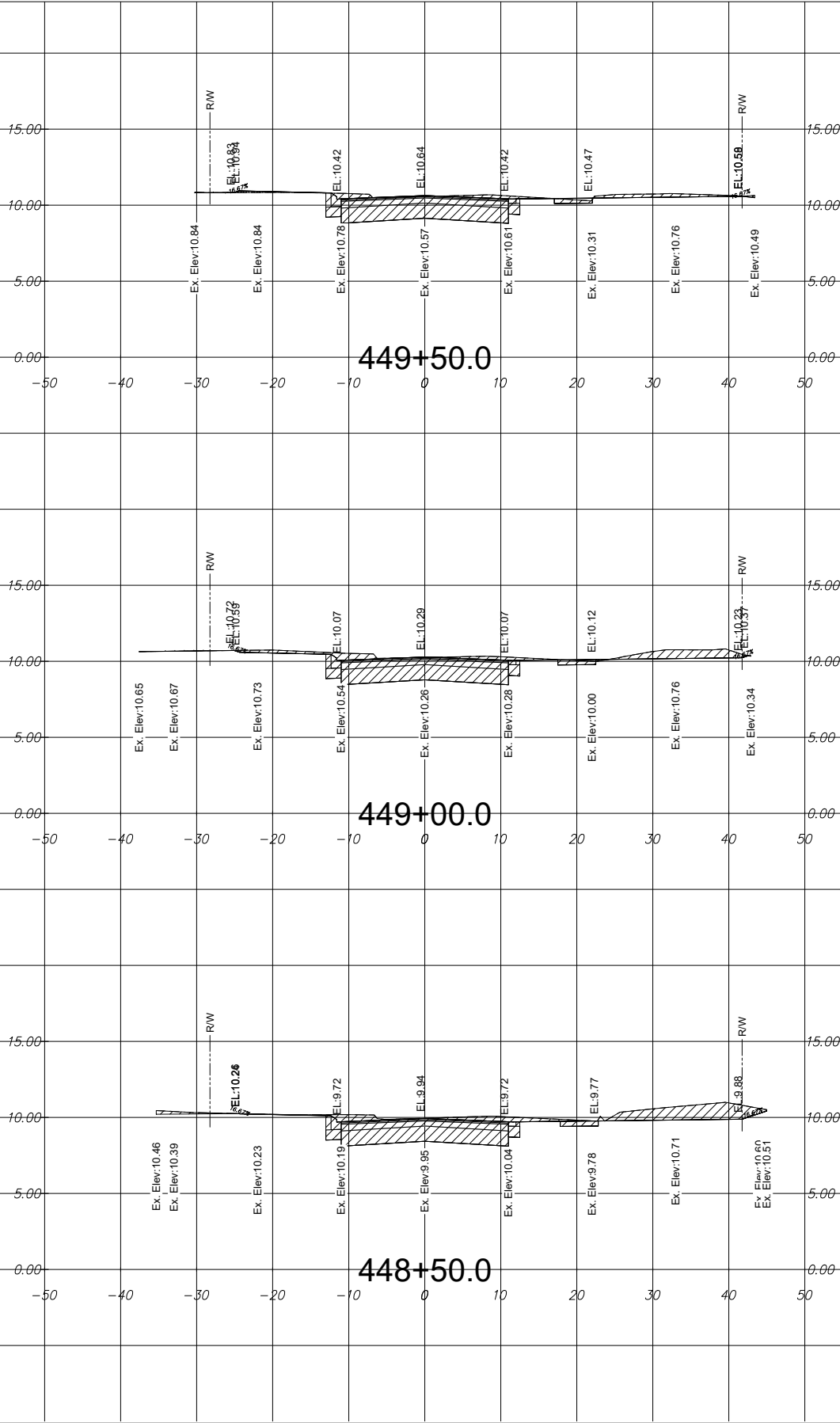
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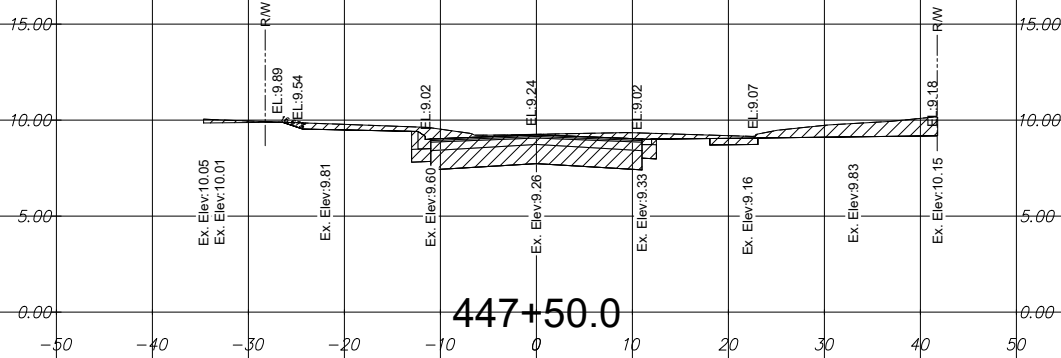
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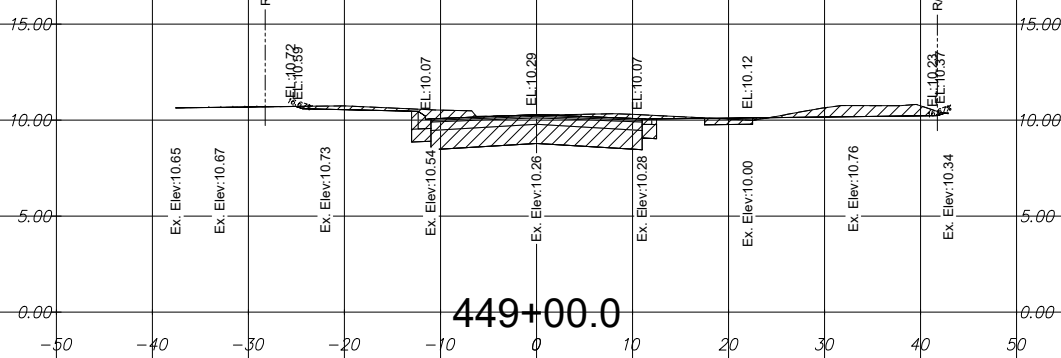
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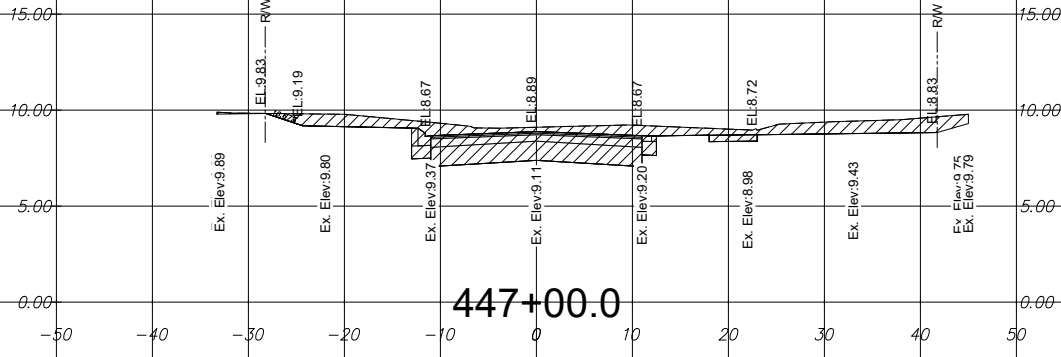
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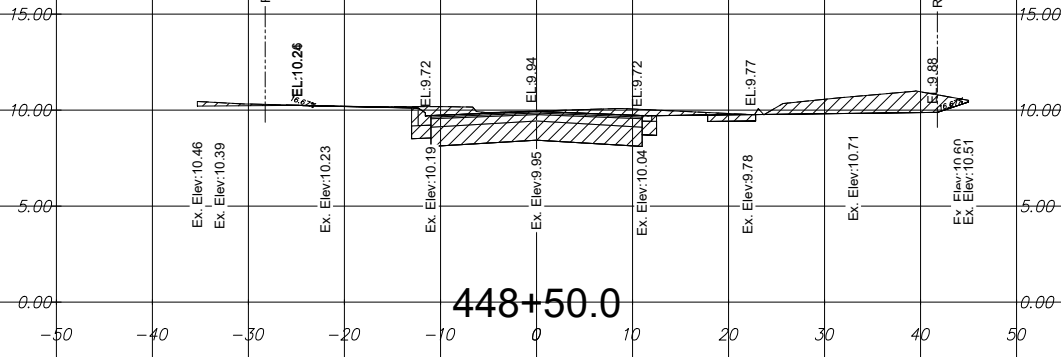
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EXC.		FILL	
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File Name: 15771 XSECTIONS.DWG
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 2020-12-07
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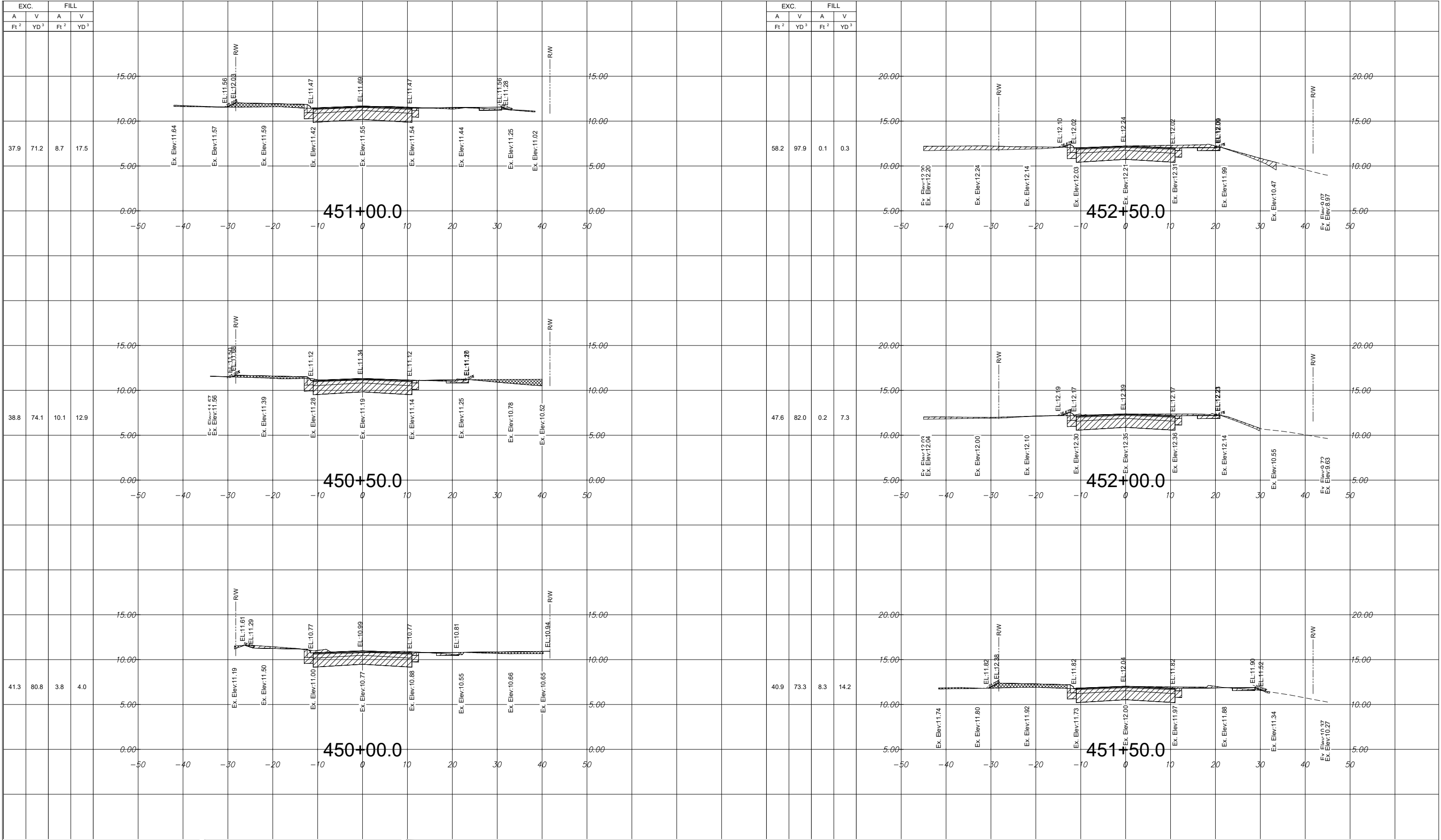
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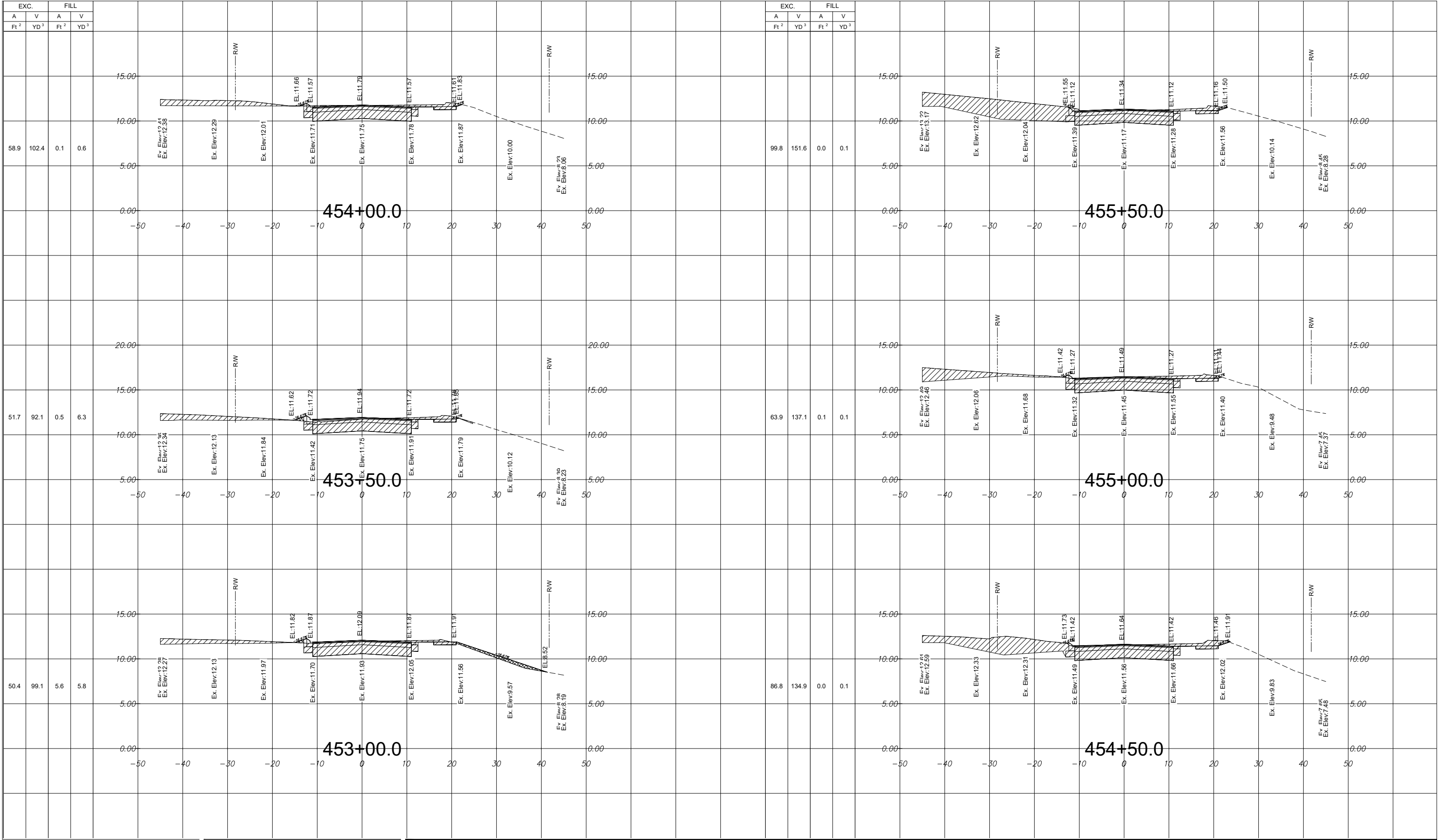
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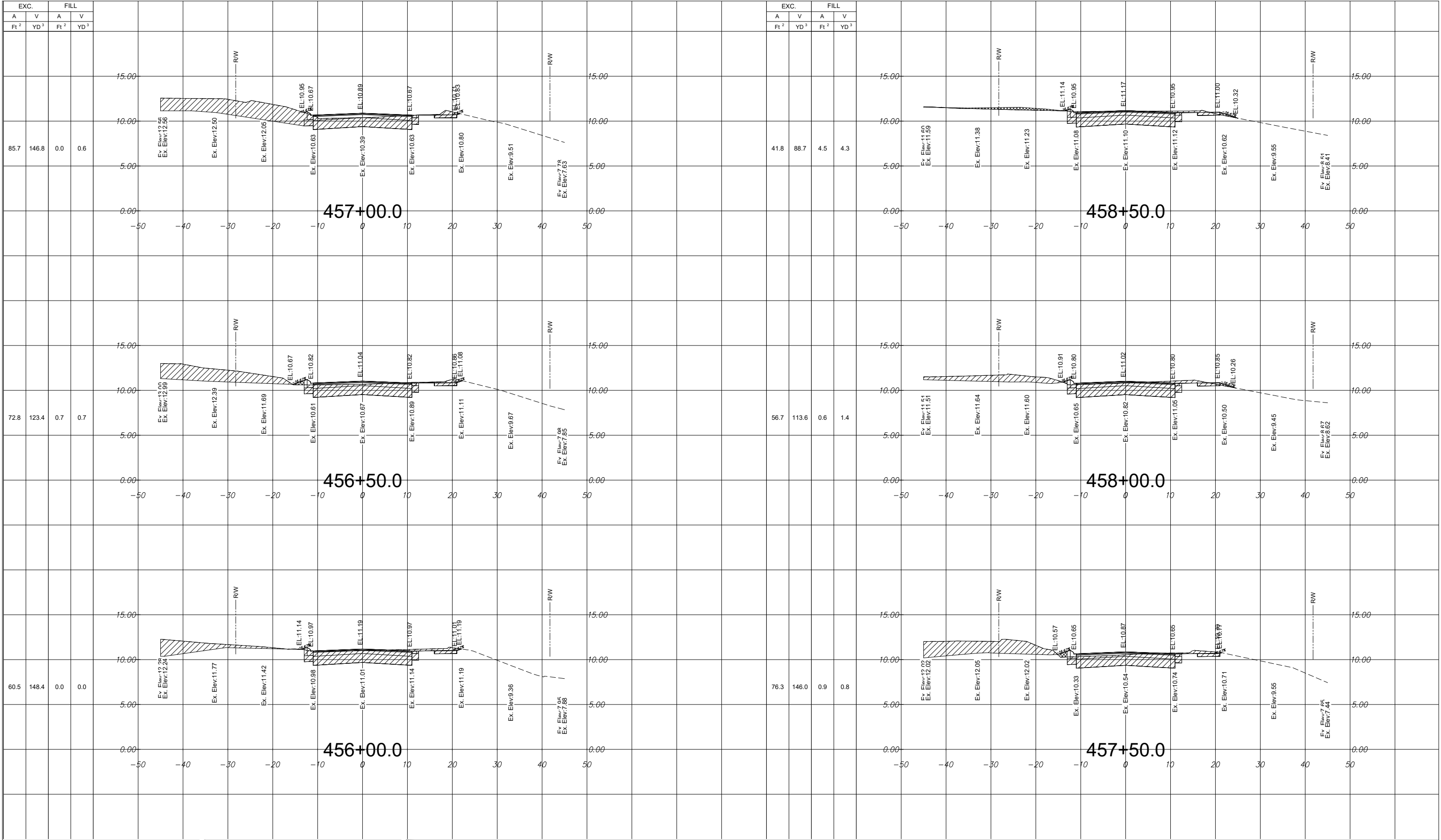
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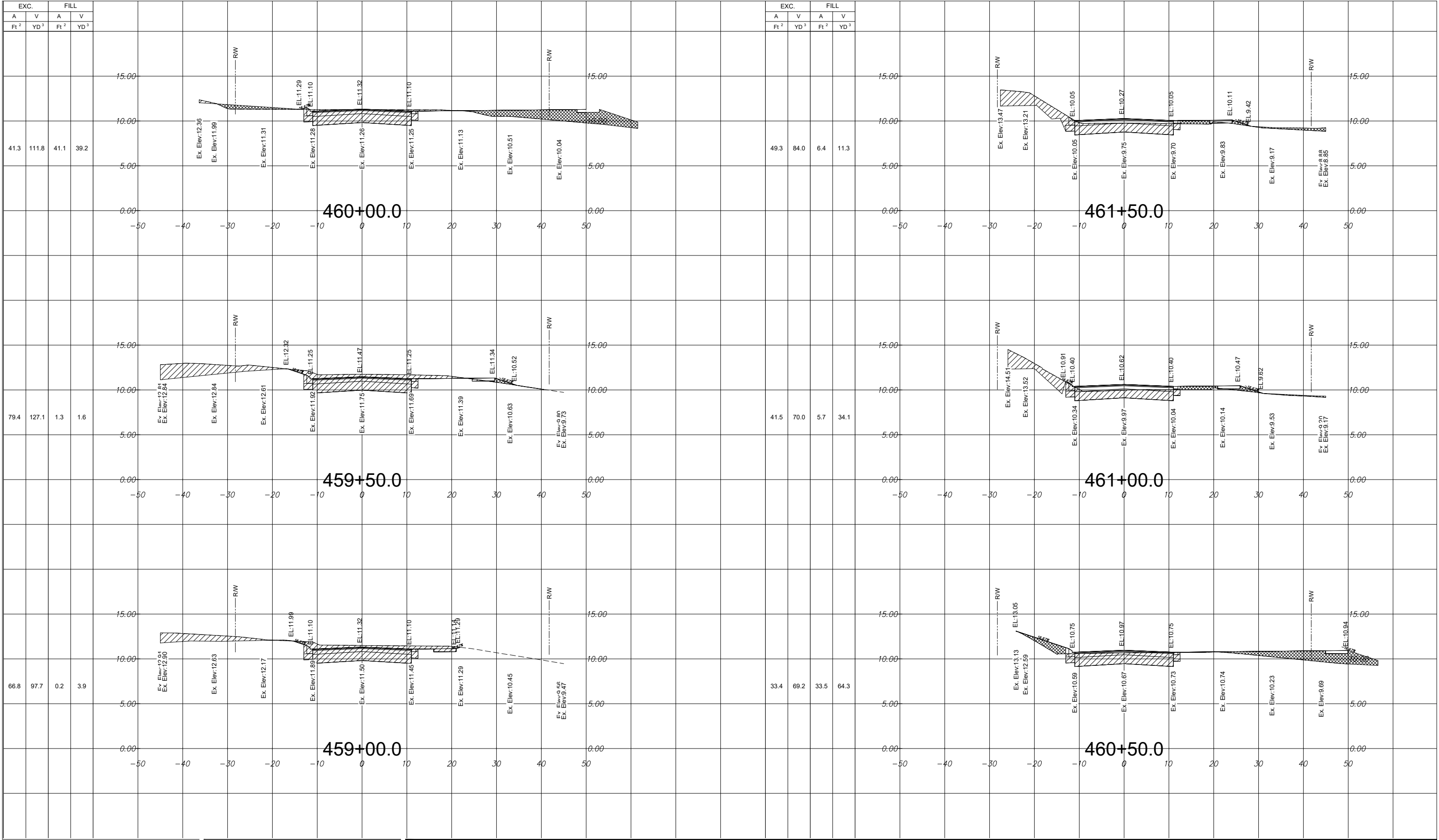
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

RM

SC

RF

2020-12-07

Dwn.

Chkd.

Dsgn.

YYYY.MM.DD

CROSS SECTIONS

Project No.
215615771

Scale

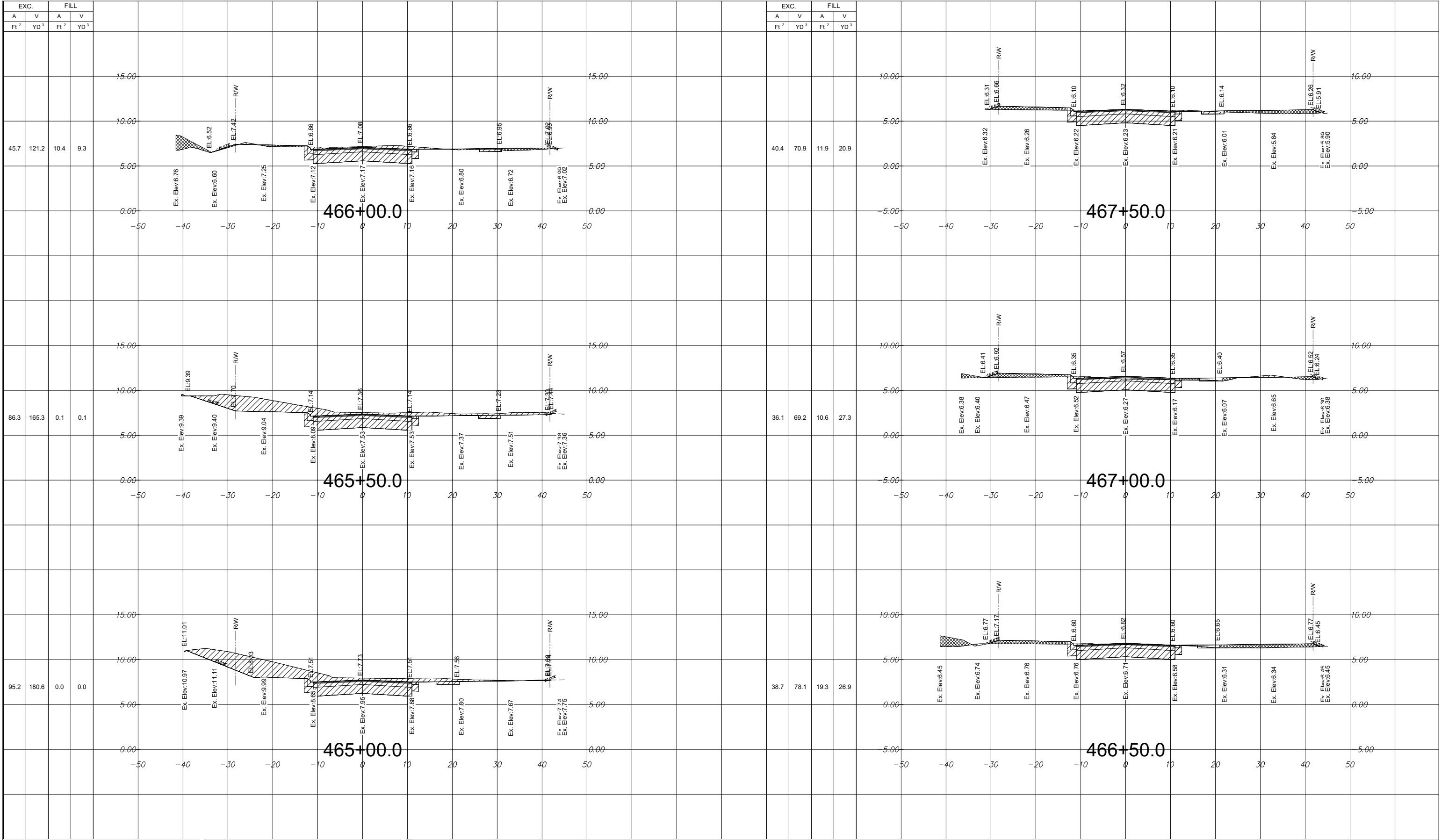
Drawing No.
C-77

Sheet
of 152

Revision

PLOTTED BY: MORALES, ROD 12/7/2020 4:47 PM

CREATED: 2020-12-07 - V:\2156\ACTIVE\215615771\DRAWINGS\CIVIL\CAD FILES JUNE 2020\INDIAN CREEK CIVIL PLANS\15771 XSECTIONS.DWG



EXC.				FILL			
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Ft ²	YD ³	Ft ²	YD ³	Ft ²	YD ³	Ft ²	YD ³
45.7	121.2	10.4	9.3				
86.3	165.3	0.1	0.1				
95.2	180.6	0.0	0.0				

EXC.				FILL			
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Ft ²	YD ³	Ft ²	YD ³	Ft ²	YD ³	Ft ²	YD ³
40.4	70.9	11.9	20.9				
36.1	69.2	10.6	27.3				
38.7	78.1	19.3	26.9				

INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA			
File Name: 15771 XSECTIONS.DWG	RM Dwn.	SC Chkd.	RF Dsgn.
2020-12-07 YYYY.MM.DD			

CROSS SECTIONS			
Project No. 215615771	Scale	Revision	
Drawing No. C-79	Sheet of 152	Revision	

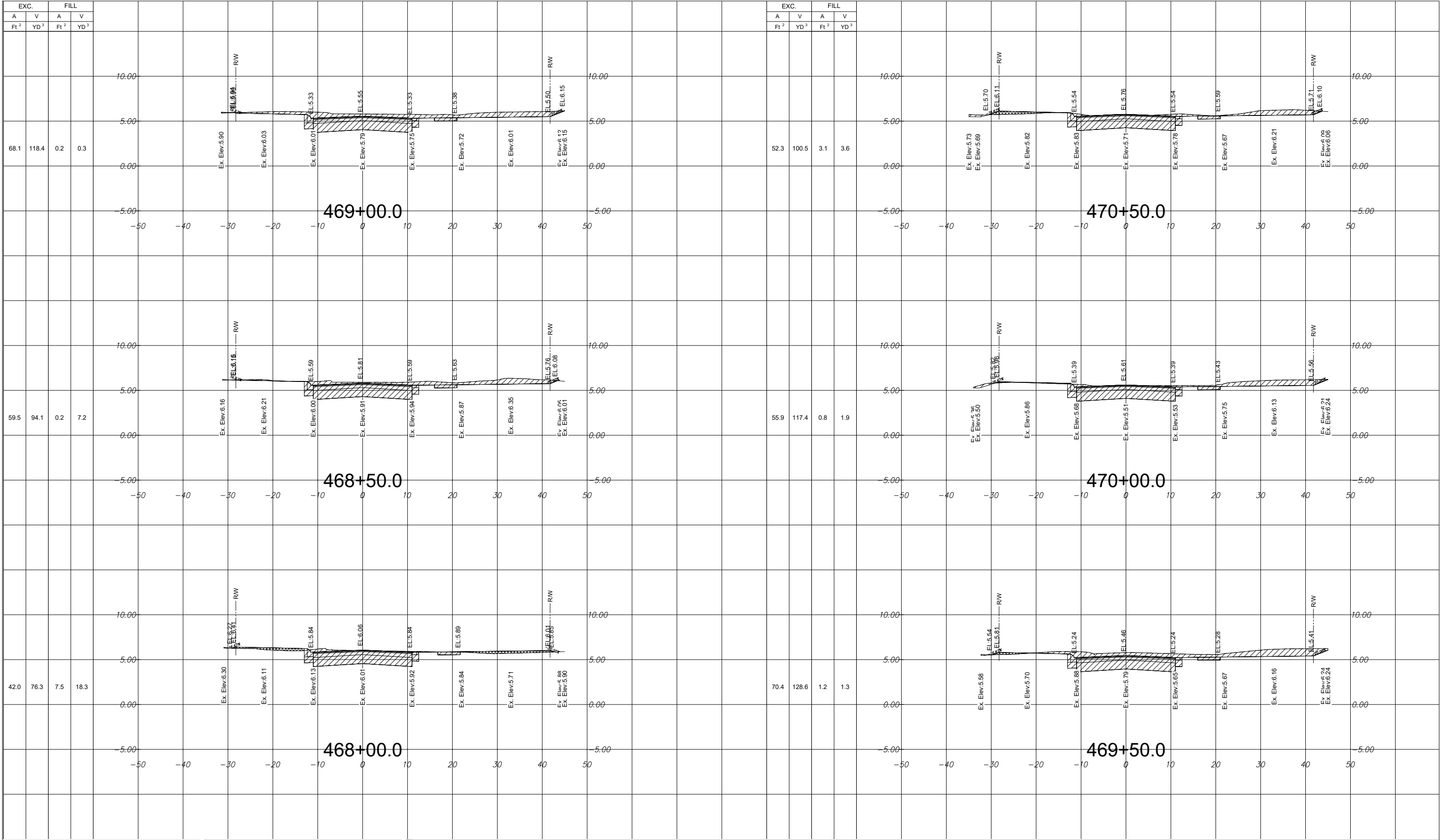
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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

RM
Dwn.

SC
Chkd.

RF
Dsgn.

2020-12-07
YYYY.MM.DD

CROSS SECTIONS

Project No.
215615771

Scale

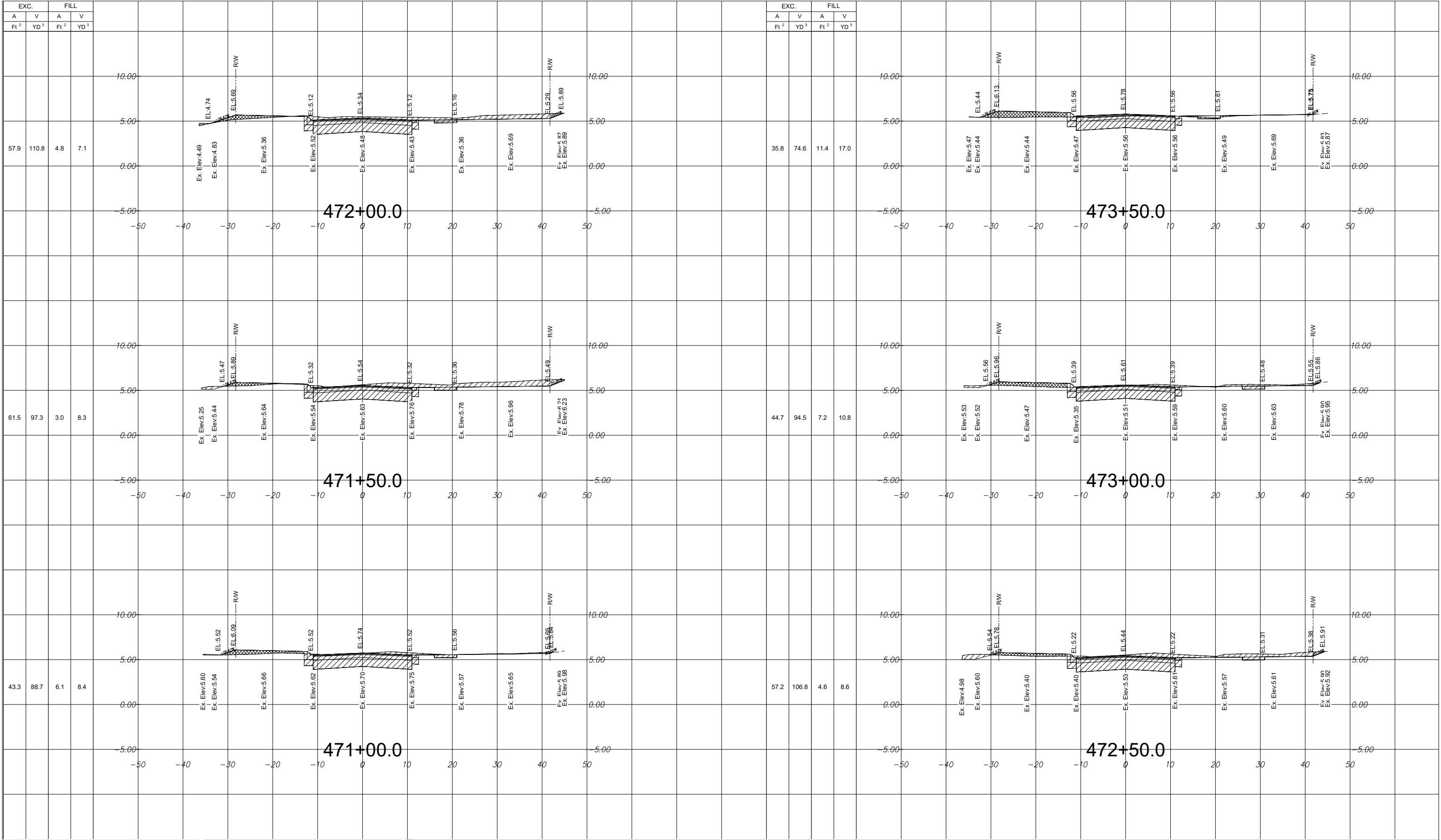
Drawing No.
C-80

Sheet
of 152

Revision

PLOTTED BY: MORALES, ROD 12/7/2020 4:47 PM

CREATED: 2020-12-07 - V:\2156\ACTIVE\215615771\DRAWINGS\CIVIL\CAD FILES JUNE 2020\INDIAN CREEK CIVIL PLANS\15771 XSECTIONS.DWG



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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

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Dwn.

SC
Chkd.

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Dsgn.

2020-12-07
YYYY.MM.DD

CROSS SECTIONS

Project No.
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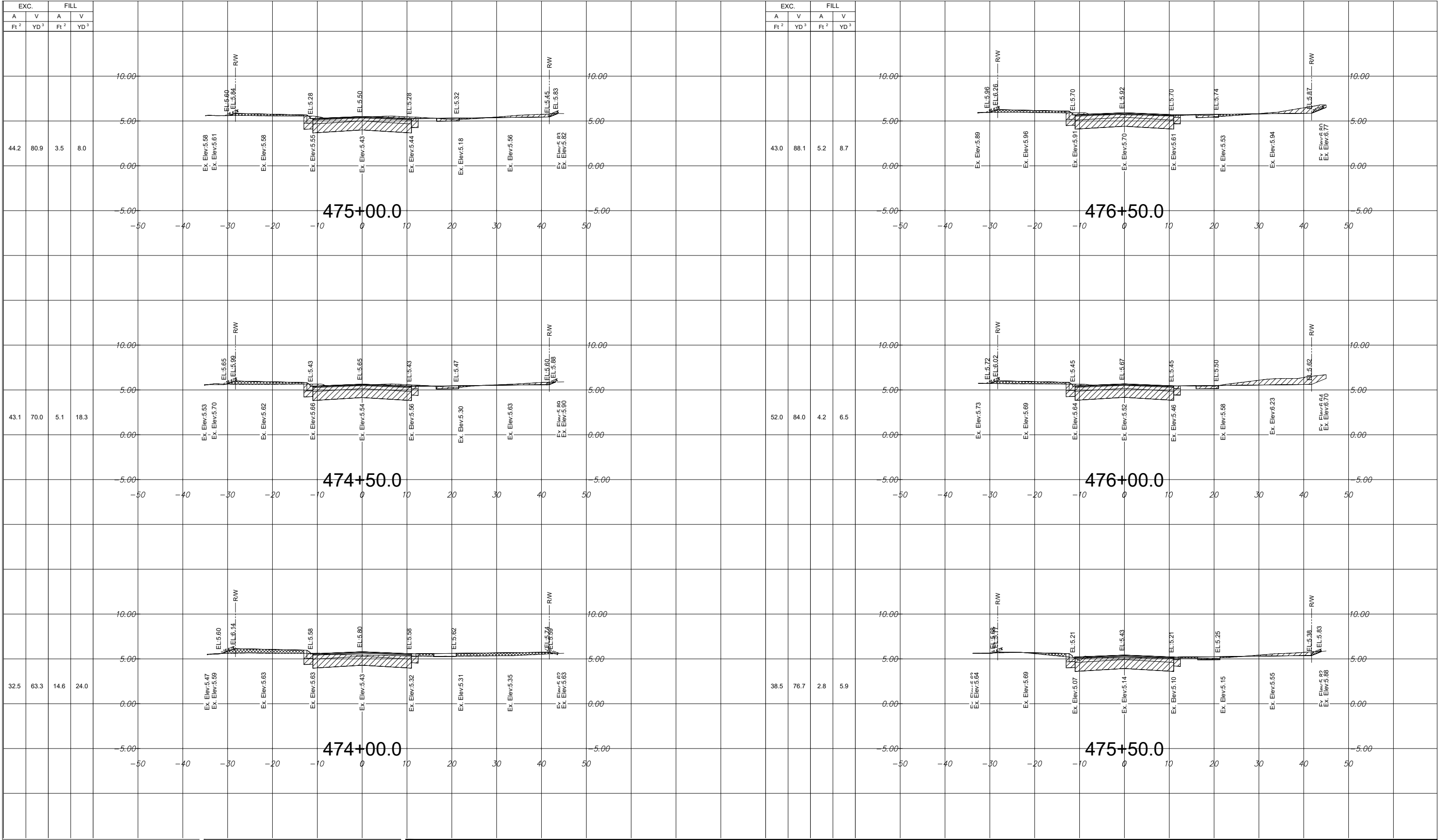
Scale

Drawing No.
C-81

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of 152

Revision

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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

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2020-12-07
YYYY.MM.DD

CROSS SECTIONS

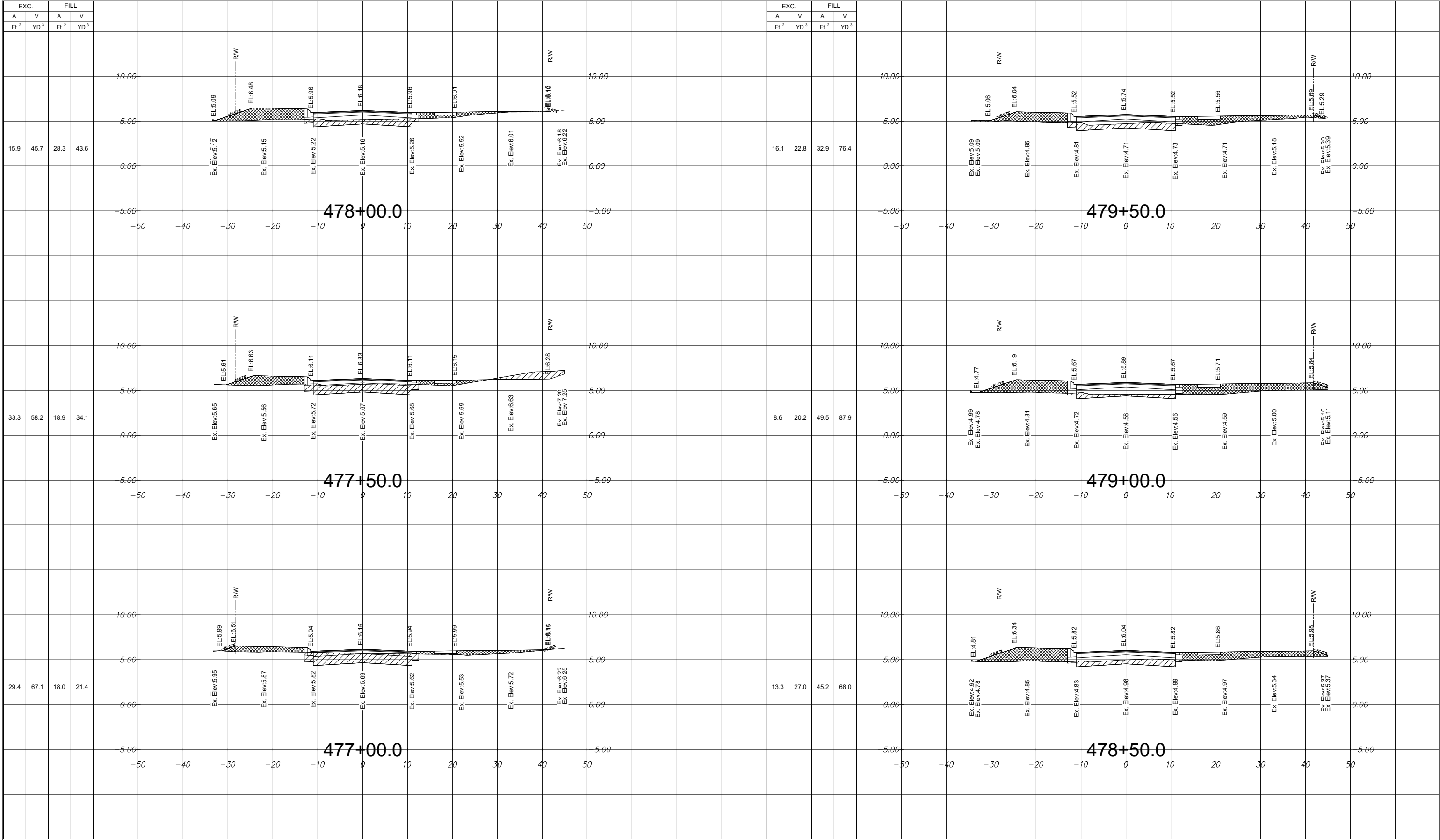
Project No.
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Scale

Drawing No.
C-82

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of 152

Revision

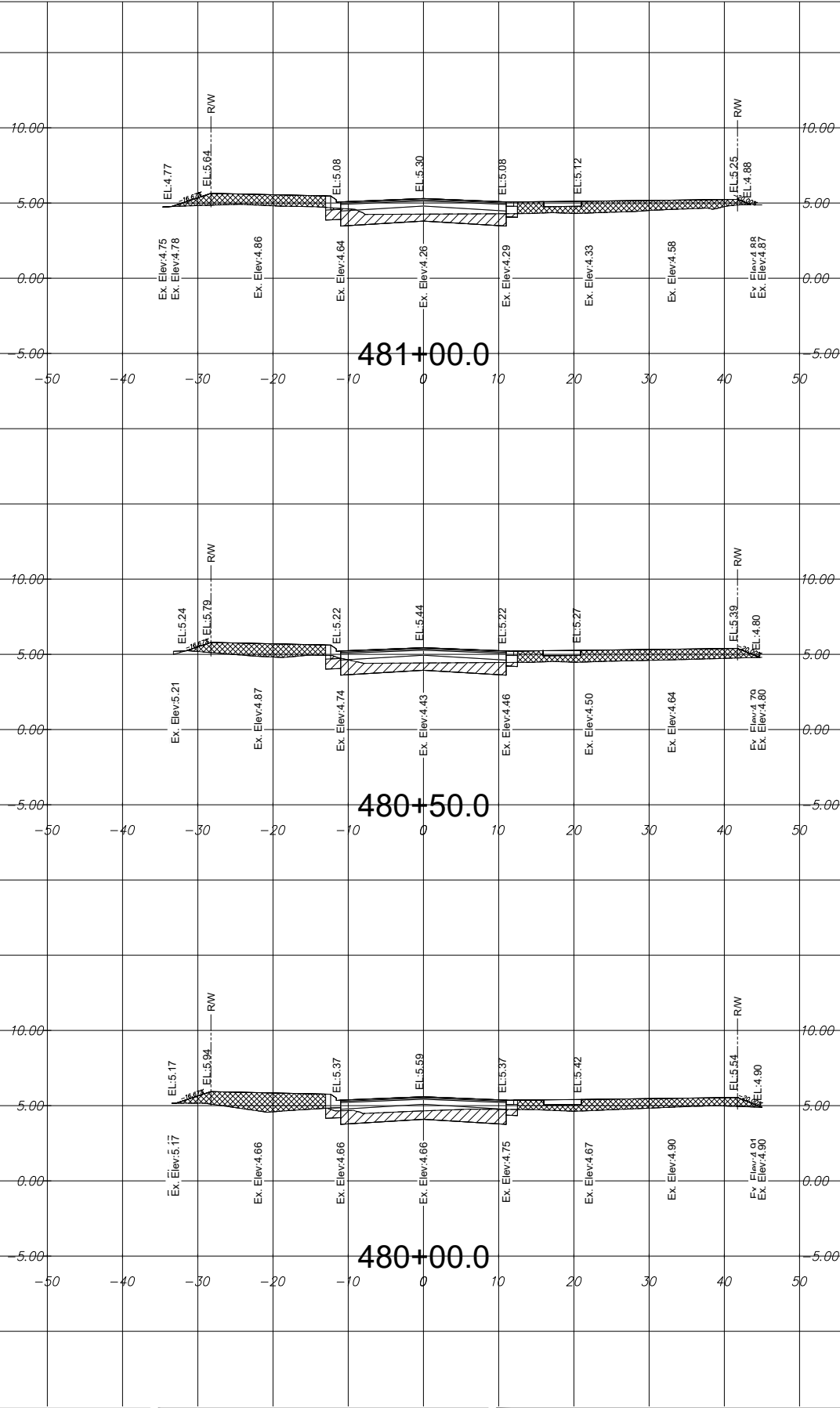


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Revision	By	Appd.	YY.MM.DD																																																																																			
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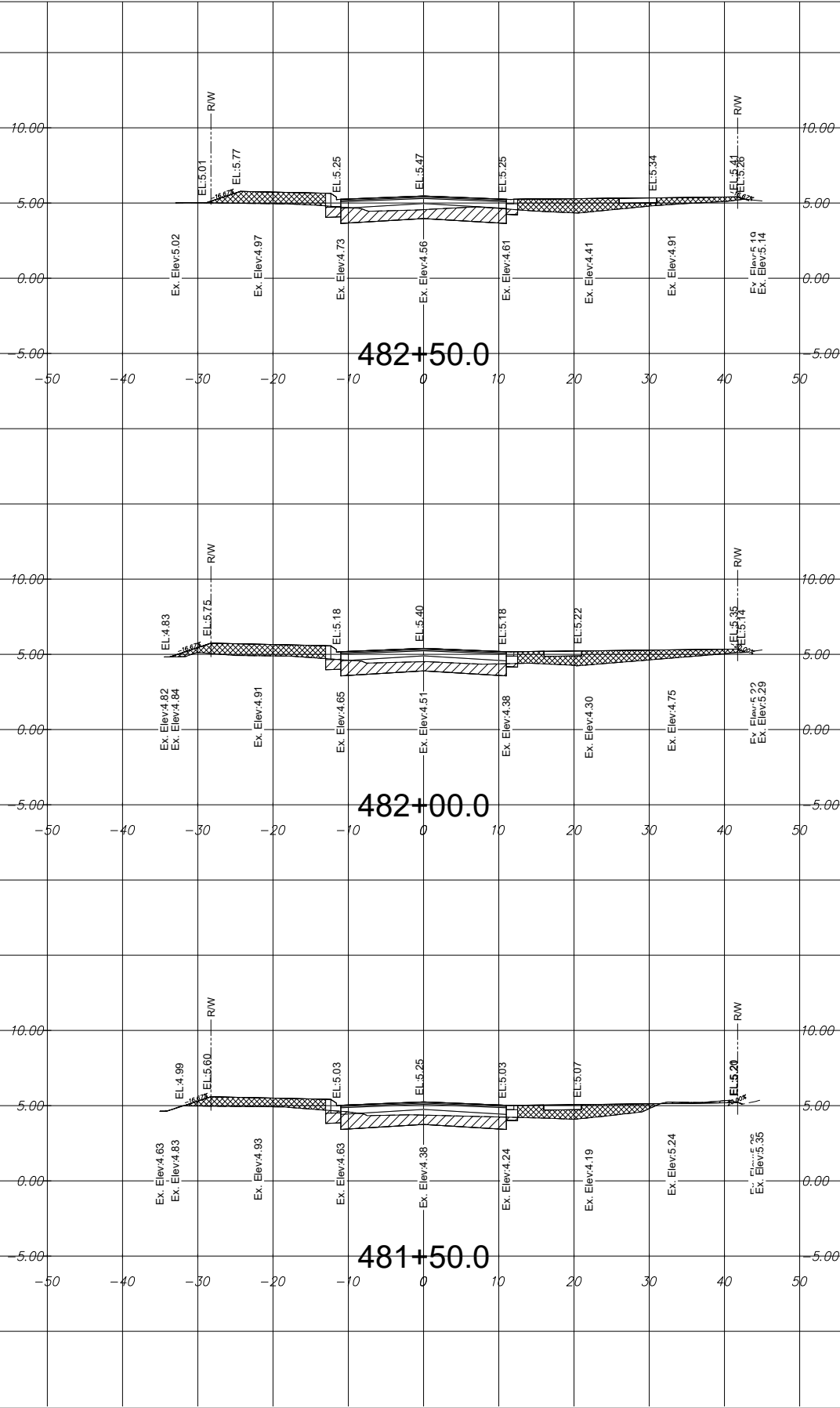
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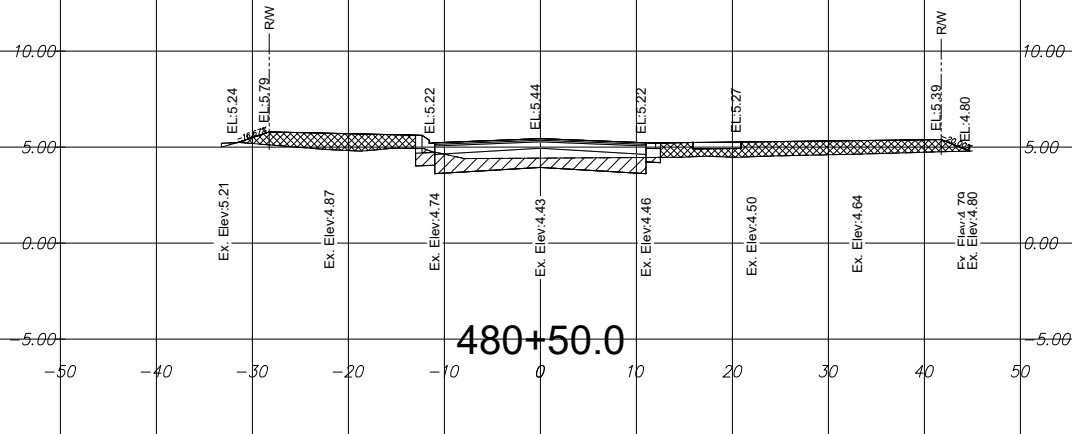
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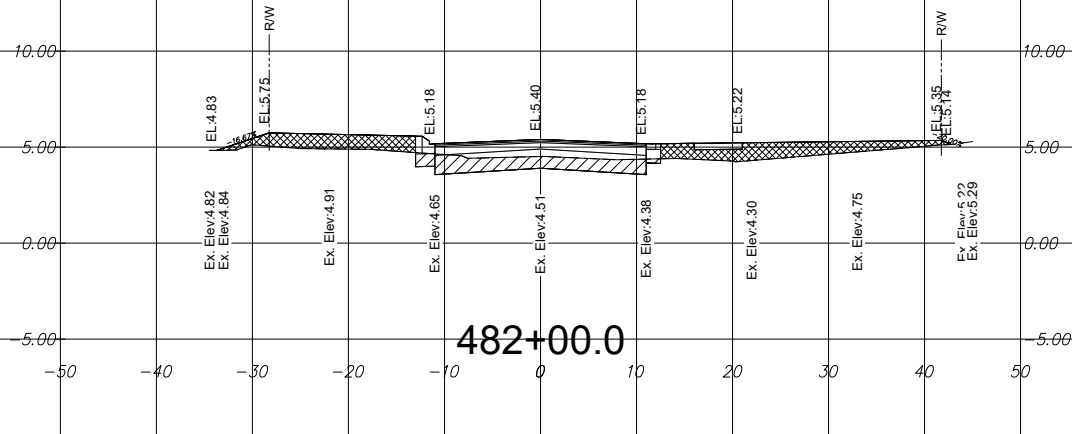
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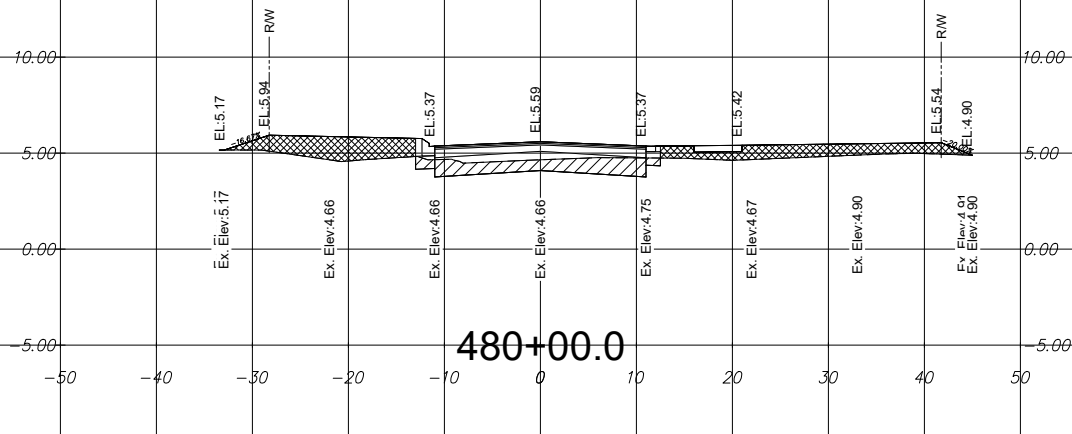
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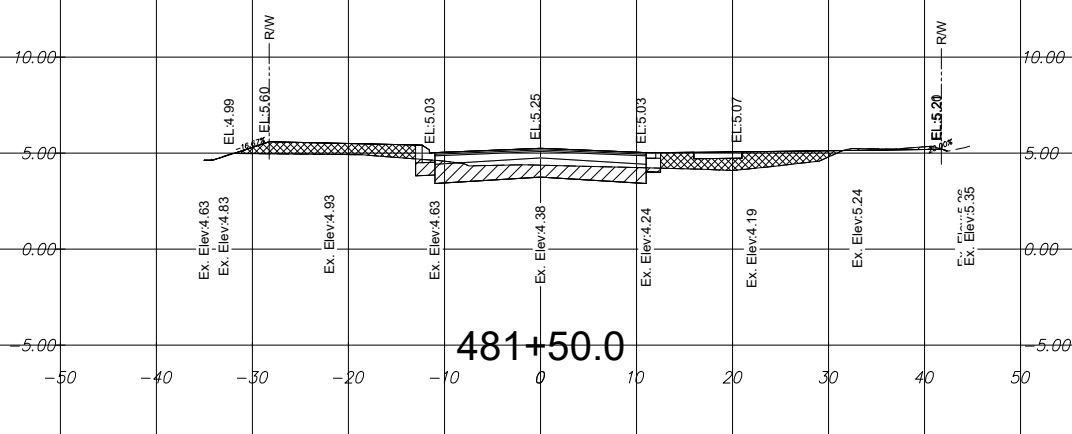
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EXC.		FILL	
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Ft ²	YD ³	Ft ²	YD ³
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EXC.		FILL	
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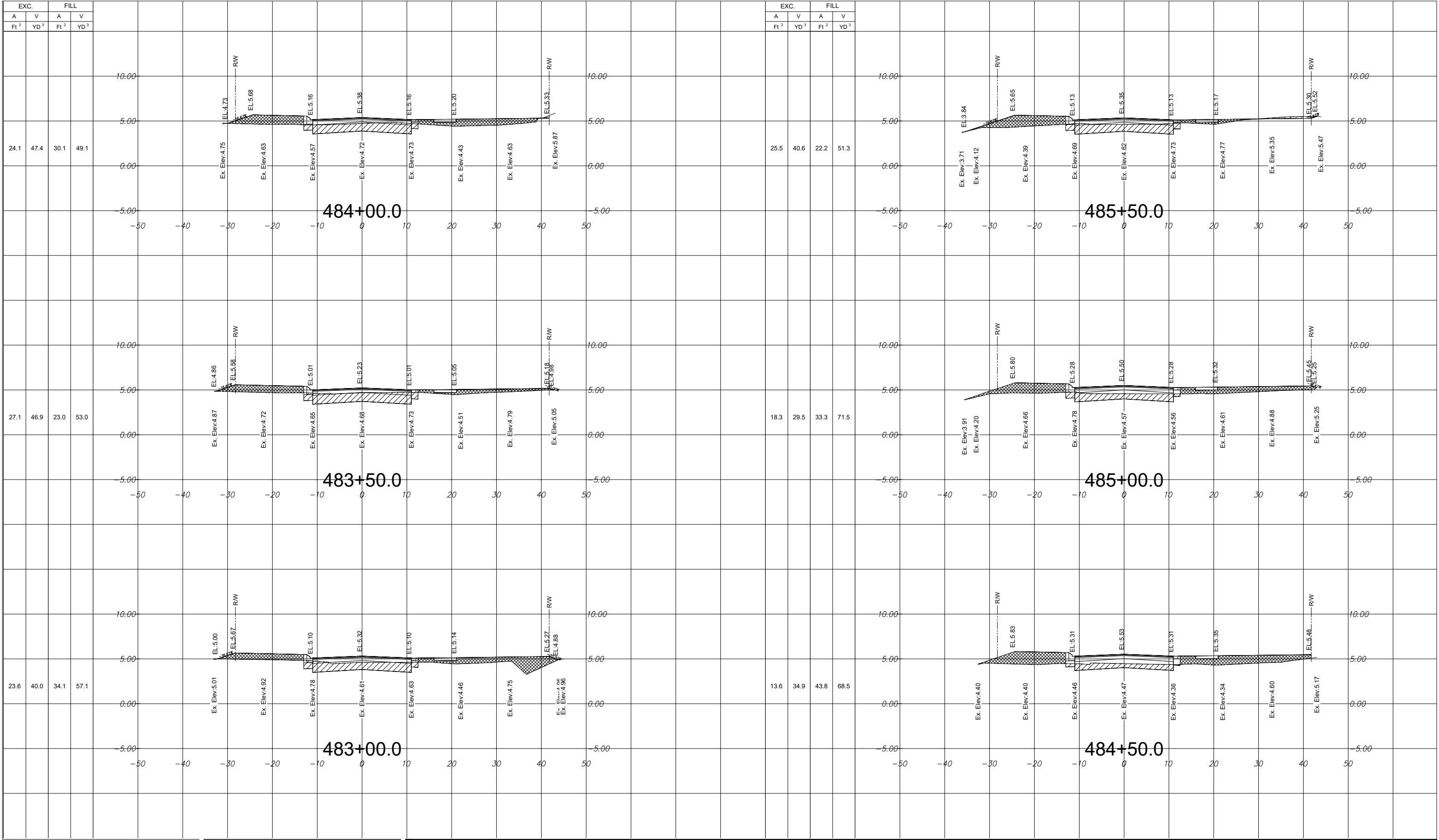
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File Name: 15771 XSECTIONS.DWG RM Dwn. SC Chkd. RF Dsgn. 2020-12-07 YYYY.MM.DD

CROSS SECTIONS
 Project No. 215615771 Scale
 Drawing No. C-84 Sheet Revision
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File Name: 15771 XSECTIONS.DWG

RM
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2020-12-07
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CROSS SECTIONS

Project No.
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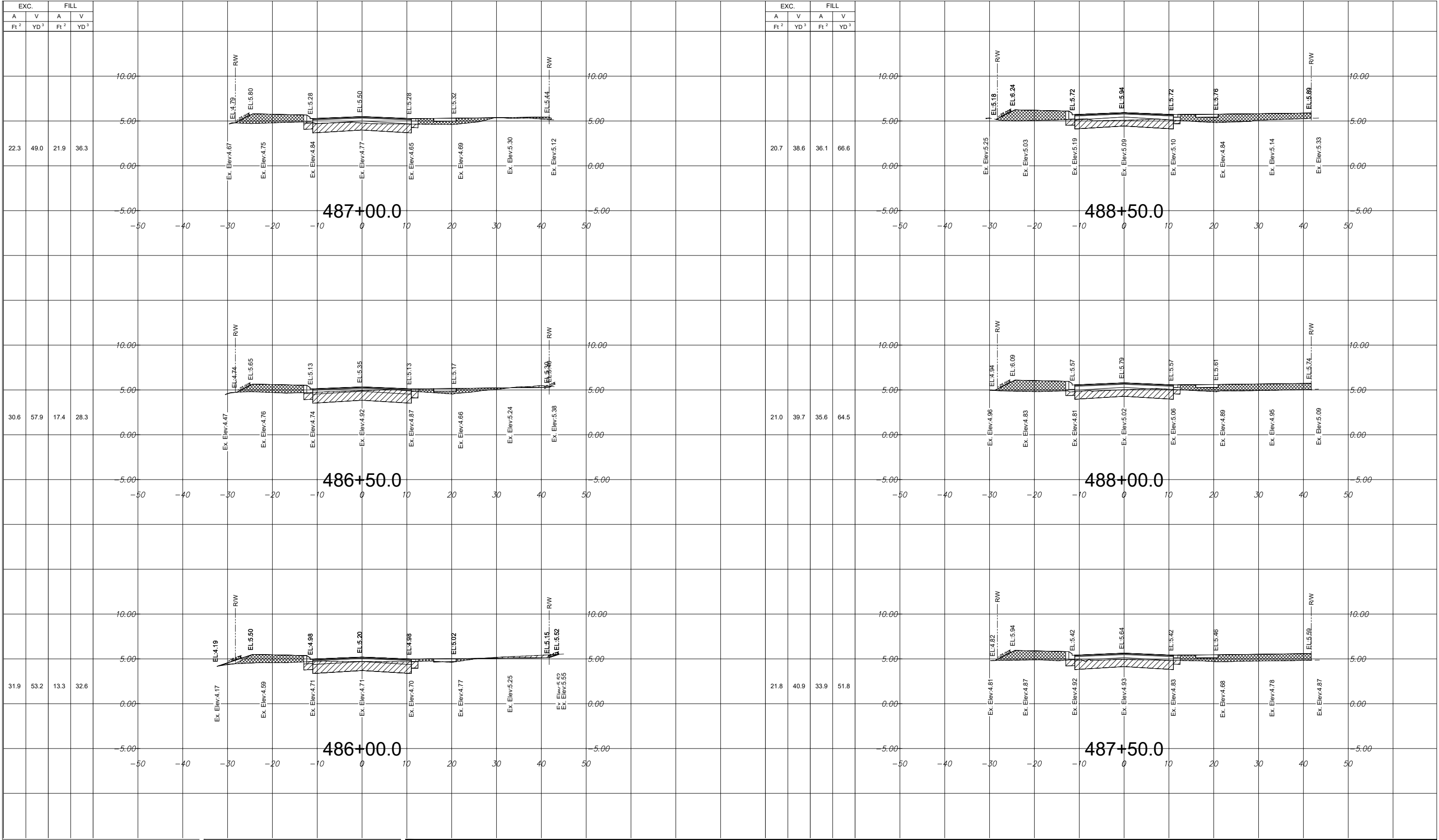
Scale

Drawing No.
C-85

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Revision

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File Name: 15771 XSECTIONS.DWG

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2020-12-07
YYYY.MM.DD

CROSS SECTIONS

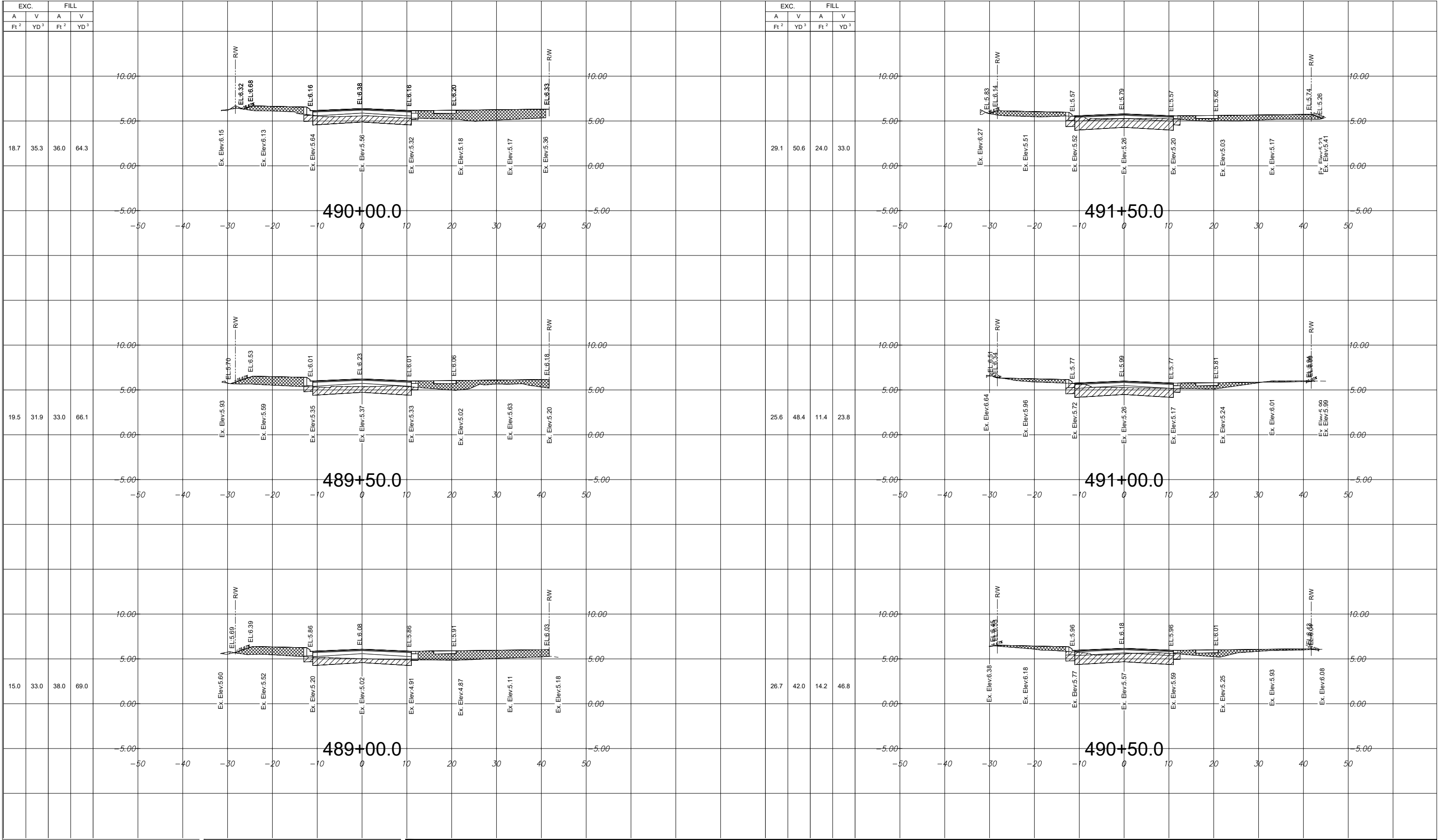
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Scale


Drawing No.
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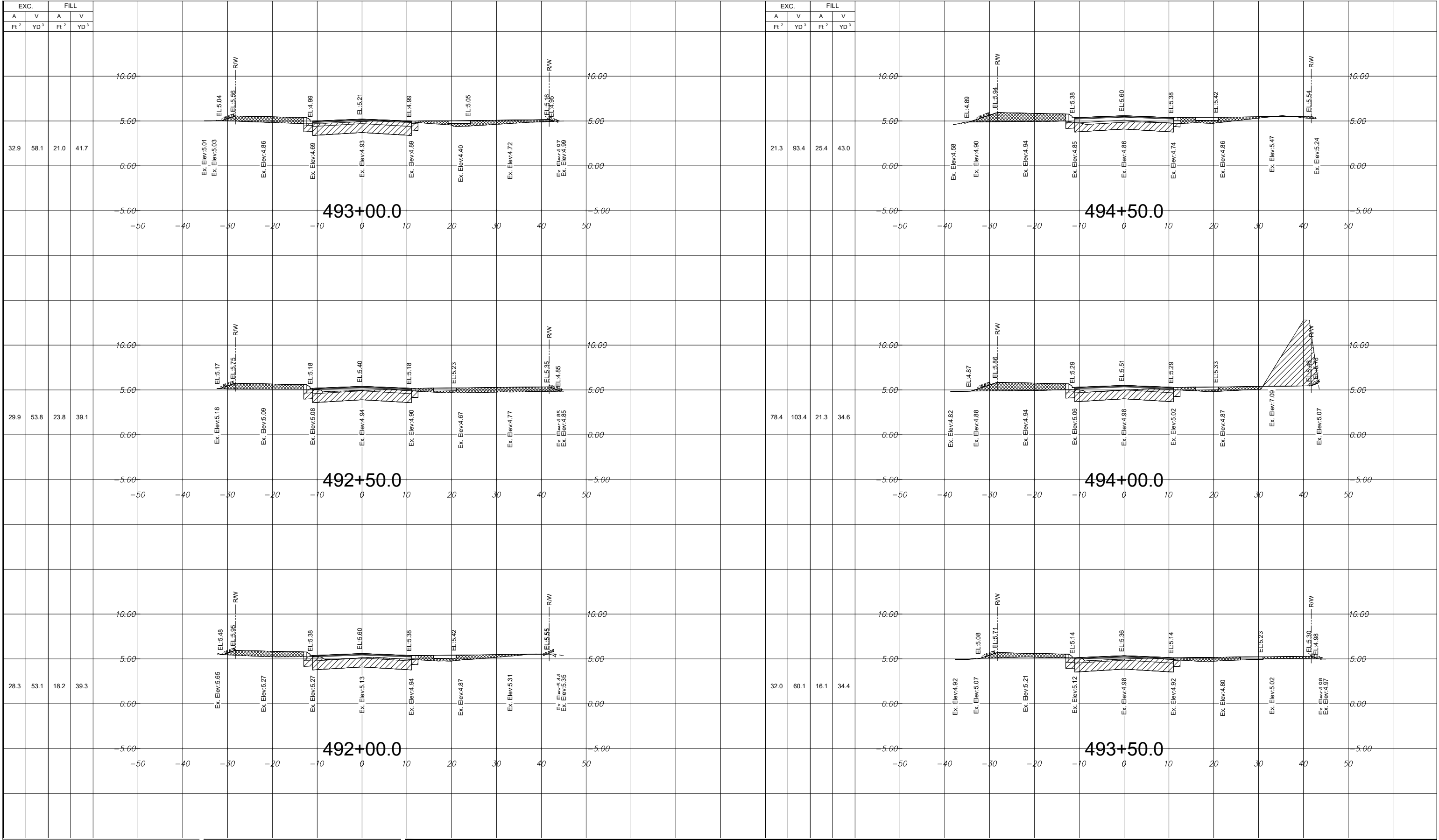
Sheet
of 152

Revision



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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

RM
Dwn.

SC
Chkd.

RF
Dsgn.

2020-12-07
YYYY.MM.DD

CROSS SECTIONS

Project No.
215615771

Scale

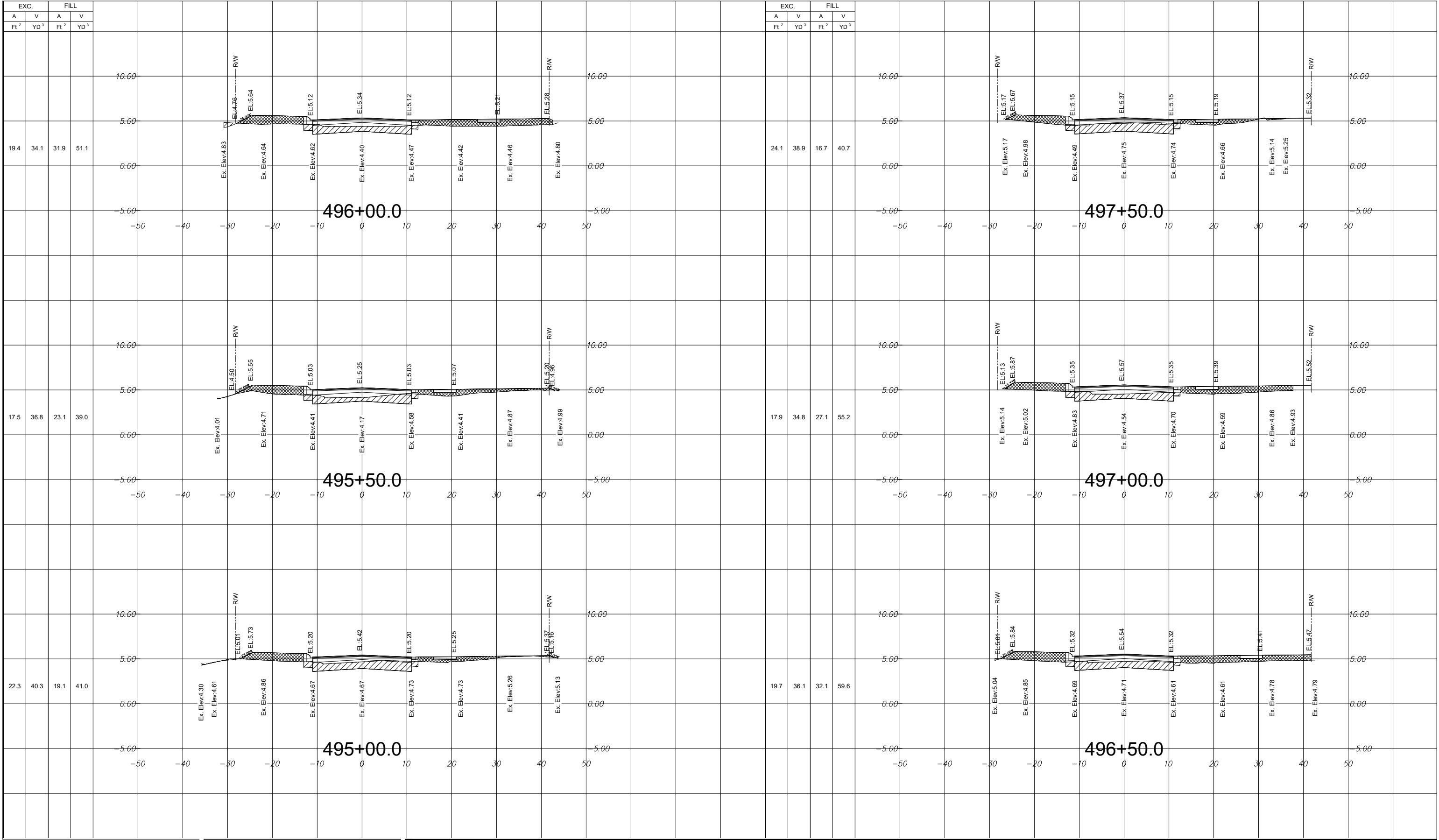
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of 152

Revision

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CREATED: 2020-12-07 - V:\2156\ACTIVE\215615771\DRAWINGS\CIVIL\CAD FILES JUNE 2020\INDIAN CREEK CIVIL PLANS\15771 XSECTIONS.DWG



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771 XSECTIONS.DWG

RM Dwn. SC Chkd. RF Dsgn. 2020-12-07 YYYY.MM.DD

CROSS SECTIONS

Project No. 215615771

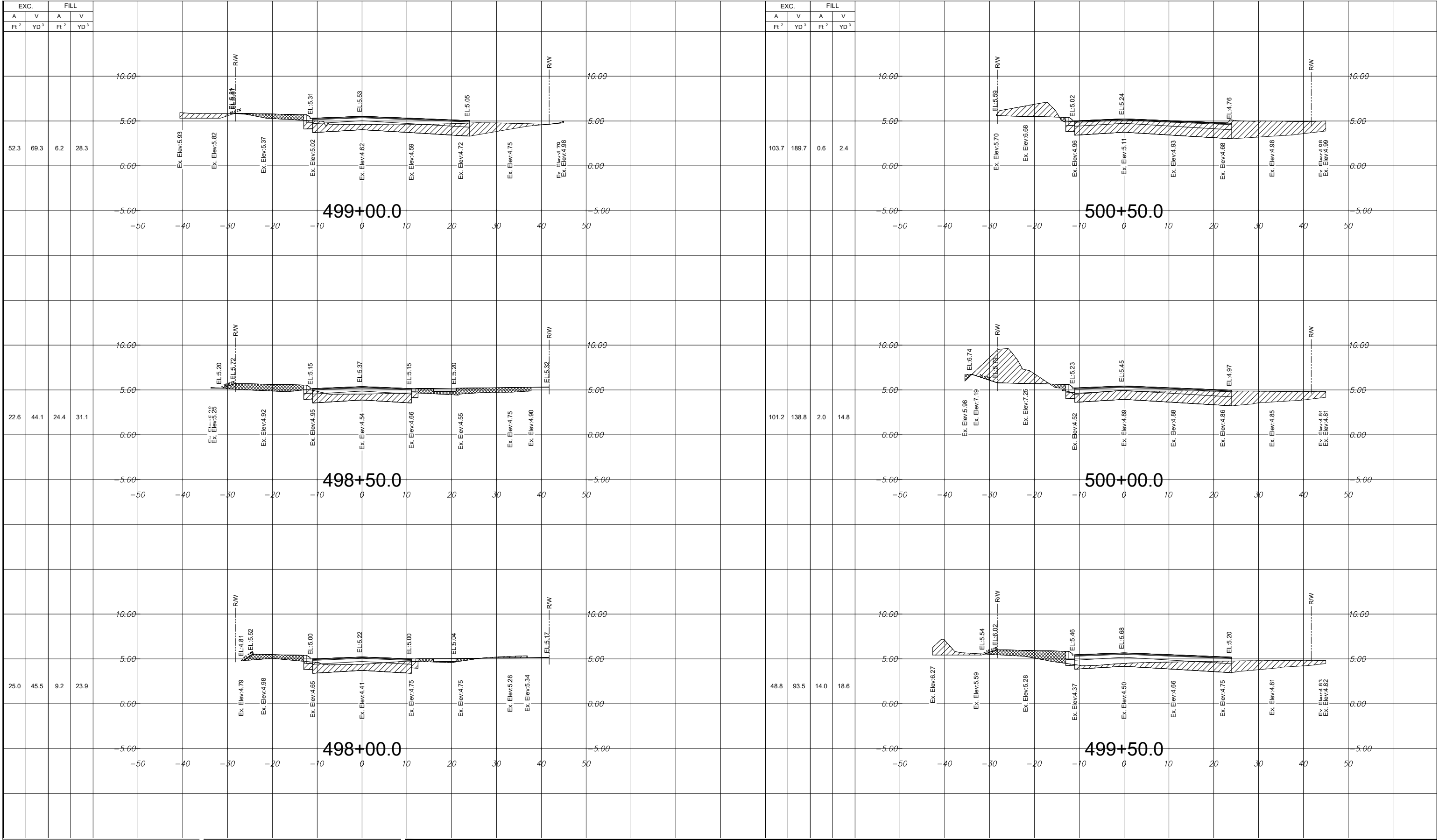
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Drawing No. C-89

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INDIAN CREEK VILLAGE, FLORIDA

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CROSS SECTIONS

Project No.
215615771

Drawing No.
C-90

Scale

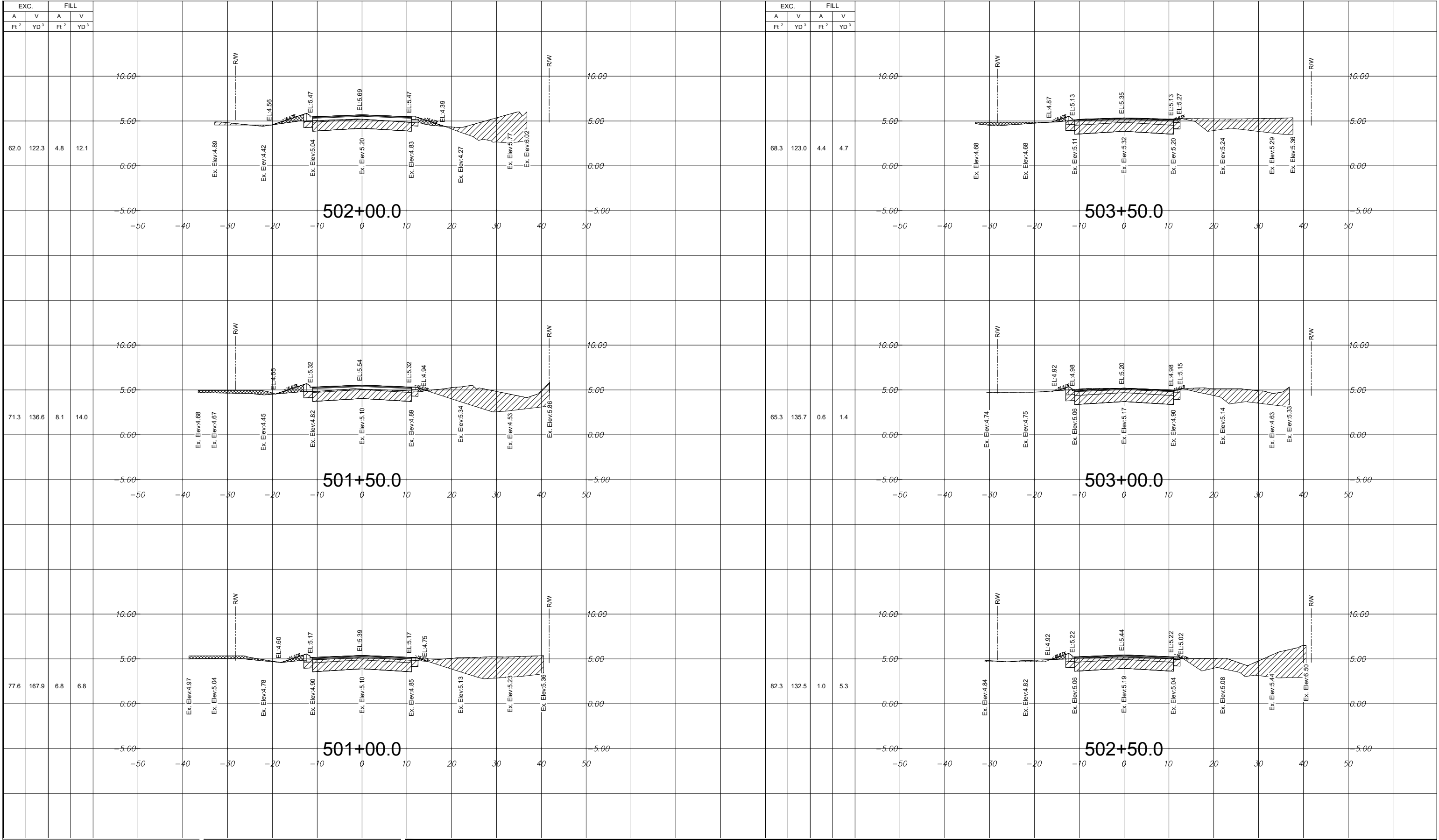
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of 152

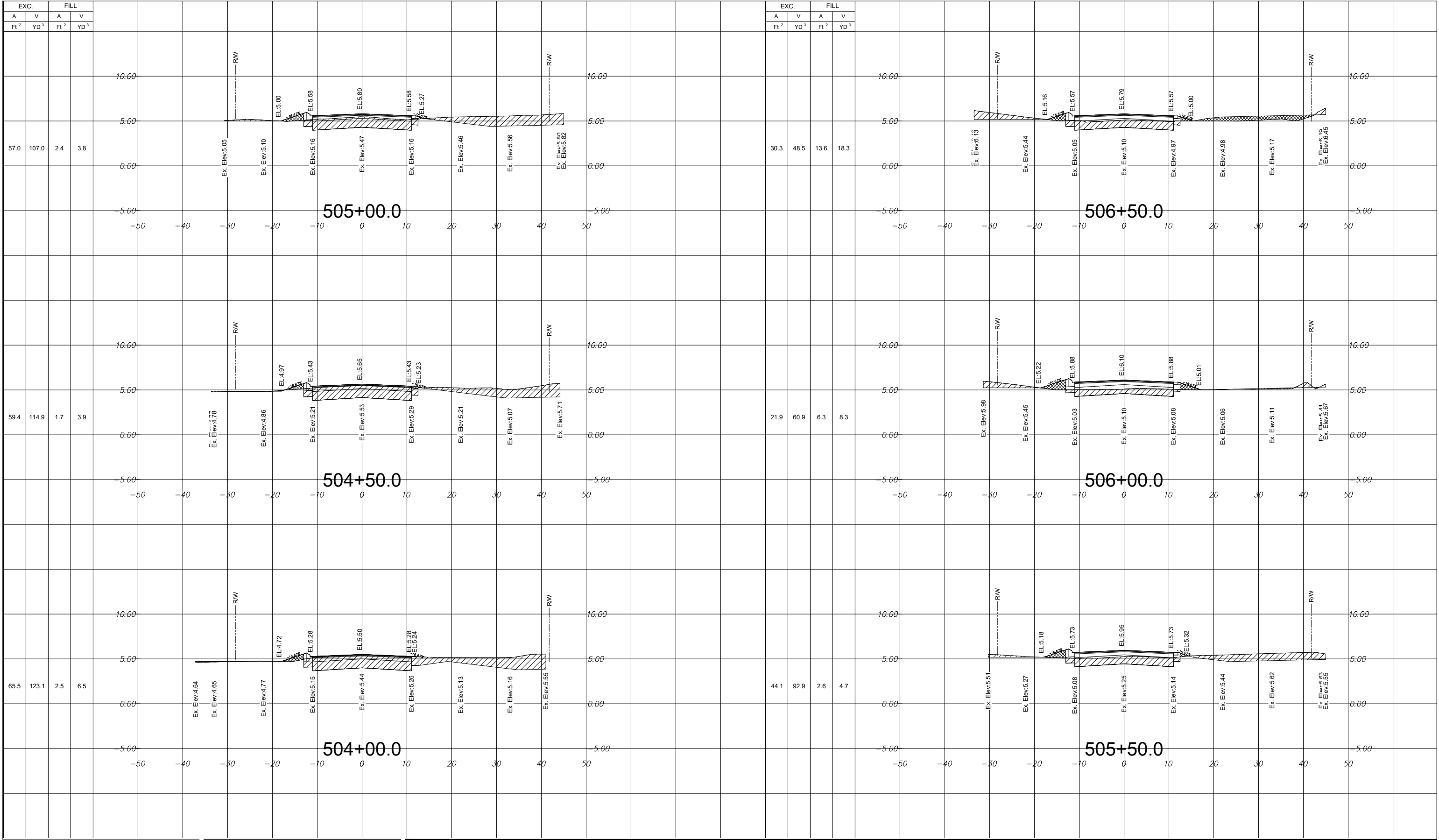
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CREATED: 2020-12-07 - V:\2156\ACTIVE\215615771\DRAWINGS\CIVIL\CAD FILES JUNE 2020\INDIAN CREEK CIVIL PLANS\15771 XSECTIONS.DWG



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INDIAN CREEK VILLAGE, FLORIDA

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RM
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2020-12-07
YYYY.MM.DD

CROSS SECTIONS

Project No.
215615771

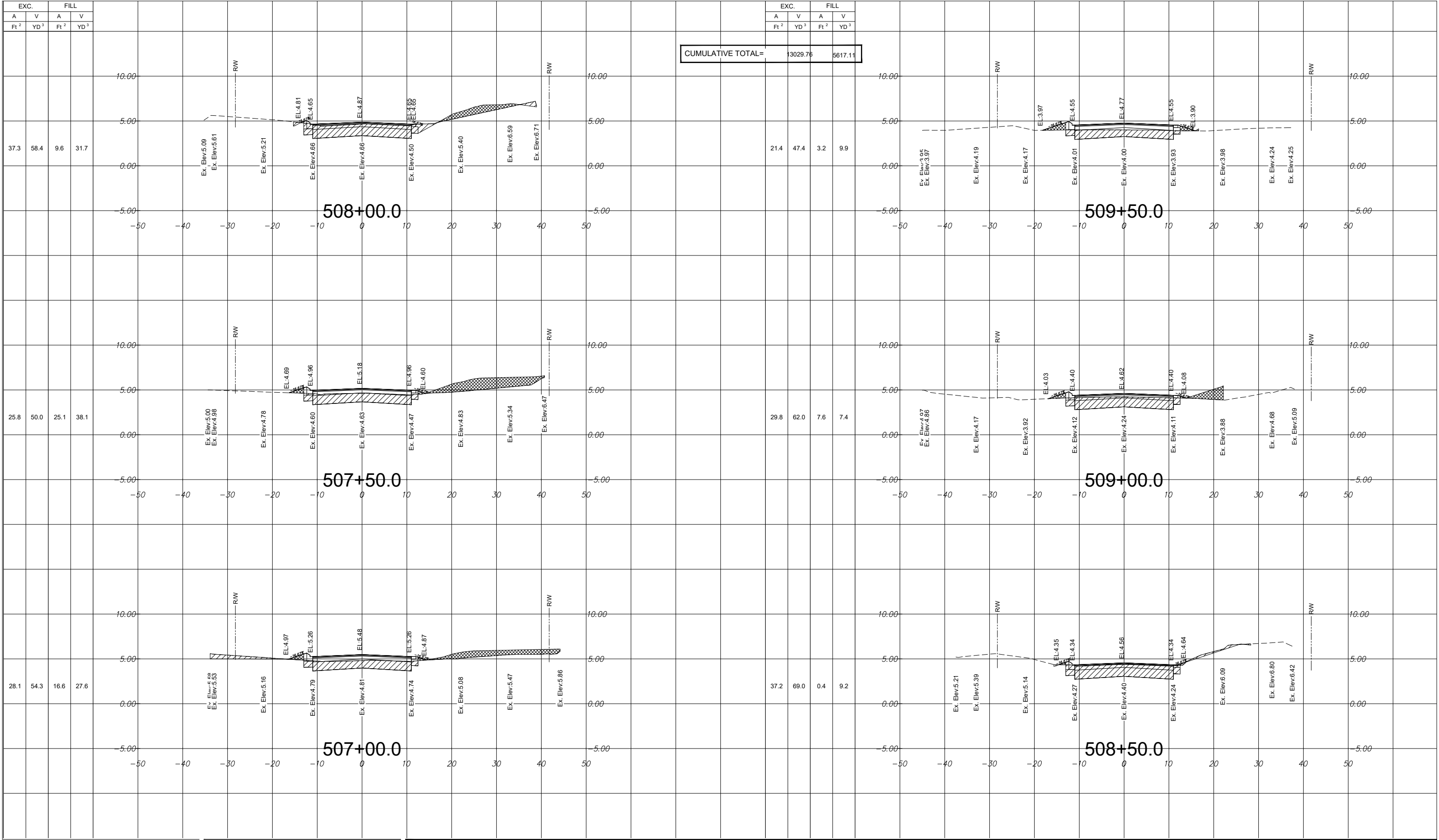
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Drawing No.
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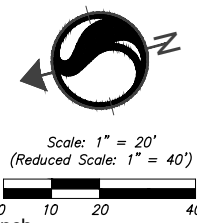
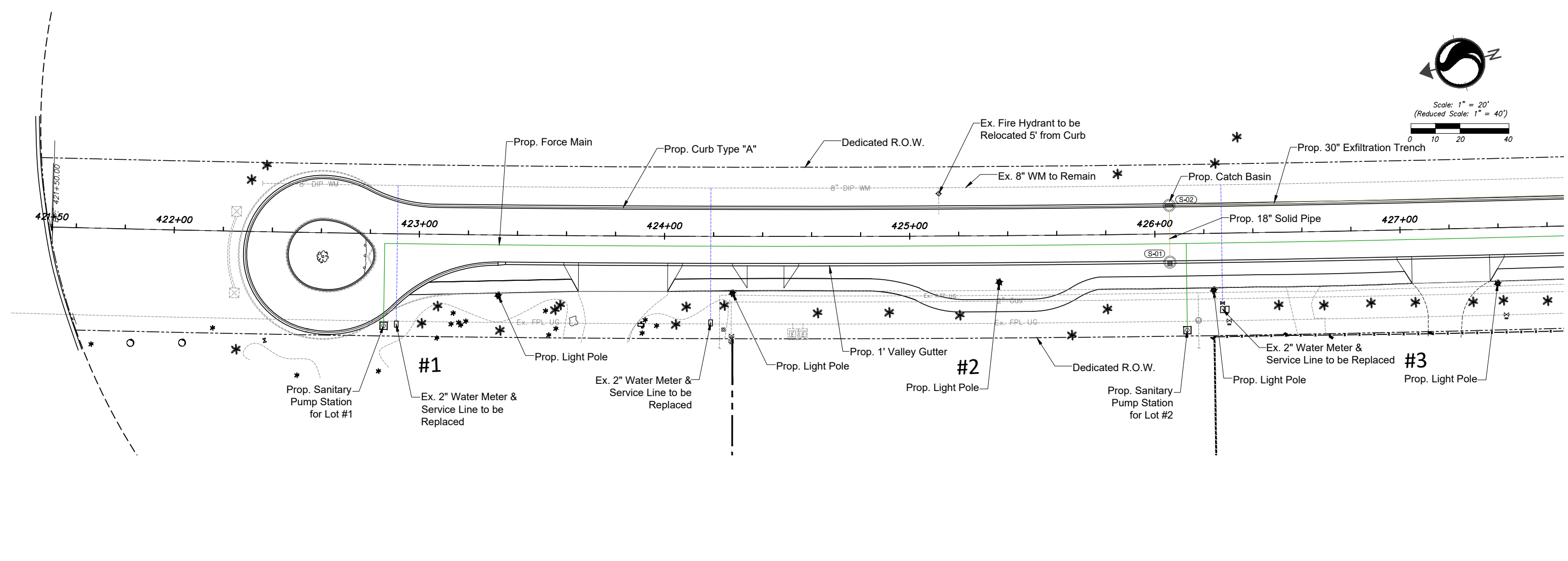
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LEGEND

- | | |
|--------------------------|---------------------------------------|
| PROPERTY LINE | PROPOSED CATCH BASIN |
| CENTER LINE | PROPOSED MANHOLE |
| RIGHT OF WAY | PROPOSED LIGHT POLE |
| EXIST. EDGE OF PAVEMENT | PROPOSED FIRE HYDRANT |
| 8" DIP-WM | EXISTING F&L MANHOLE |
| EXIST. WATER MAIN | EXISTING GAS METER |
| Gas | EXISTING MAILBOX |
| EXIST. GAS MAIN | EXISTING FIRE HYDRANT |
| Ex-AFT-UG | EXISTING TREES |
| EXIST. AT&T UNDERGROUND | EXISTING WATER, IRRIGATION, GAS VALVE |
| Ex-FPL-UG | EXIST. ELECTRIC UTILITY COVER |
| EXIST. FPL UNDERGROUND | EXIST. INTERCOM |
| EXIST. OUTFALL PIPE | EXISTING FPL TRANSFORMER |
| PROP. 1' VALLEY GUTTER | EXIST. ELECTRIC METER |
| PROP. 16" TYPE "A" CURB | EXIST. TELEPHONE MANHOLE |
| PROP. FORCE MAIN | EXISTING CATCH BASIN |
| PROP. STORM DRAINAGE | EXISTING ORNAMENTAL LIGHT POLE |
| PROP. GAS MAIN | EXISTING GUARDRAIL |
| PROPOSED GAS METER | EXISTING BACKFLOW PREVENTOR VALVE |
| PROPOSED GRINDER STATION | EXISTING SIGN TO REMAIN |
| | EXISTING WATER METER |

NOTES:

- ALL EXISTING MAILBOXES IN CONFLICT WITH THE PROPOSED CONSTRUCTION TO BE RELOCATED BY CONTRACTOR.
- ALL EXISTING MANHOLE TOPS, CATCH BASIN GRATES, VALVE BOX TOPS, AND WATER METER TOPS WITHIN THE PROJECT AREA SHALL BE ADJUSTED TO MATCH FINISHED GRADE BY THE CONTRACTOR. PLANS MAY NOT SHOW ALL LOCATIONS NECESSARY FOR ADJUSTMENTS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL NECESSARY UTILITY TOPS TO BE ADJUSTED.
- CONTRACTOR SHALL KEEP EXISTING INLETS CLEAN OF MILLING MATERIALS AND DEBRIS. INLETS LOCATED NEAR CONSTRUCTION ACTIVITIES SHOULD BE PROTECTED BY APPROPRIATE EROSION CONTROL DEVICES AND FLUSHED AND CLEANED AFTER COMPLETION OF WORK.
- REFER TO FDOT 2019-2020 STANDARDS INDEX 515 FOR DRIVEWAY CONSTRUCTION.
- PROTECT PALM TREES AND TREES AS PER FDOT 2019-2020 STANDARDS INDEX 542

CONSTRUCTION NOTE:

Contractor to locate all Utilities, verify their elevation, type of pipes and location of existing Drainage prior to construction. If an existing facility is found to conflict with the proposed construction upon excavation the contractor shall immediately notify the Engineer of Record so that appropriate measures can be taken to resolve the problem. Contractor to notify Indian Creek Village and Sunshine State One Call of Florida, Inc. @ 1-800-432-4770 at Least Forty Eight (48) Hours Prior to Excavating. Evidence of such notice shall be furnished to Engineer of Record prior to excavating.

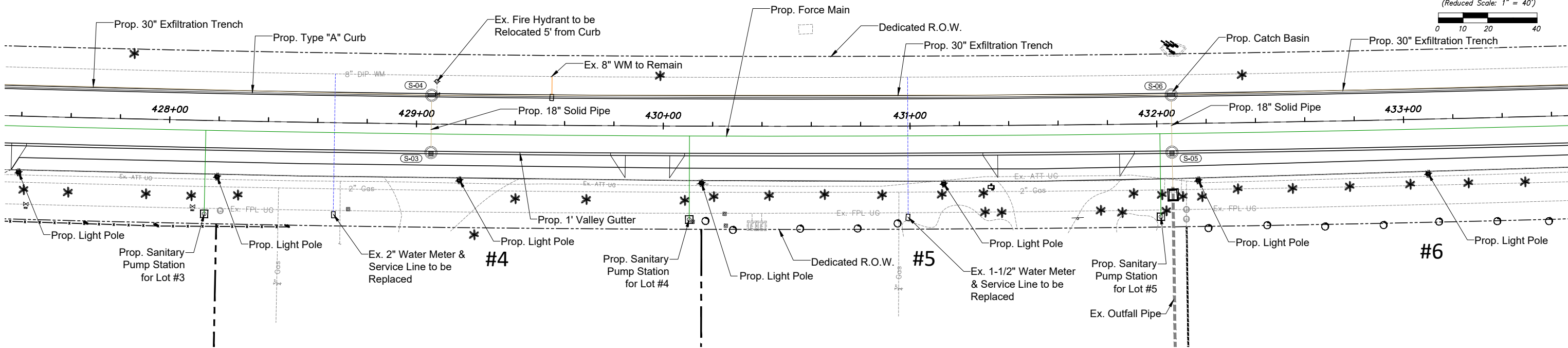
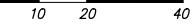


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Scale: 1" = 20'
(Reduced Scale: 1" = 40')



LEGEND

	PROPERTY LINE		PROPOSED CATCH BASIN
	CENTER LINE		PROPOSED MANHOLE
	RIGHT OF WAY		PROPOSED LIGHT POLE
	EXIST. EDGE OF PAVEMENT		PROPOSED FIRE HYDRANT
	EXIST. WATER MAIN		EXISTING FP&L MANHOLE
	EXIST. GAS MAIN		EXISTING GAS METER
	EXIST. AT&T UNDERGROUND		EXISTING MAILBOX
	EXIST. FPL UNDERGROUND		EXISTING FIRE HYDRANT
	EXIST. OUTFALL PIPE		EXISTING TREES
	PROP. 1' VALLEY GUTTER		EXISTING WATER, IRRIGATION, GAS VALVE
	PROP. 16" TYPE "A" CURB		EXIST. ELECTRIC UTILITY COVER
	PROP. FORCE MAIN		EXIST. INTERCOM
	PROP. STORM DRAINAGE		EXISTING FPL TRANSFORMER
	PROP. GAS MAIN		EXIST. ELECTRIC METER
	PROPOSED GAS METER		EXIST. TELEPHONE MANHOLE
	PROPOSED GRINDER STATION		EXISTING CATCH BASIN
			EXISTING ORNAMENTAL LIGHT POLE
			EXISTING GUARDRAIL
			EXISTING BACKFLOW PREVENTOR VALVE
			EXISTING SIGN TO REMAIN
			EXISTING WATER METER

NOTES:

- ALL EXISTING MAILBOXES IN CONFLICT WITH THE PROPOSED CONSTRUCTION TO BE RELOCATED BY CONTRACTOR.
- ALL EXISTING MANHOLE TOPS, CATCH BASIN GRATES, VALVE BOX TOPS, AND WATER METER TOPS WITHIN THE PROJECT AREA SHALL BE ADJUSTED TO MATCH FINISHED GRADE BY THE CONTRACTOR. PLANS MAY NOT SHOW ALL LOCATIONS NECESSARY FOR ADJUSTMENTS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL NECESSARY UTILITY TOPS TO BE ADJUSTED.
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- REFER TO FDOT 2019-2020 STANDARDS INDEX 515 FOR DRIVEWAY CONSTRUCTION.
- PROTECT PALM TREES AND TREES AS PER FDOT 2019-2020 STANDARDS INDEX 542.

CONSTRUCTION NOTE:

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY_PLAN.DWG MS Dwn. CMH Chkd. 2020-12-07 Dsgn. YYYY.MM.DD

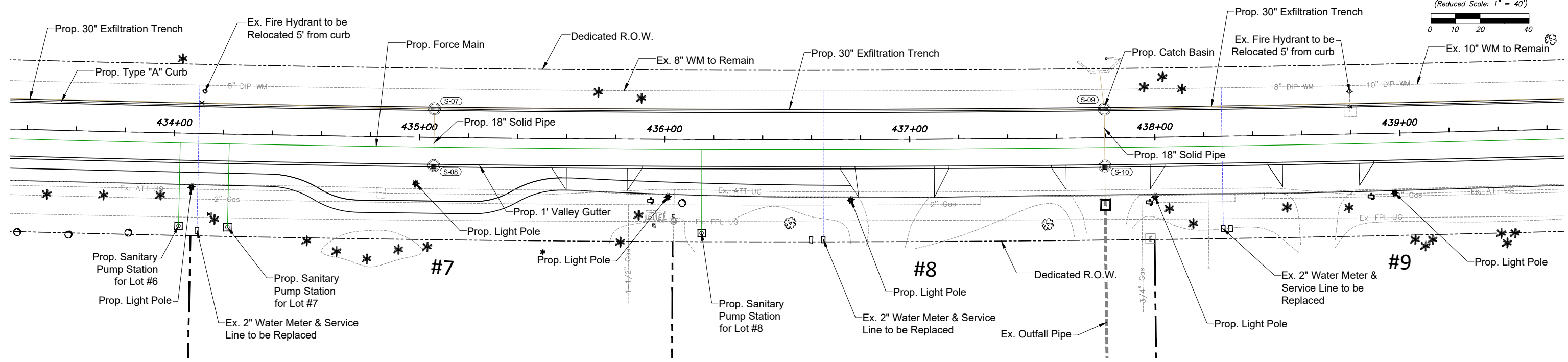
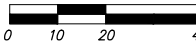
UTILITY PLAN

Project No. 215615771 Scale

Drawing No. C-95 Sheet of 152 Revision



Scale: 1" = 20'
(Reduced Scale: 1" = 40')



LEGEND

- | | | | |
|-------------------|--------------------------|-------|---------------------------------------|
| ----- | PROPERTY LINE | ■ ■ ■ | PROPOSED CATCH BASIN |
| ----- | CENTER LINE | ● | PROPOSED MANHOLE |
| ----- | RIGHT OF WAY | ★ | PROPOSED LIGHT POLE |
| ----- | EXIST. EDGE OF PAVEMENT | ◇ | PROPOSED FIRE HYDRANT |
| --- DIP-WM --- | EXIST. WATER MAIN | ⊙ | EXISTING FPL MANHOLE |
| --- Gas --- | EXIST. GAS MAIN | ⊠ | EXISTING GAS METER |
| --- Ex-ATT-UG --- | EXIST. AT&T UNDERGROUND | ✉ | EXISTING MAILBOX |
| --- Ex-FPL-UG --- | EXIST. FPL UNDERGROUND | ⚡ | EXISTING FIRE HYDRANT |
| ===== | EXIST. OUTFALL PIPE | *** | EXISTING TREES |
| ===== | PROP. 1' VALLEY GUTTER | ⊠ | EXISTING WATER, IRRIGATION, GAS VALVE |
| ===== | PROP. 16" TYPE "A" CURB | ⊠ | EXIST. ELECTRIC UTILITY COVER |
| ===== | PROP. FORCE MAIN | ⊠ | EXIST. INTERCOM |
| ===== | PROP. STORM DRAINAGE | ⊠ | EXISTING FPL TRANSFORMER |
| ===== | PROP. GAS MAIN | ⊠ | EXIST. ELECTRIC METER |
| □ | PROPOSED GAS METER | ⊠ | EXIST. TELEPHONE MANHOLE |
| □ | PROPOSED GRINDER STATION | ⊠ | EXISTING CATCH BASIN |
| | | ☆ | EXISTING ORNAMENTAL LIGHT POLE |
| | | — | EXISTING GUARDRAIL |
| | | ⊠ | EXISTING BACKFLOW PREVENTOR VALVE |
| | | — | EXISTING SIGN TO REMAIN |
| | | □ | EXISTING WATER METER |

NOTES:

1. ALL EXISTING MAILBOXES IN CONFLICT WITH THE PROPOSED CONSTRUCTION TO BE RELOCATED BY CONTRACTOR.
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3. CONTRACTOR SHALL KEEP EXISTING INLETS CLEAN OF MILLING MATERIALS AND DEBRIS. INLETS LOCATED NEAR CONSTRUCTION ACTIVITIES SHOULD BE PROTECTED BY APPROPRIATE EROSION CONTROL DEVICES AND FLUSHED AND CLEANED AFTER COMPLETION OF WORK.
4. REFER TO FDOT 2019-2020 STANDARDS INDEX 515 FOR DRIVEWAY CONSTRUCTION.
5. PROTECT PALM TREES AND TREES AS PER FDOT 2019-2020 STANDARDS INDEX 542

CONSTRUCTION NOTE:

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

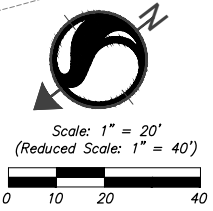
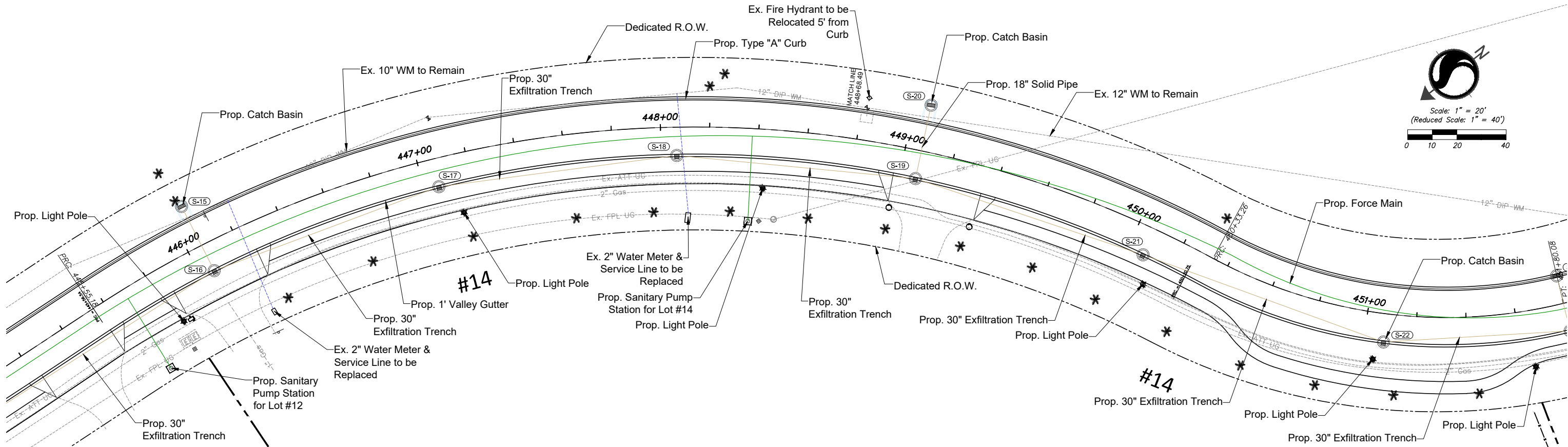
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Dwn. CMH
2020-12-07
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UTILITY PLAN

Project No. 215615771
Drawing No. C-96

Scale
Sheet
Revision

of 152



LEGEND	
	PROPERTY LINE
	CENTER LINE
	RIGHT OF WAY
	EXIST. EDGE OF PAVEMENT
	EXIST. WATER MAIN
	EXIST. GAS MAIN
	EXIST. AT&T UNDERGROUND
	EXIST. FPL UNDERGROUND
	EXIST. OUTFALL PIPE
	PROP. 1' VALLEY GUTTER
	PROP. 16\" TYPE \"A\" CURB
	PROP. FORCE MAIN
	PROP. STORM DRAINAGE
	PROP. GAS MAIN
	PROPOSED GAS METER
	PROPOSED GRINDER STATION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED LIGHT POLE
	PROPOSED FIRE HYDRANT
	EXISTING FP&L MANHOLE
	EXISTING GAS METER
	EXISTING MAILBOX
	EXISTING FIRE HYDRANT
	EXISTING TREES
	EXISTING WATER, IRRIGATION, GAS VALVE
	EXIST. ELECTRIC UTILITY COVER
	EXIST. INTERCOM
	EXISTING FPL TRANSFORMER
	EXIST. ELECTRIC METER
	EXIST. TELEPHONE MANHOLE
	EXISTING CATCH BASIN
	EXISTING ORNAMENTAL LIGHT POLE
	EXISTING GUARDRAIL
	EXISTING BACKFLOW PREVENTOR VALVE
	EXISTING SIGN TO REMAIN
	EXISTING WATER METER

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 - REFER TO FDOT 2019-2020 STANDARDS INDEX 515 FOR DRIVEWAY CONSTRUCTION.
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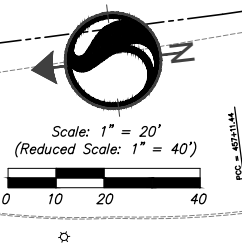
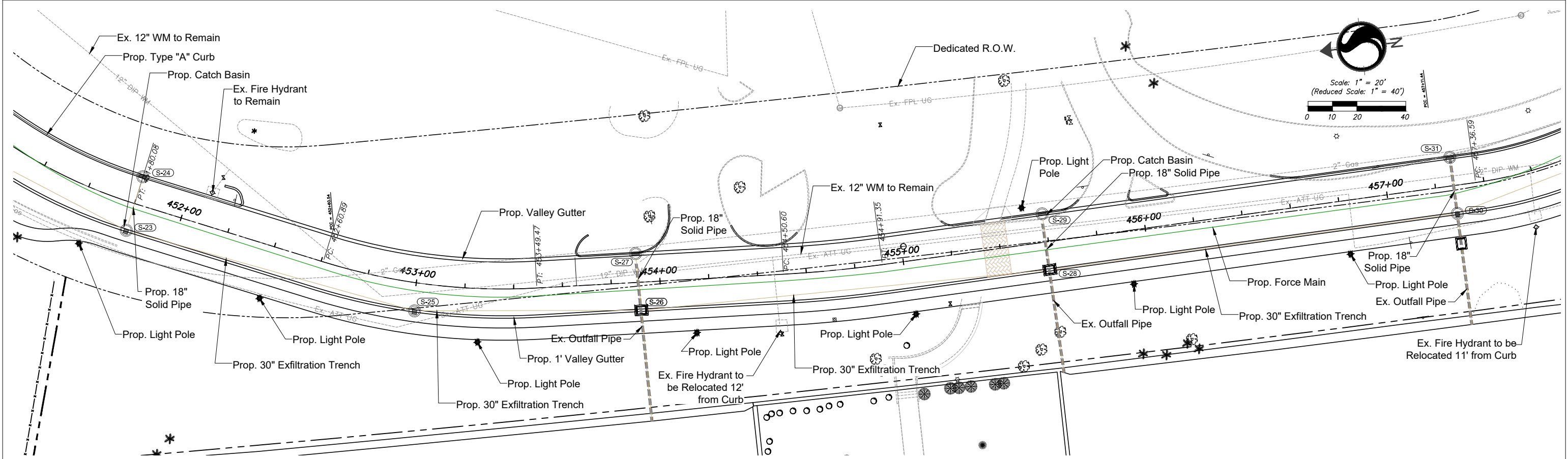
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Revision	By	Appd.	YY.MM.DD	Issued	By	Appd.	YY.MM.DD

Seal	Consultants	 901 Ponce de Leon Blvd, Suite 900 Coral Gables, Florida 33134 www.stantec.com <small>The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.</small>	INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA <small>File Name: 15771_UTILITY PLAN.DWG MS Dwn. CMH Chkd. Dsgn. 2020-12-07 YYYY.MM.DD</small>	UTILITY PLAN Project No. 215615771 Drawing No. C-98 Scale Sheet Revision of 152
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LEGEND	
	PROPERTY LINE
	CENTER LINE
	RIGHT OF WAY
	EXIST. EDGE OF PAVEMENT
	EXIST. WATER MAIN
	EXIST. GAS MAIN
	EXIST. AT&T UNDERGROUND
	EXIST. FPL UNDERGROUND
	EXIST. OUTFALL PIPE
	PROP. 1' VALLEY GUTTER
	PROP. 16" TYPE "A" CURB
	PROP. FORCE MAIN
	PROP. STORM DRAINAGE
	PROP. GAS MAIN
	PROPOSED GAS METER
	PROPOSED GRINDER STATION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED LIGHT POLE
	PROPOSED FIRE HYDRANT
	EXISTING F&L MANHOLE
	EXISTING GAS METER
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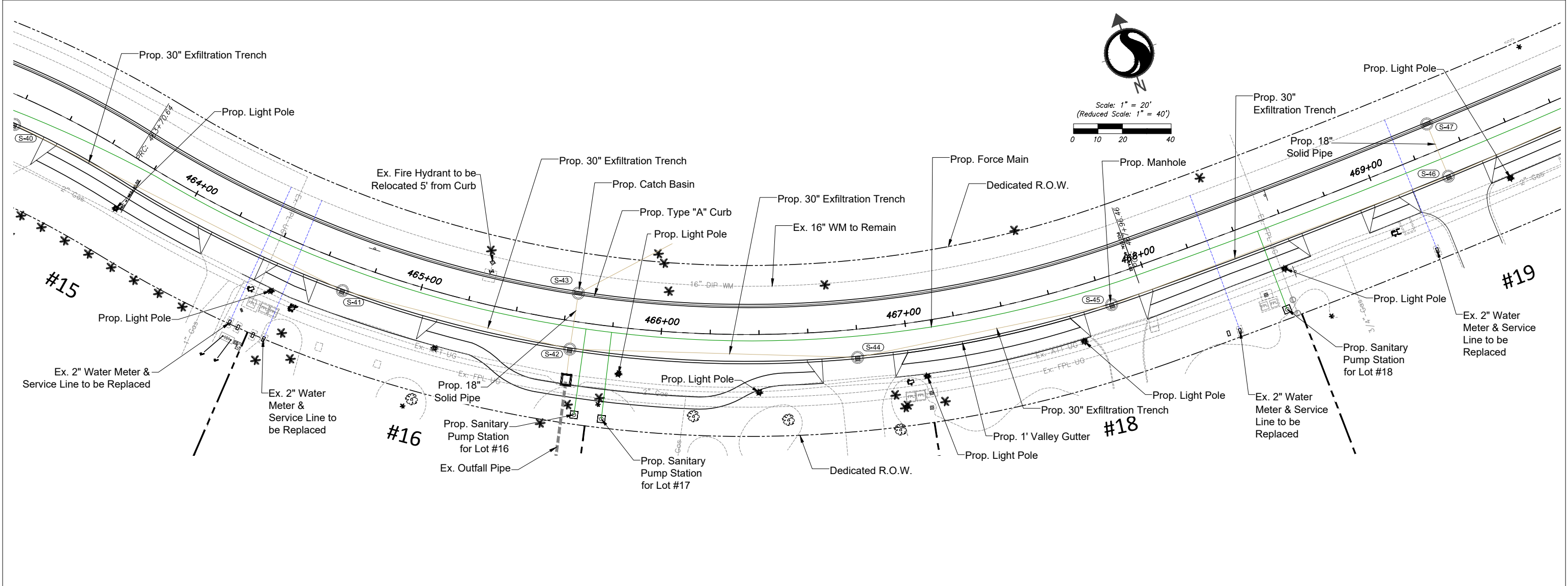
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS Dwn. CMH Chkd. Dsgn. 2020-12-07 YYYY.MM.DD

UTILITY PLAN

Project No. 215615771 Scale

Drawing No. C-99 Sheet 152 Revision



LEGEND

---	PROPERTY LINE	■ ■ ■	PROPOSED CATCH BASIN
---	CENTER LINE	●	PROPOSED MANHOLE
---	RIGHT OF WAY	★	PROPOSED LIGHT POLE
---	EXIST. EDGE OF PAVEMENT	◆	PROPOSED FIRE HYDRANT
---	EXIST. WATER MAIN	⊙	EXISTING F&L MANHOLE
---	EXIST. GAS MAIN	⊙	EXISTING GAS METER
---	EXIST. AT&T UNDERGROUND	⊙	EXISTING MAILBOX
---	EXIST. FPL UNDERGROUND	⊙	EXISTING FIRE HYDRANT
---	EXIST. OUTFALL PIPE	⊙	EXISTING TREES
---	PROP. 1' VALLEY GUTTER	⊙	EXISTING WATER, IRRIGATION, GAS VALVE
---	PROP. 16" TYPE "A" CURB	⊙	EXIST. ELECTRIC UTILITY COVER
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---	PROP. STORM DRAINAGE	⊙	EXISTING FPL TRANSFORMER
---	PROP. GAS MAIN	⊙	EXIST. ELECTRIC METER
---	PROPOSED GAS METER	⊙	EXIST. TELEPHONE MANHOLE
---	PROPOSED GRINDER STATION	⊙	EXISTING CATCH BASIN
---		⊙	EXISTING ORNAMENTAL LIGHT POLE
---		⊙	EXISTING GUARDRAIL
---		⊙	EXISTING BACKFLOW PREVENTOR VALVE
---		⊙	EXISTING SIGN TO REMAIN
---		⊙	EXISTING WATER METER

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS CMH --- 2020-12-07
Dwn. Chkd. Dsgn. YYYYMMDD

UTILITY PLAN

Project No.
215615771

Scale

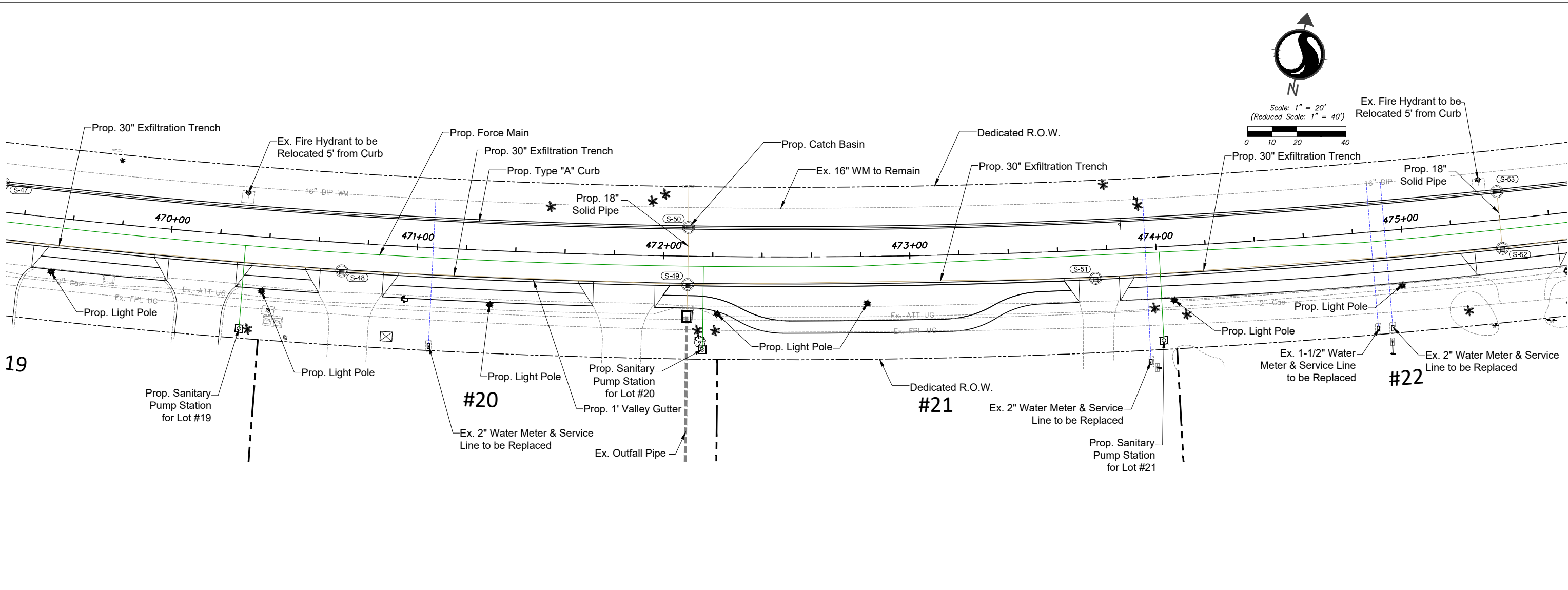
Drawing No.

Sheet

Revision

C-101

of 152



LEGEND	
	PROPERTY LINE
	CENTER LINE
	RIGHT OF WAY
	EXIST. EDGE OF PAVEMENT
	EXIST. WATER MAIN
	EXIST. GAS MAIN
	EXIST. AT&T UNDERGROUND
	EXIST. FPL UNDERGROUND
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	PROP. GAS MAIN
	PROPOSED GAS METER
	PROPOSED GRINDER STATION
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED LIGHT POLE
	PROPOSED FIRE HYDRANT
	EXISTING FP&L MANHOLE
	EXISTING GAS METER
	EXISTING MAILBOX
	EXISTING FIRE HYDRANT
	EXISTING TREES
	EXISTING WATER, IRRIGATION, GAS VALVE
	EXIST. ELECTRIC UTILITY COVER
	EXIST. INTERCOM
	EXISTING FPL TRANSFORMER
	EXIST. ELECTRIC METER
	EXIST. TELEPHONE MANHOLE
	EXISTING CATCH BASIN
	EXISTING ORNAMENTAL LIGHT POLE
	EXISTING GUARDRAIL
	EXISTING BACKFLOW PREVENTOR VALVE
	EXISTING SIGN TO REMAIN
	EXISTING WATER METER

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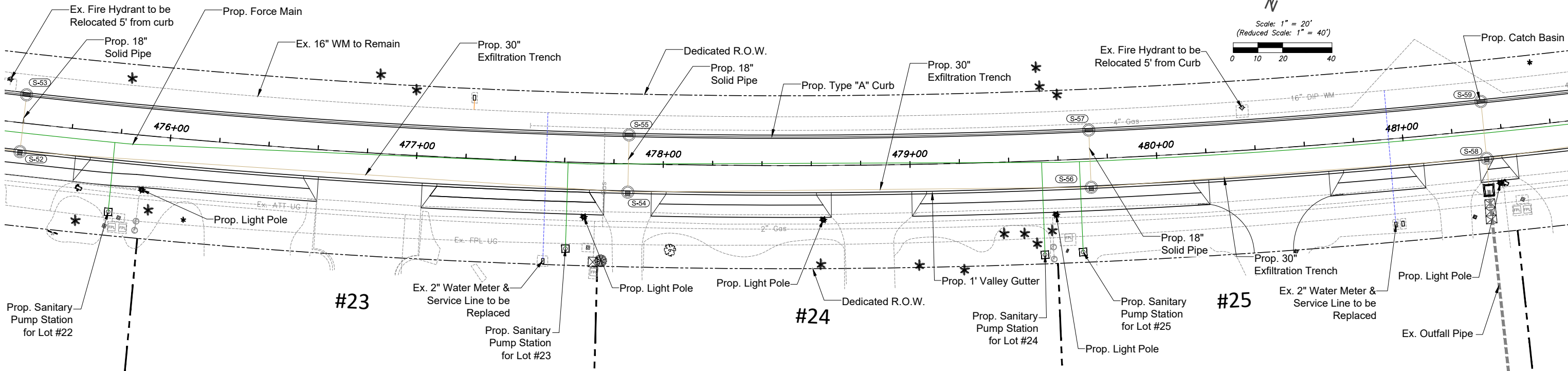
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS CMH 2020-12-07
Dwn. Chkd. Dsgn. YYYY.MM.DD

UTILITY PLAN	
Project No. 215615771	Scale
Drawing No. C-102	Sheet of 152
Revision	



LEGEND

- | | |
|--|---|
| ----- PROPERTY LINE | ■ PROPOSED CATCH BASIN |
| ----- CENTER LINE | ● PROPOSED MANHOLE |
| ----- RIGHT OF WAY | ★ PROPOSED LIGHT POLE |
| ----- EXIST. EDGE OF PAVEMENT | ◇ PROPOSED FIRE HYDRANT |
| --- DIP-WM --- EXIST. WATER MAIN | ⊙ EXISTING FP&L MANHOLE |
| --- Gas --- EXIST. GAS MAIN | ⊙ EXISTING GAS METER |
| --- Ex-AT&T-UG --- EXIST. AT&T UNDERGROUND | ⊙ EXISTING MAILBOX |
| --- Ex-FPL-UG --- EXIST. FPL UNDERGROUND | ⊙ EXISTING FIRE HYDRANT |
| ===== EXIST. OUTFALL PIPE | *** EXISTING TREES |
| ----- PROP. 1' VALLEY GUTTER | ⊗ EXISTING WATER, IRRIGATION, GAS VALVE |
| ----- PROP. 16" TYPE "A" CURB | ⊙ EXIST. ELECTRIC UTILITY COVER |
| ----- PROP. FORCE MAIN | ⊙ EXIST. INTERCOM |
| ----- PROP. STORM DRAINAGE | ⊙ EXISTING FPL TRANSFORMER |
| ----- PROP. GAS MAIN | ⊙ EXIST. ELECTRIC METER |
| □ PROPOSED GAS METER | ⊙ EXIST. TELEPHONE MANHOLE |
| ⊙ PROPOSED GRINDER STATION | ■ EXISTING CATCH BASIN |
| | ☆ EXISTING ORNAMENTAL LIGHT POLE |
| | --- EXISTING GUARDRAIL |
| | ⊙ EXISTING BACKFLOW PREVENTOR VALVE |
| | ⊙ EXISTING SIGN TO REMAIN |
| | ⊙ EXISTING WATER METER |

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS CMH 2020-12-07
Dwn. Chkd. Dsgn. YYYYMMDD

UTILITY PLAN

Project No.
215615771

Scale

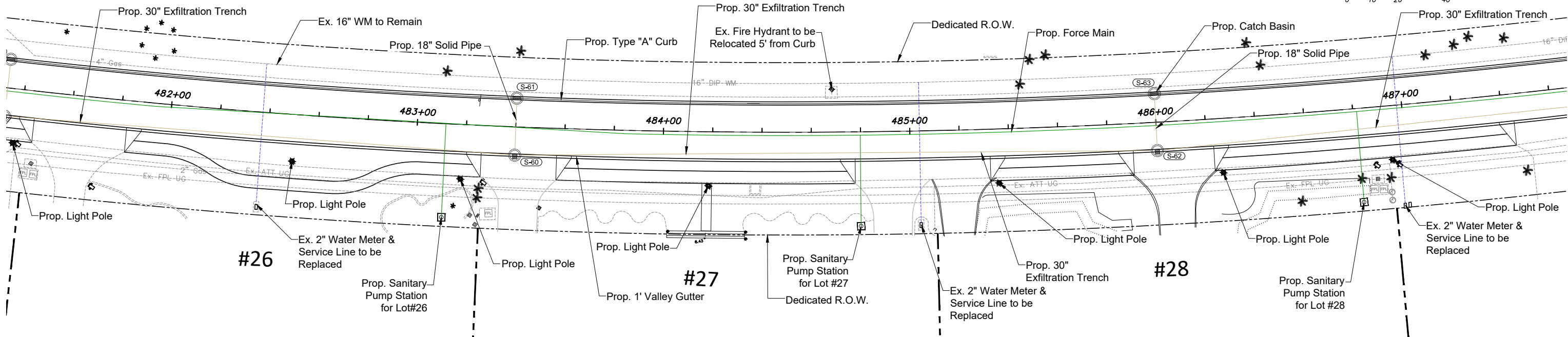
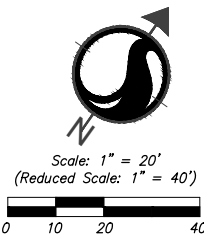
Drawing No.

Sheet

Revision

C-103

of 152



LEGEND

	PROPERTY LINE		PROPOSED CATCH BASIN
	CENTER LINE		PROPOSED MANHOLE
	RIGHT OF WAY		PROPOSED LIGHT POLE
	EXIST. EDGE OF PAVEMENT		PROPOSED FIRE HYDRANT
	DIP-WM		EXISTING F&L MANHOLE
	EXIST. WATER MAIN		EXISTING GAS METER
	Gas		EXISTING GAS METER
	EXIST. GAS MAIN		EXISTING MAILBOX
	Ex-ATT-UG		EXISTING FIRE HYDRANT
	EXIST. AT&T UNDERGROUND		EXISTING TREES
	Ex-FPL-UG		EXISTING WATER, IRRIGATION, GAS VALVE
	EXIST. FPL UNDERGROUND		EXIST. ELECTRIC UTILITY COVER
	EXIST. OUTFALL PIPE		EXIST. INTERCOM
	PROP. 1' VALLEY GUTTER		EXISTING FPL TRANSFORMER
	PROP. 16" TYPE "A" CURB		EXIST. ELECTRIC METER
	PROP. FORCE MAIN		EXIST. TELEPHONE MANHOLE
	PROP. STORM DRAINAGE		EXISTING CATCH BASIN
	PROP. GAS MAIN		EXISTING ORNAMENTAL LIGHT POLE
	PROPOSED GAS METER		EXISTING GUARDRAIL
	PROPOSED GRINDER STATION		EXISTING BACKFLOW PREVENTOR VALVE
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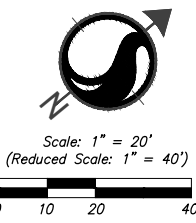
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS CMH 2020-12-07
Dwn. Chkd. Dsgn. YYYYMMDD

UTILITY PLAN

Project No. 215615771 Scale
Drawing No. C-104 Sheet of 152 Revision



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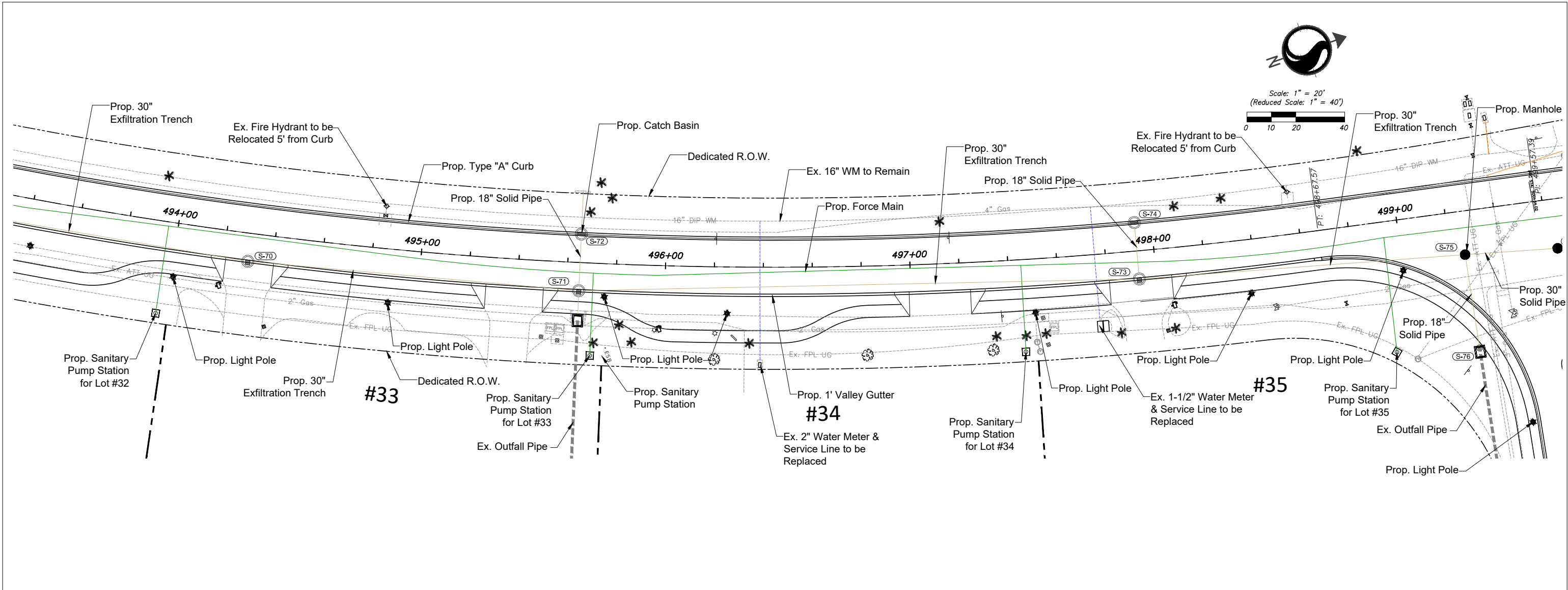
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File Name: 15771_UTILITY PLAN.DWG	MS	CMH	---	2020-12-07
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Project No.	Scale	
215615771		
Drawing No.	Sheet	Revision
C-105	of 152	

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LEGEND

	PROPERTY LINE		PROPOSED CATCH BASIN
	CENTER LINE		PROPOSED MANHOLE
	RIGHT OF WAY		PROPOSED LIGHT POLE
	EXIST. EDGE OF PAVEMENT		PROPOSED FIRE HYDRANT
	EXIST. WATER MAIN		EXISTING F&L MANHOLE
	EXIST. GAS MAIN		EXISTING GAS METER
	EXIST. AT&T UNDERGROUND		EXISTING MAILBOX
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	PROPOSED GAS METER		EXIST. TELEPHONE MANHOLE
	PROPOSED GRINDER STATION		EXISTING CATCH BASIN
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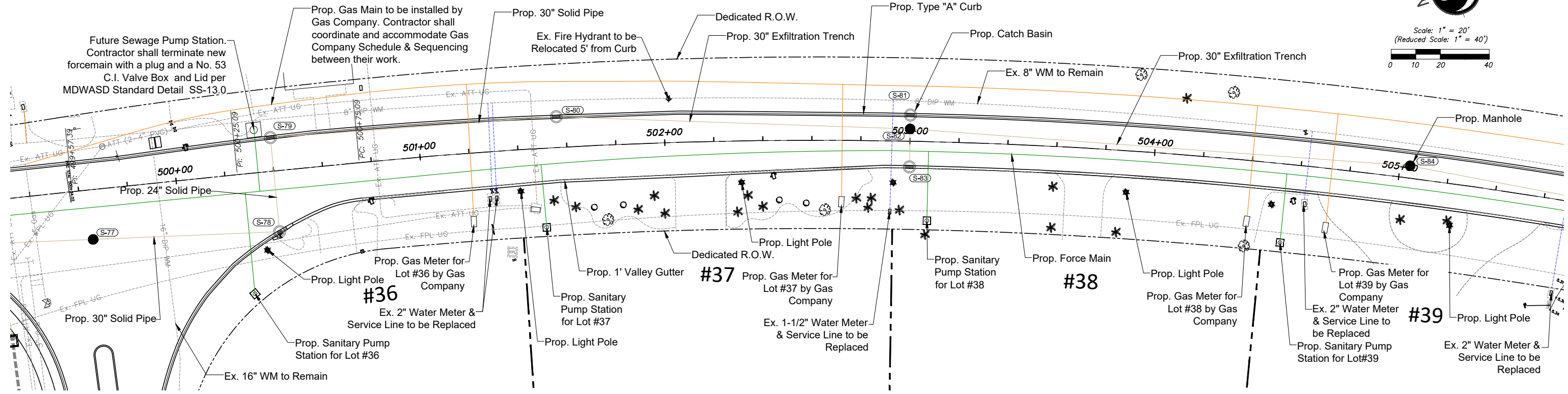
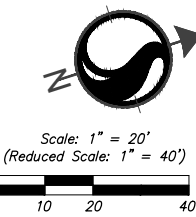
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_UTILITY PLAN.DWG MS CMH 2020-12-07
Dwn. Chkd. Dsgn. YYYY.MM.DD

UTILITY PLAN

Project No. 215615771	Scale
Drawing No. C-106	Sheet of 152
Revision	




LEGEND

- | | |
|--------------------------|---------------------------------------|
| PROPERTY LINE | PROPOSED CATCH BASIN |
| CENTER LINE | PROPOSED MANHOLE |
| RIGHT OF WAY | PROPOSED LIGHT POLE |
| EXIST. EDGE OF PAVEMENT | PROPOSED FIRE HYDRANT |
| BIP-WM | EXISTING F&L MANHOLE |
| Gas | EXISTING GAS METER |
| Ex-ATT-UG | EXISTING MAILBOX |
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| EXIST. OUTFALL PIPE | EXISTING TREES |
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| PROP. GAS MAIN | EXIST. ELECTRIC METER |
| PROPOSED GAS METER | EXIST. TELEPHONE MANHOLE |
| PROPOSED GRINDER STATION | EXISTING CATCH BASIN |
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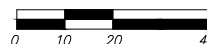


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By	Appd.	YY.MM.DD																																																																																	
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Scale: 1" = 20'
(Reduced Scale: 1" = 40')



Prop. 6" Yellow (10'-30' Skip) with Bi-Directional RPM as per FDOT Index No. 17352

Prop. Blue RPM



Ex. Sign (R5-2) to be Removed and Replaced with New (R5-2) & Pelco Decorative Pole

#1



Ex. Sign (OM4-1) to be Removed and Replaced with New (OM4-1) & Pelco Decorative Pole

#2

#3



Scale: 1" = 20'
(Reduced Scale: 1" = 40')



Prop. 6" Yellow (10'-30' Skip) with Bi-Directional RPM as per FDOT Index No. 17352

Prop. Blue RPM

428+00

429+00

430+00

431+00

432+00

433+00

#4

#5

#6

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Revision	By	Appd.	YY.MM.DD

Issued	By	Appd.	YY.MM.DD

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_PAVEMENT MARKINGS.DWG
Dwn. Chkd. Dsgn. 2020-12-07
YYYY.MM.DD

PAVEMENT MARKING PLAN

Project No.
215615771

Scale

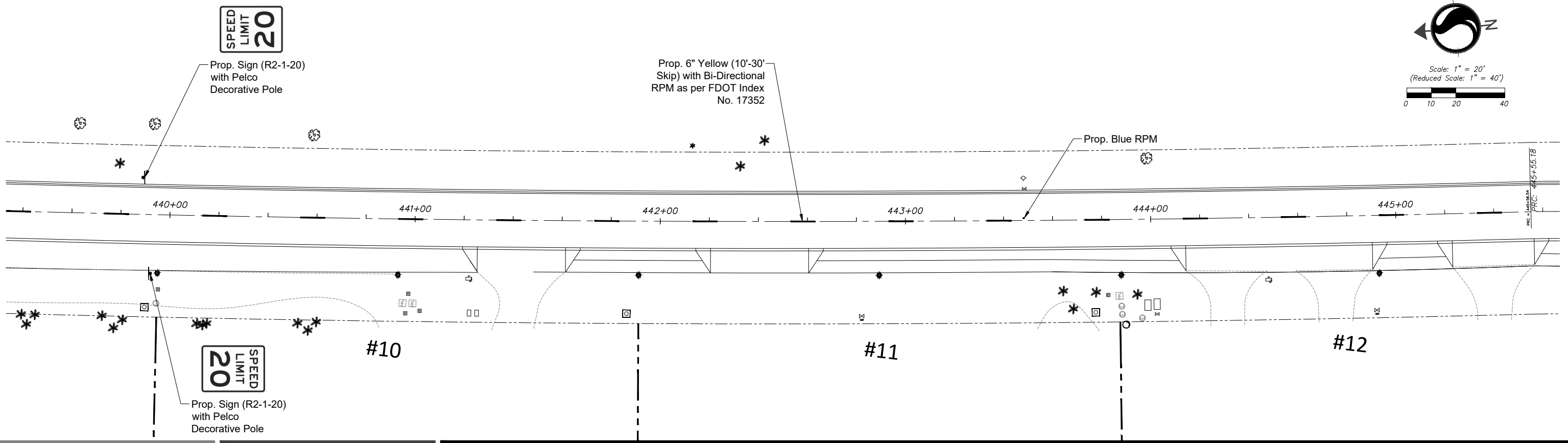
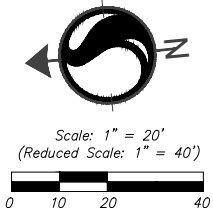
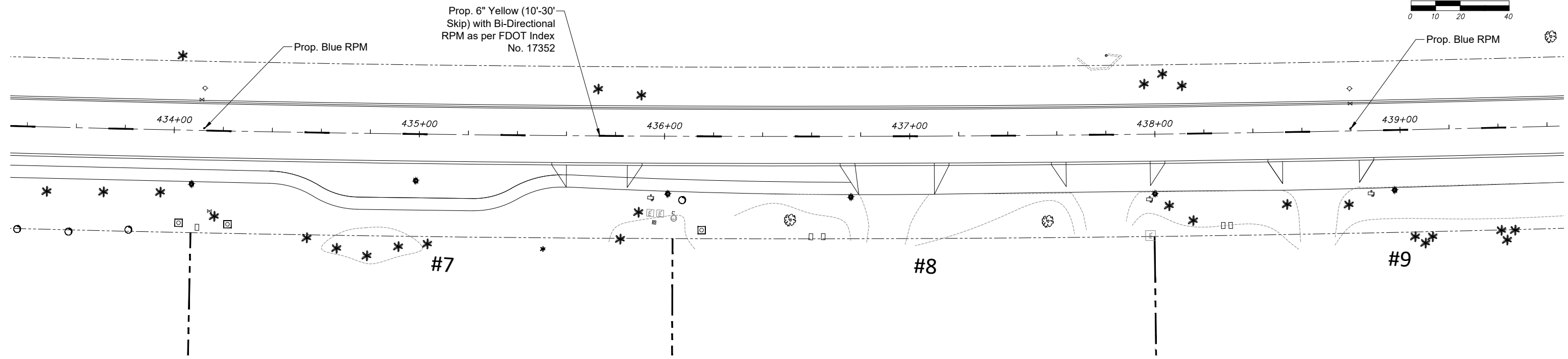
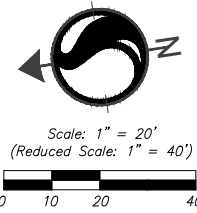
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Revision

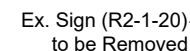
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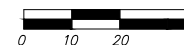
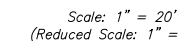
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Prop. 6" Yellow (10'-30'-
Skip) with Bi-Directional
RPM as per FDOT Index
No. 17352

— Prop. Blue RPM



#14

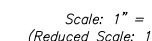
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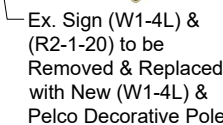
— Prop. Blue RPM

- Ex. Sign (W1-4R) to be Removed & Replaced with New (W1-4R) & Pelco Decorative Pole

Prop. 6" Yellow (10'-30'-
Skip) with Bi-Directional
RPM as per FDOT Index
No. 17352



Prop. Blue RPM

[illegible]

Seal

Consultants



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

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PAVEMENT MARKING PLAN

Project No.
215615771

Drawing No.

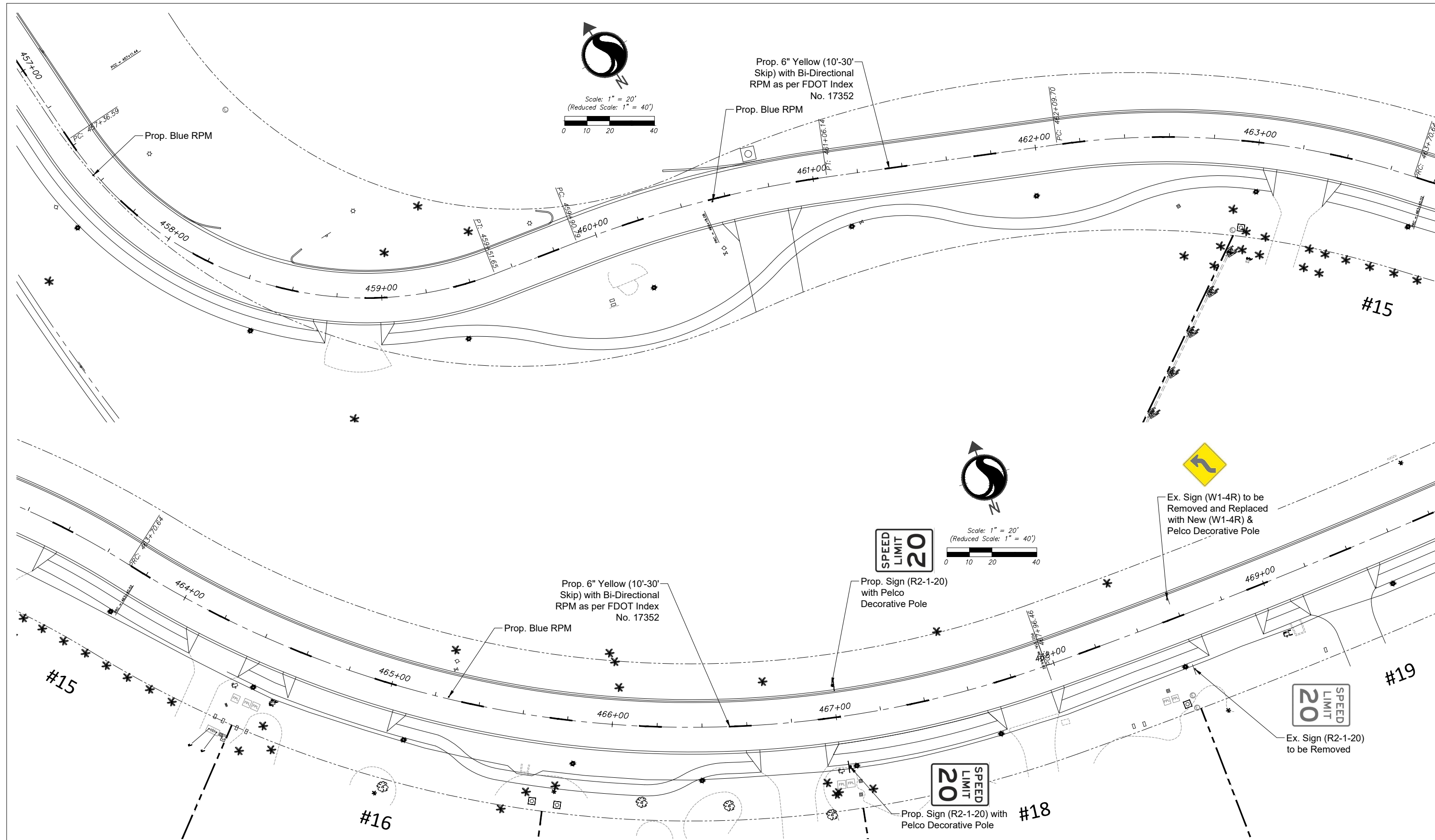
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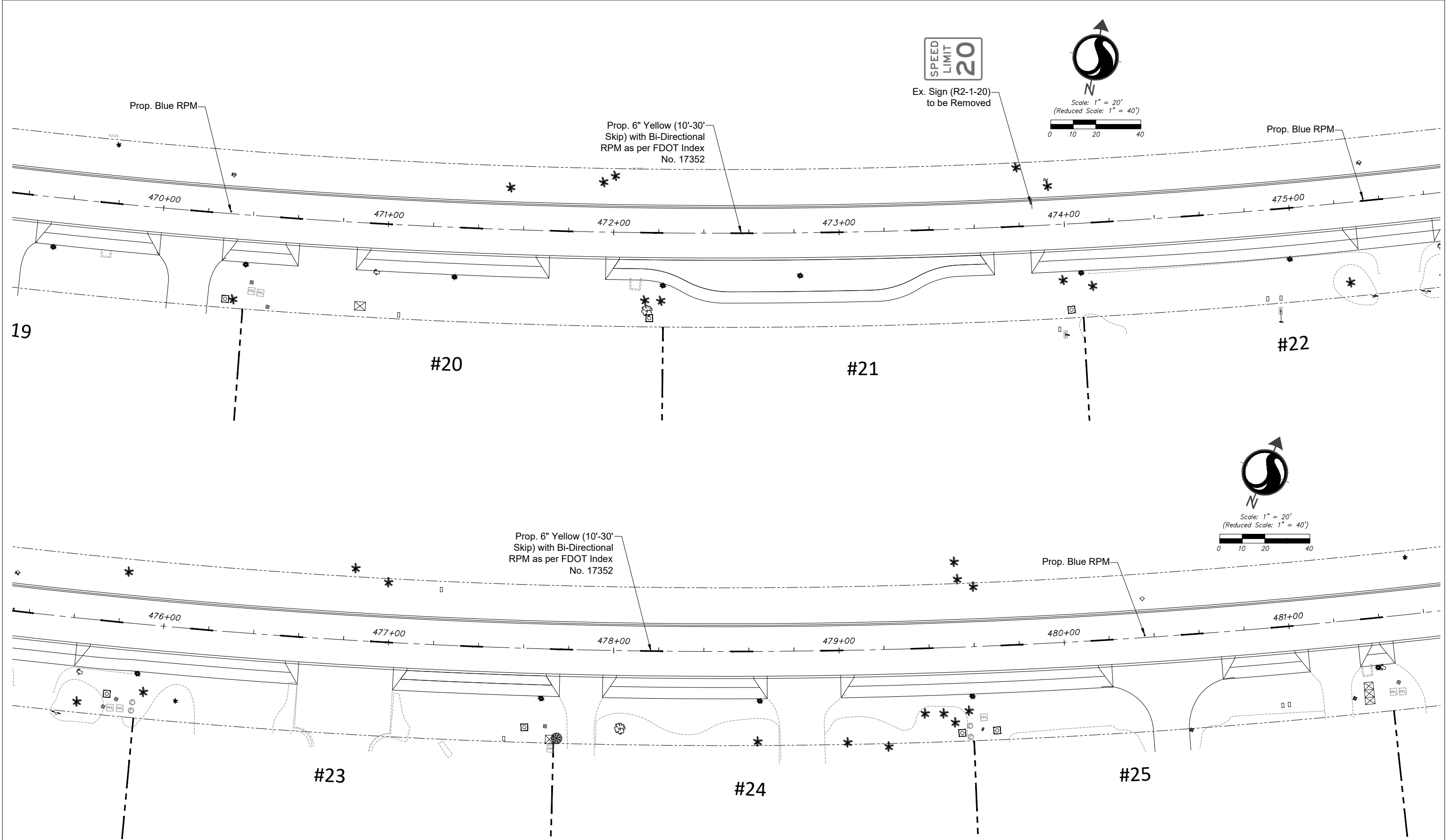
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of 152



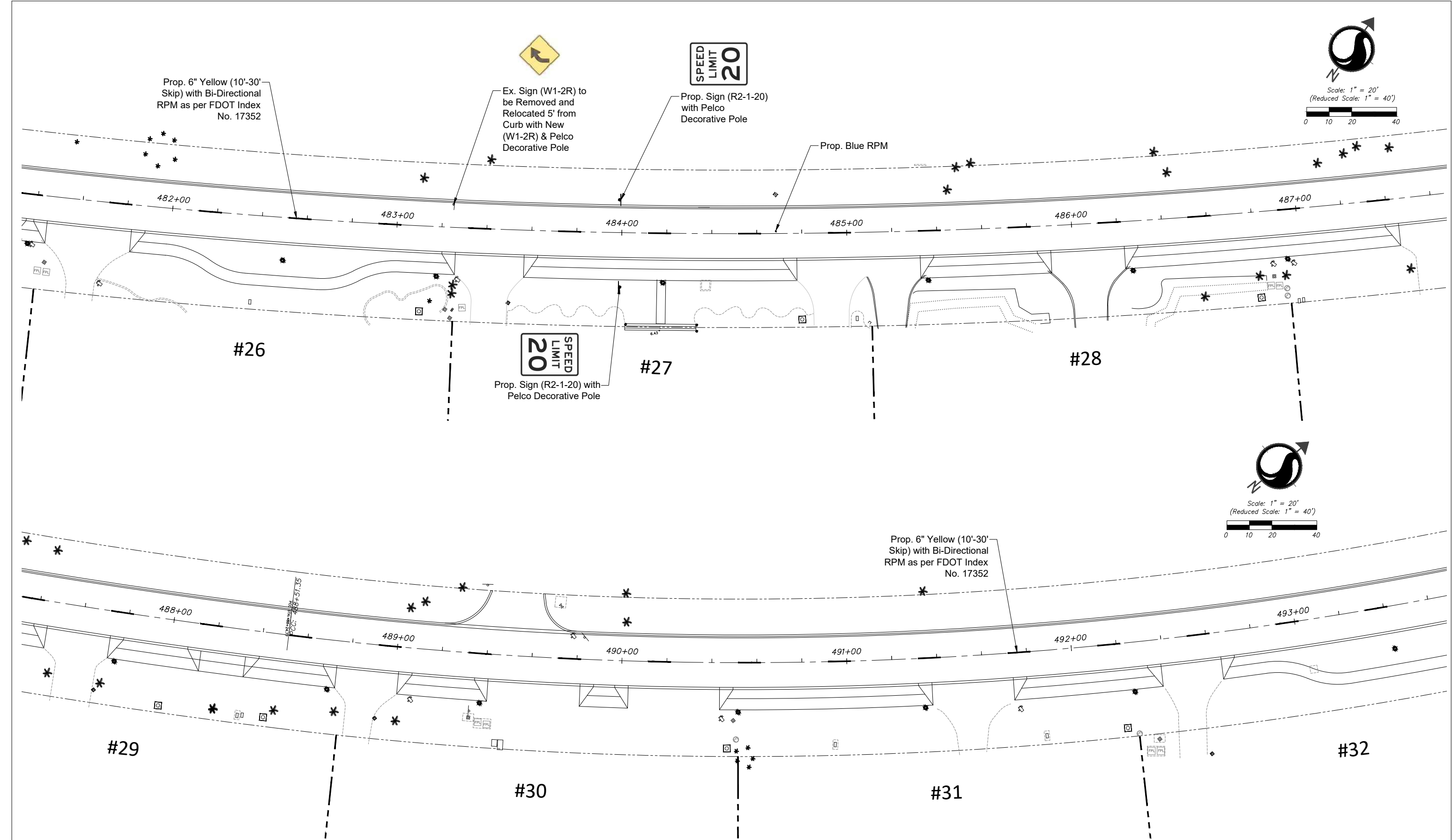
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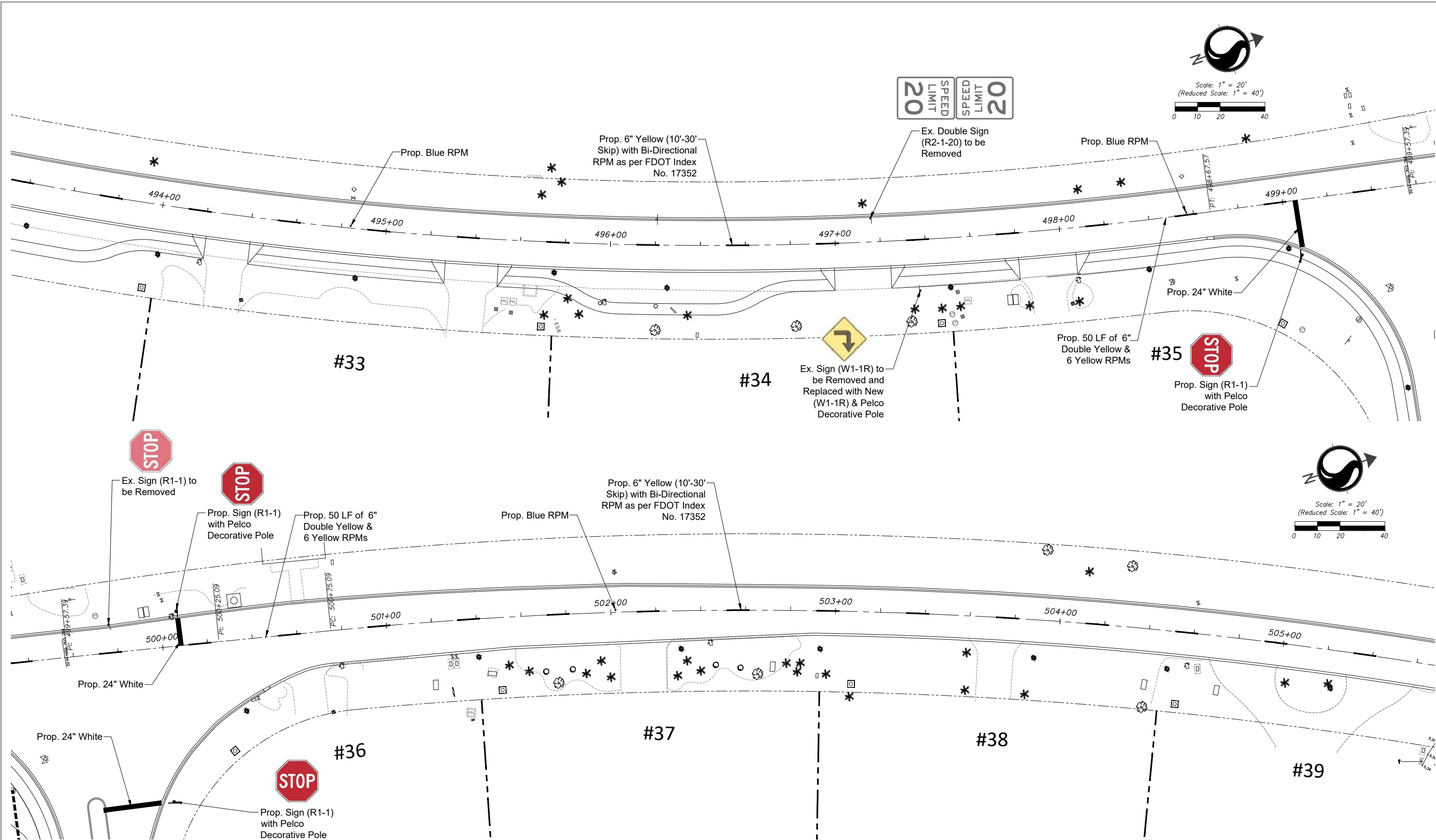
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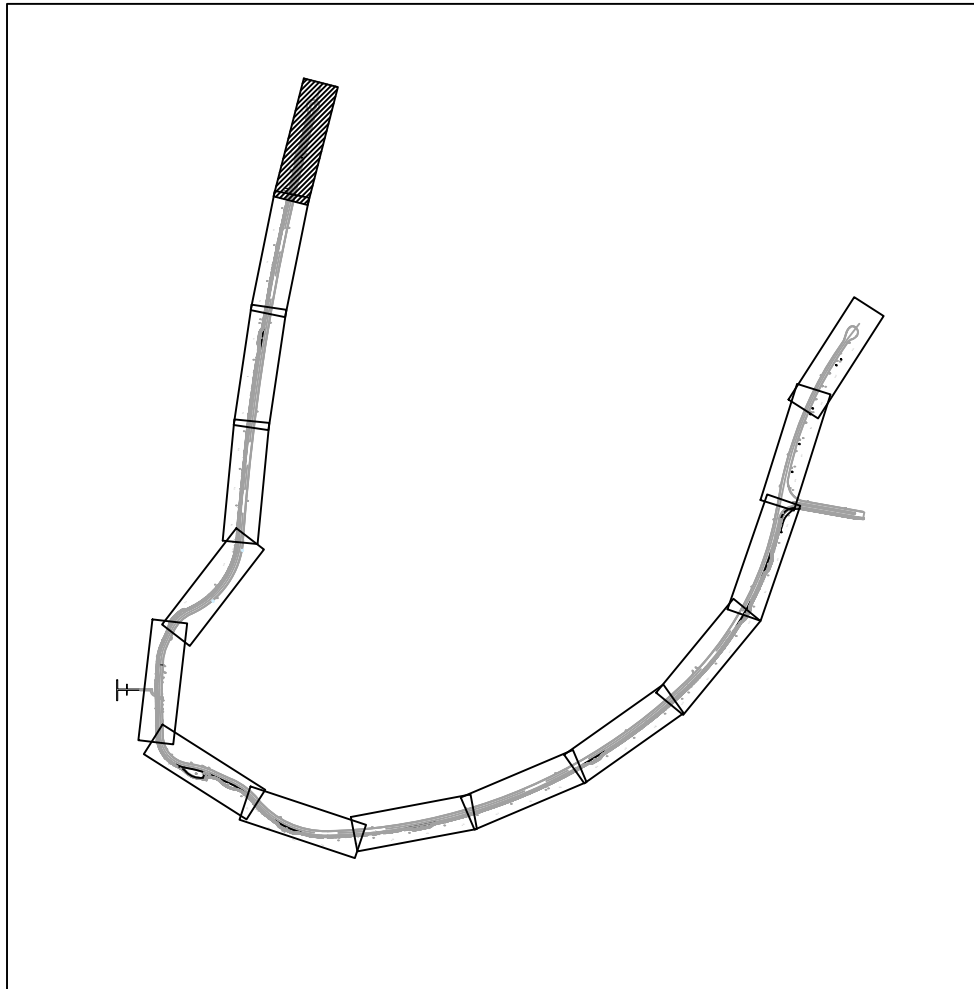
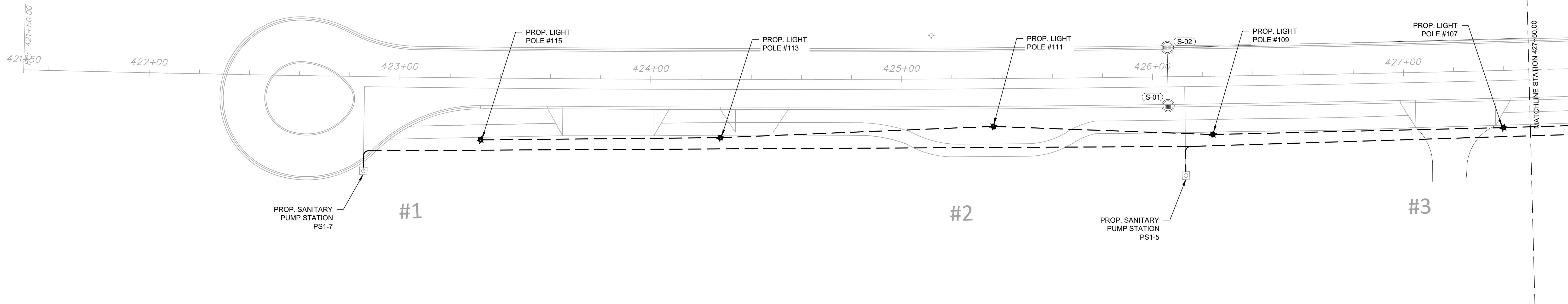
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_PAVEMENT MARKINGS.DWG
Dwn. Chkd. Dsgn. 2020-12-07
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PAVEMENT MARKING PLAN

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INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_E-101.DWG

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Dwn.	Chkd.	Dsgn.	YYYY.MM.DD

ELECTRICAL PLAN

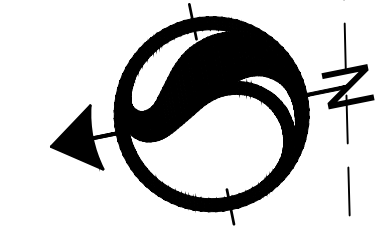
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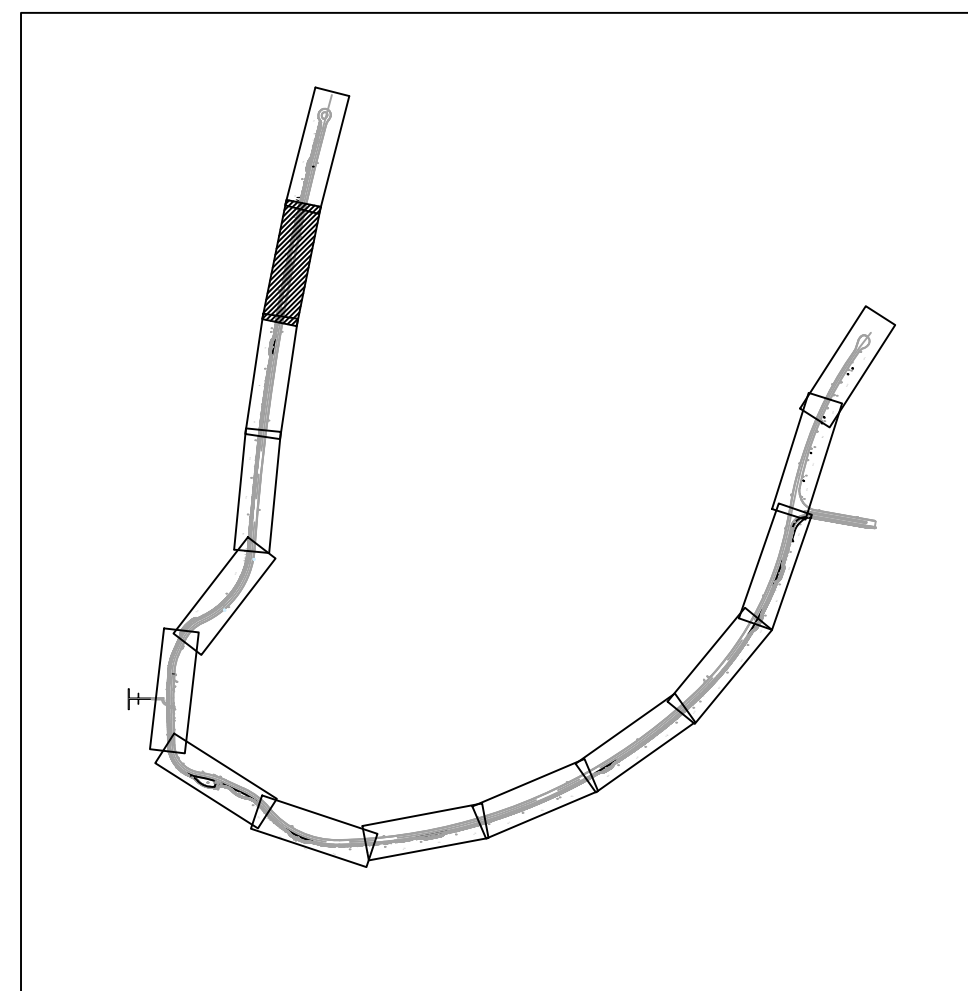
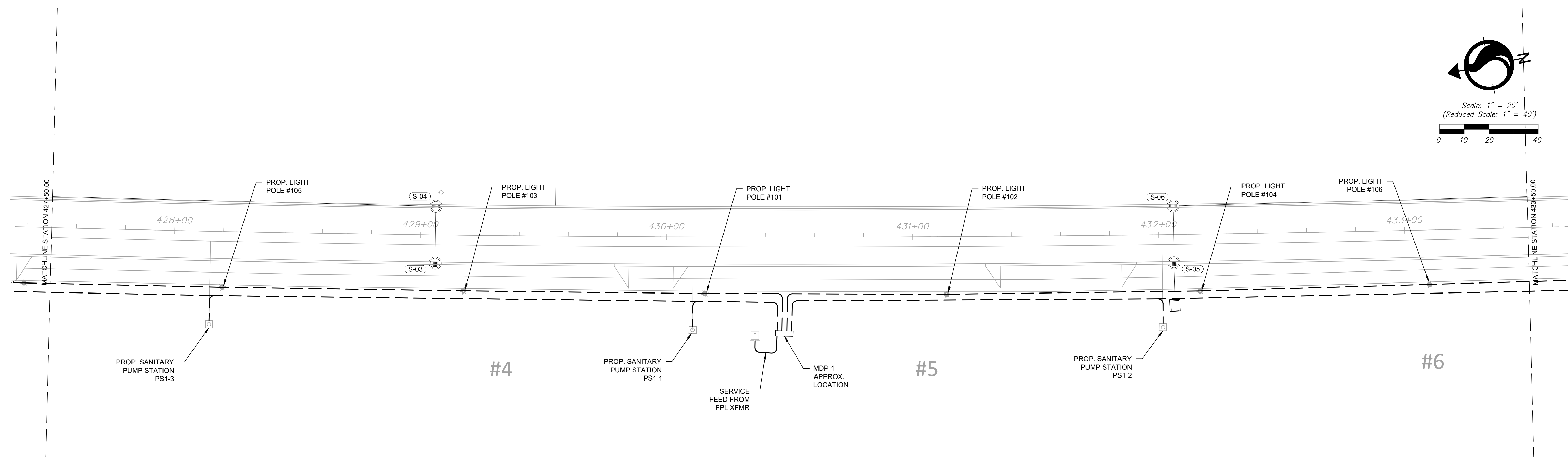
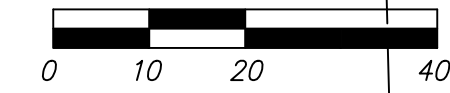
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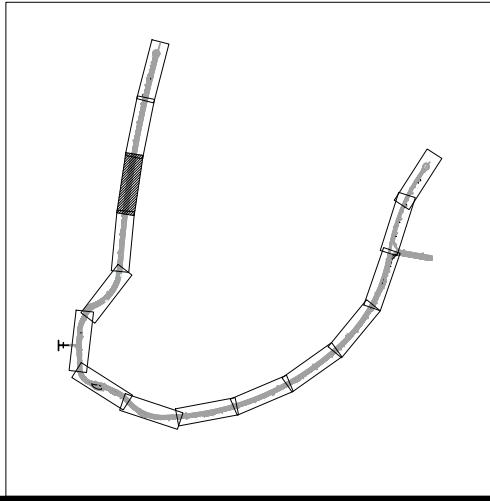
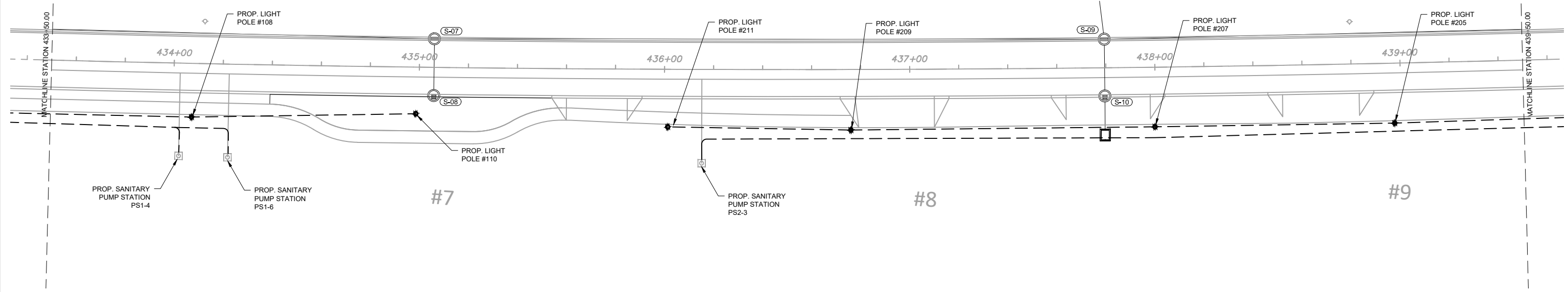
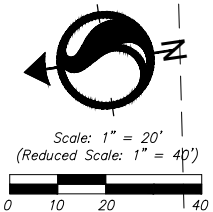
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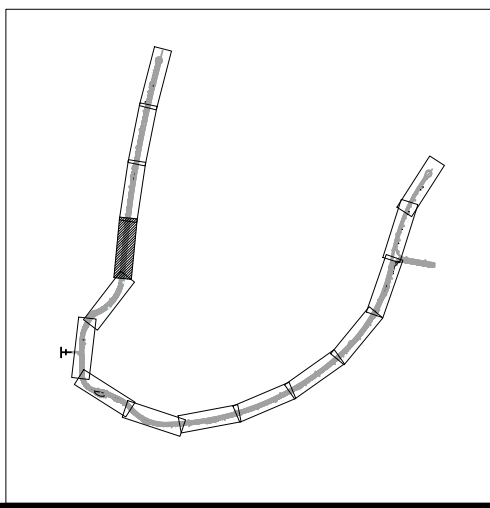
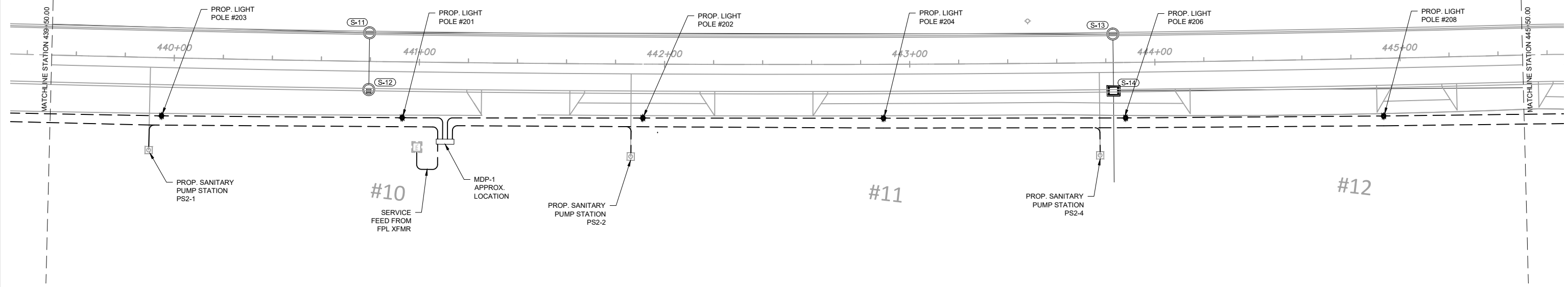
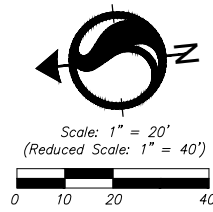


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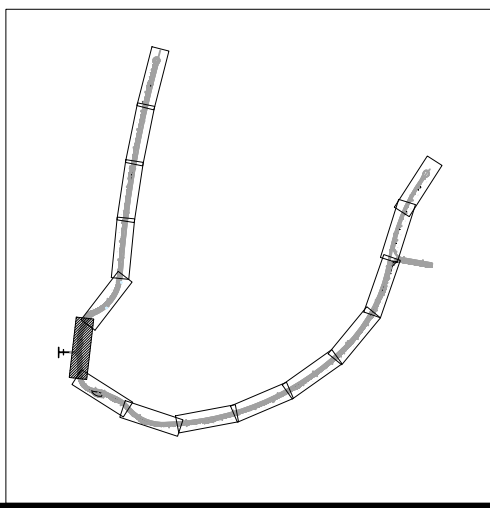
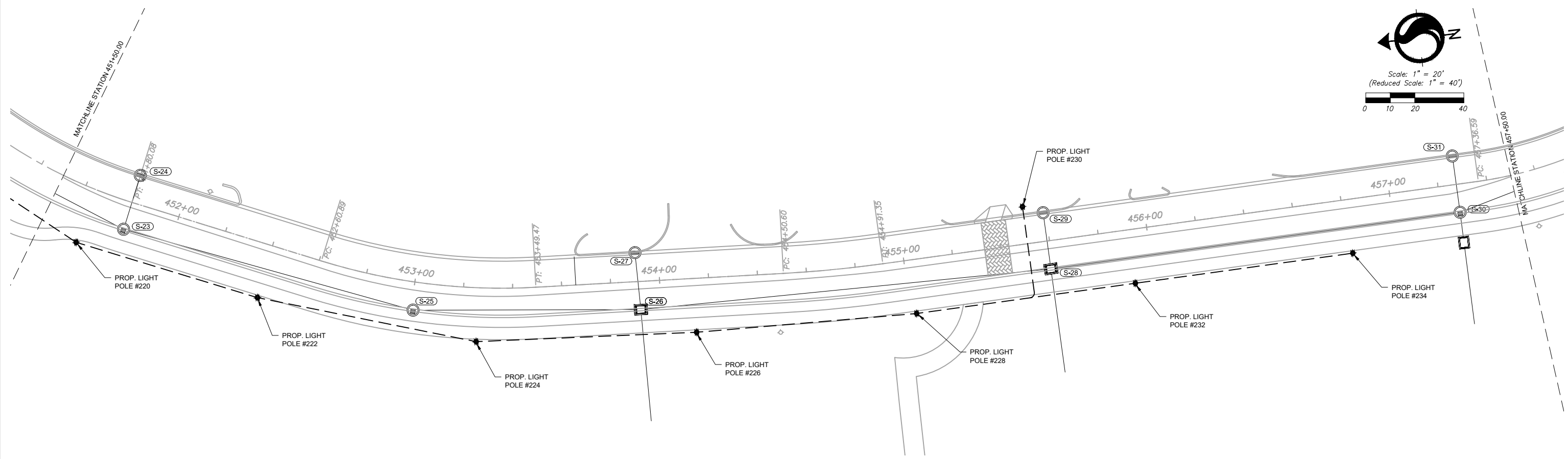
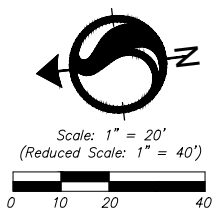
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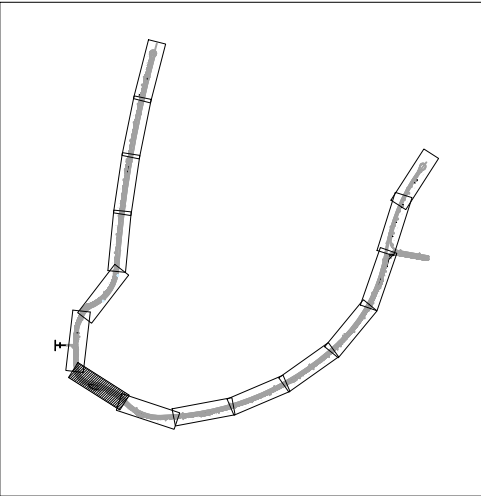
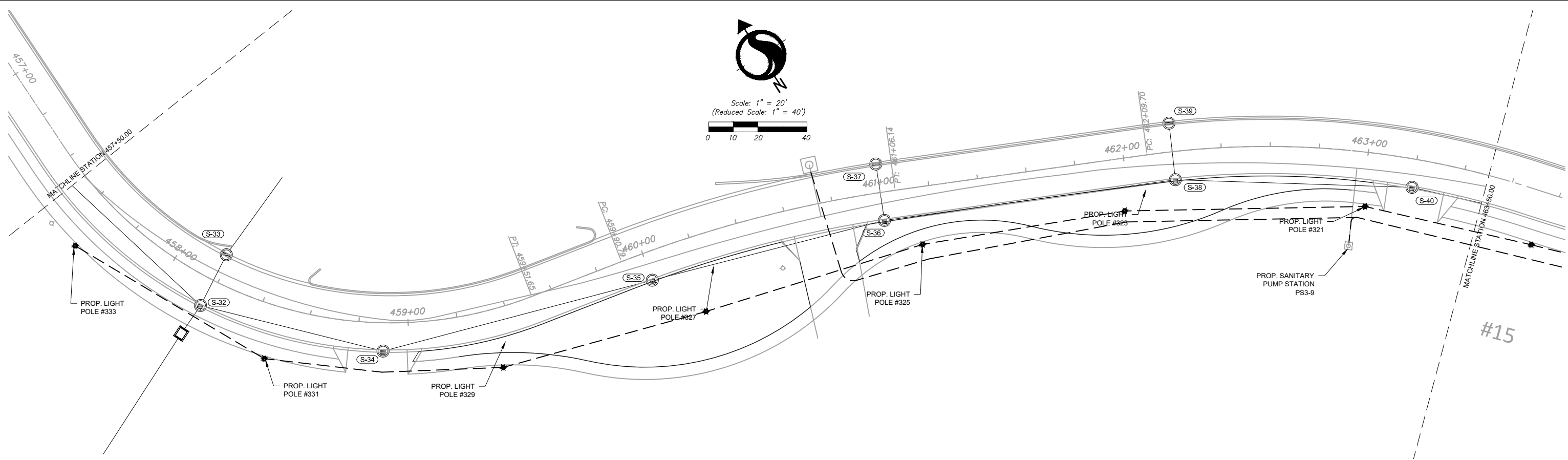
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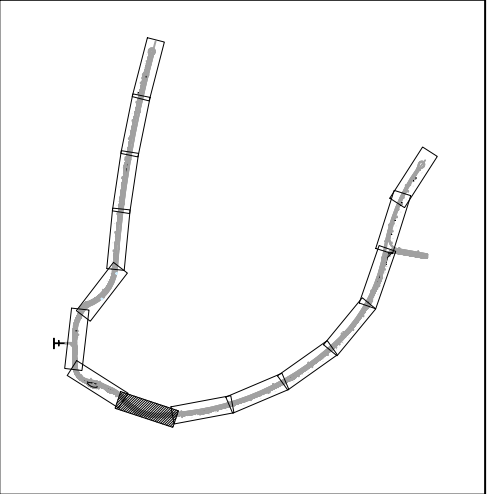
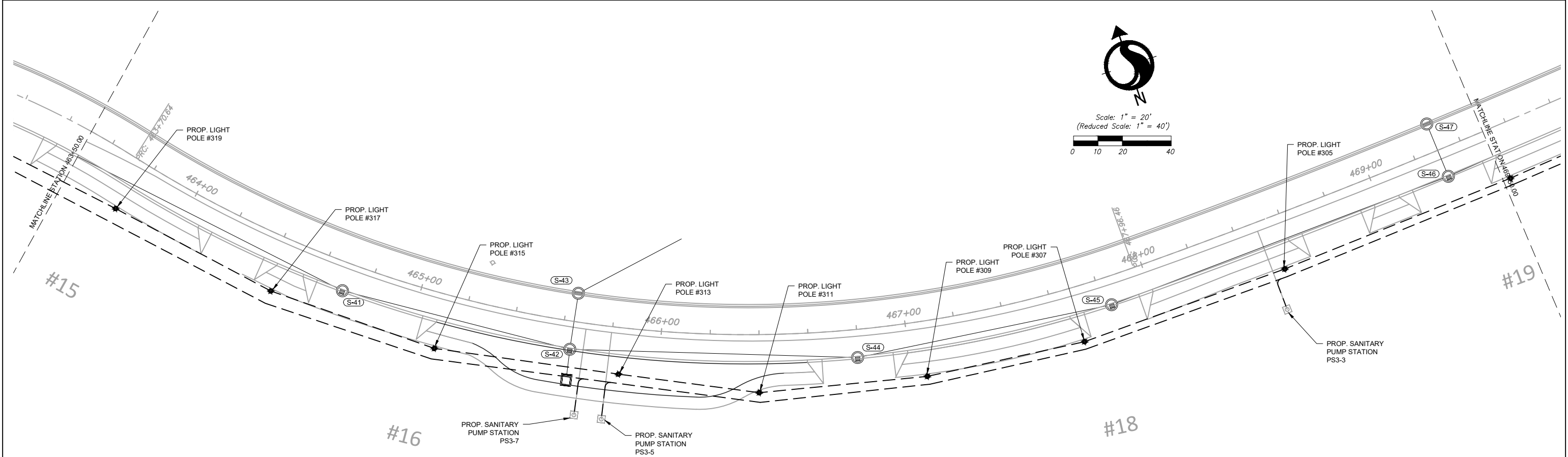
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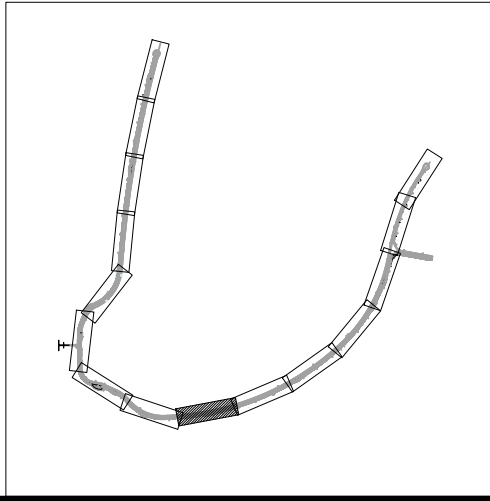
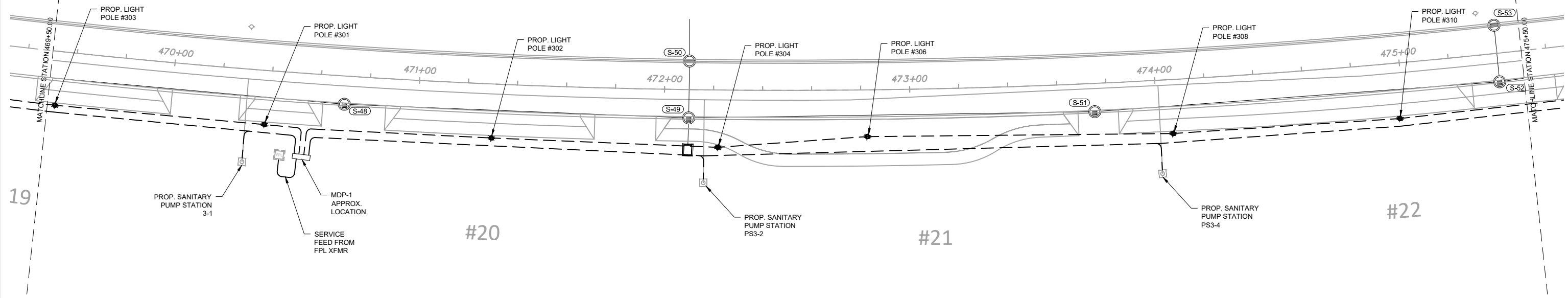
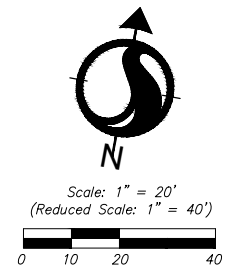
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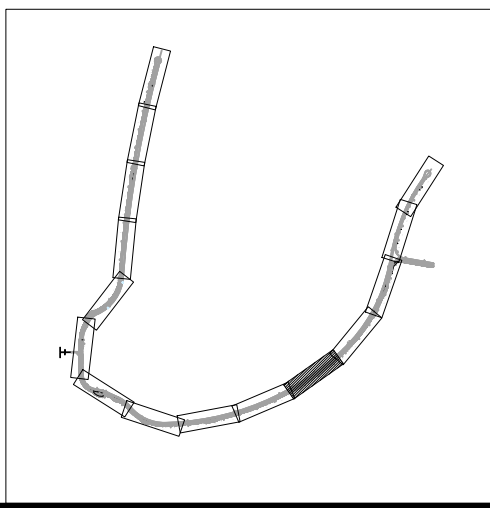
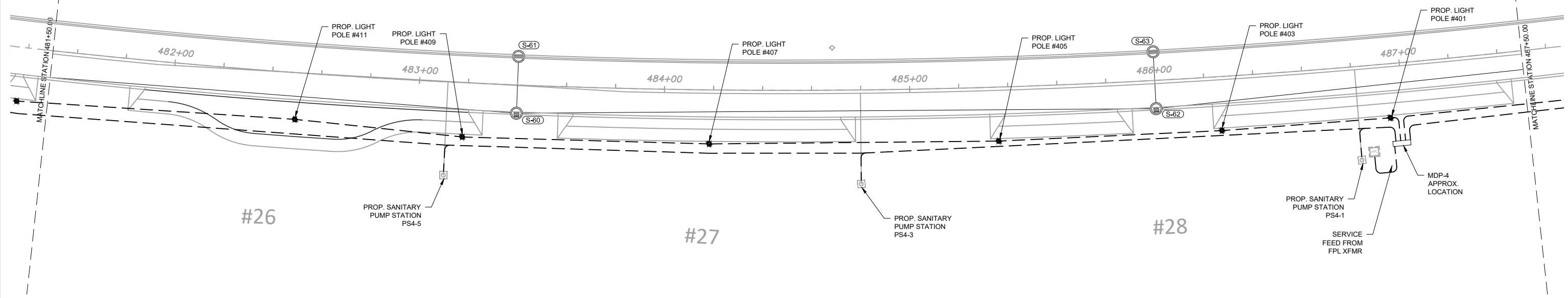
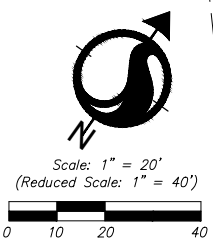
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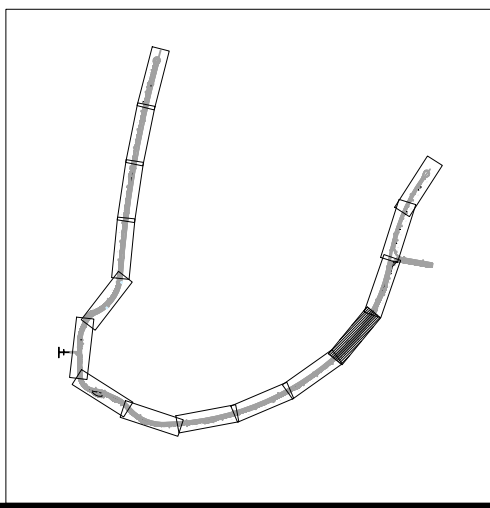
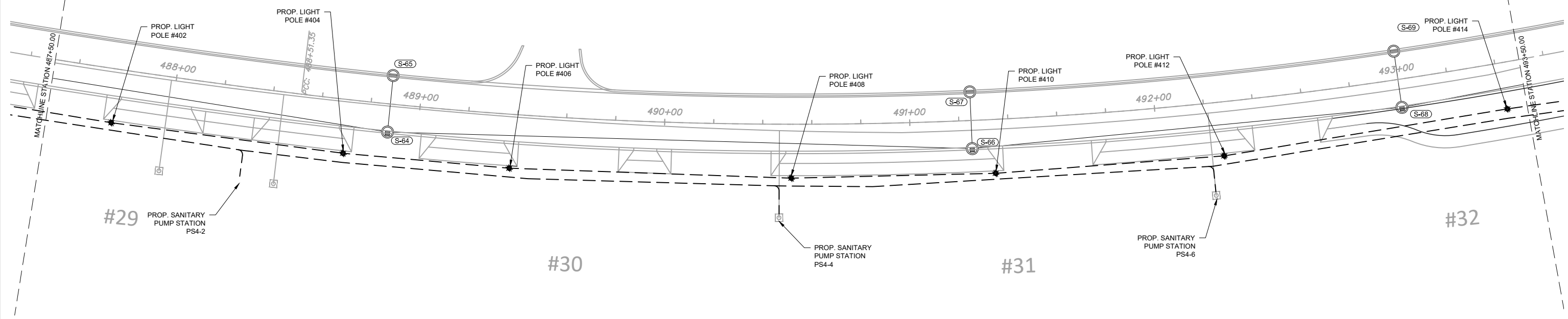
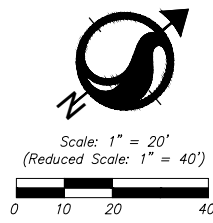
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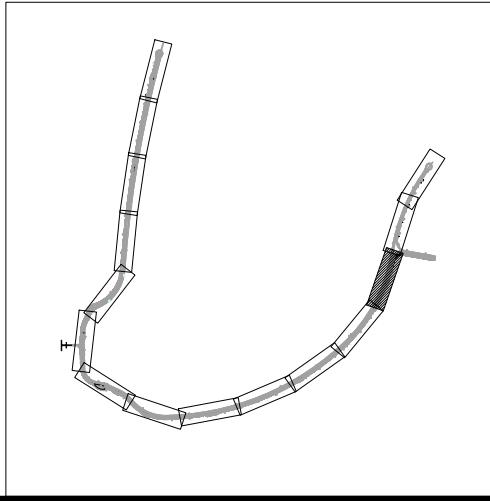
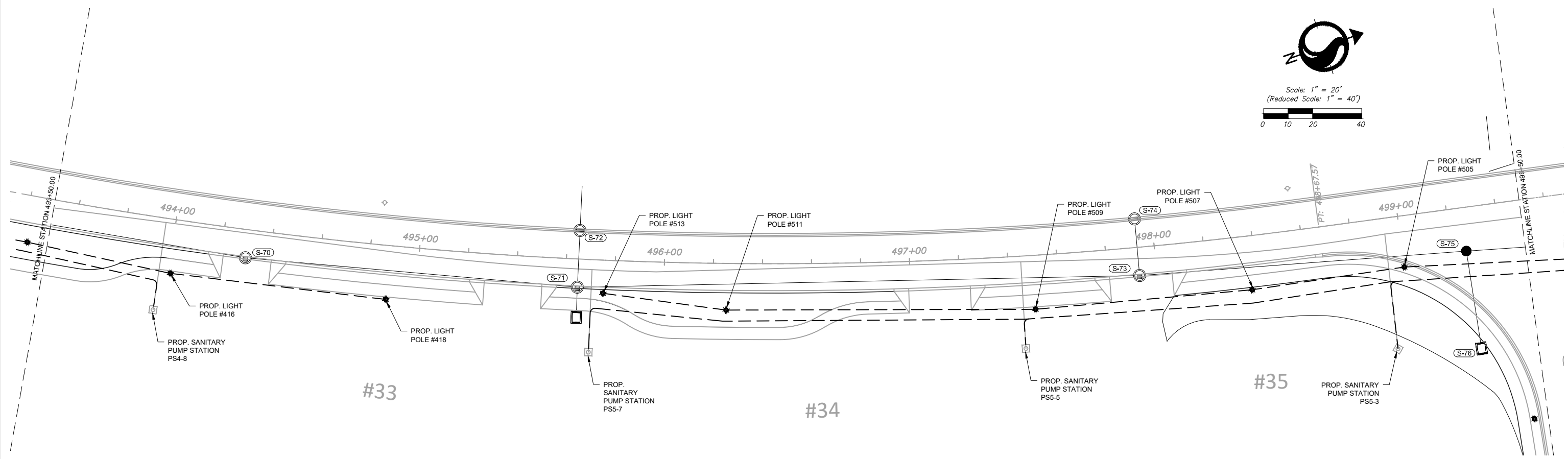
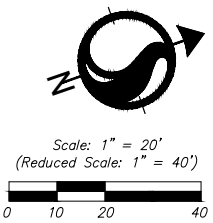
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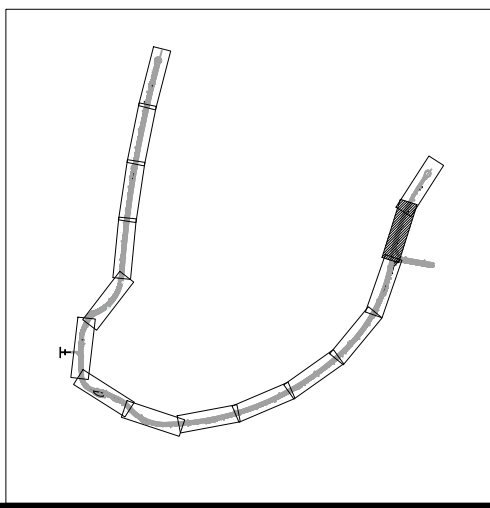
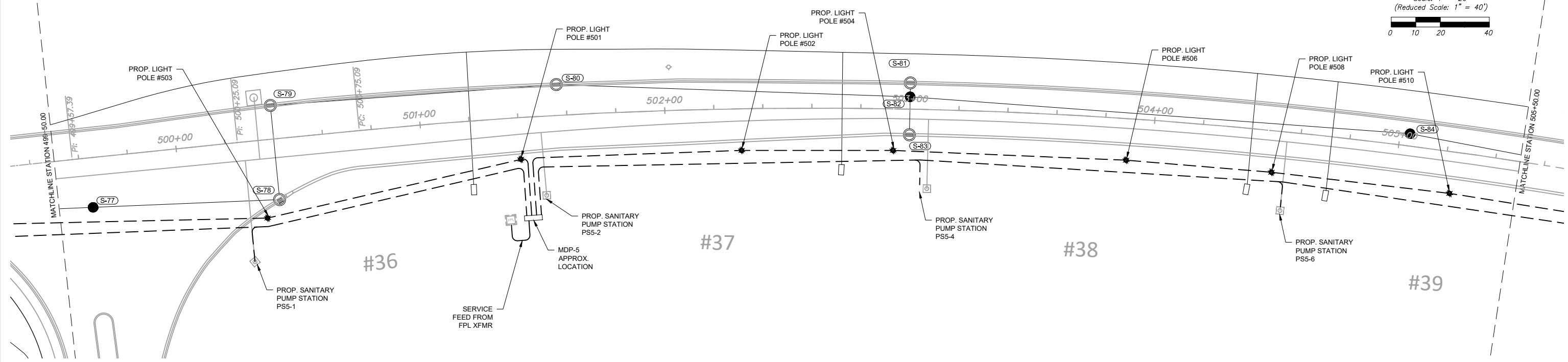


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Scale: 1" = 20'
(Reduced Scale: 1" = 40')




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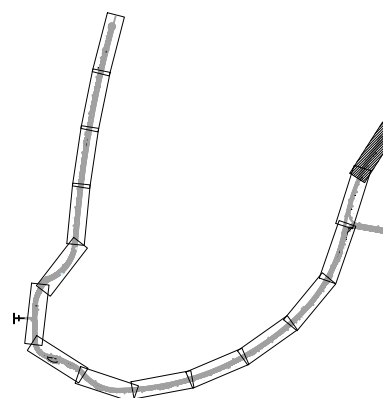
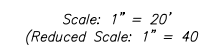
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

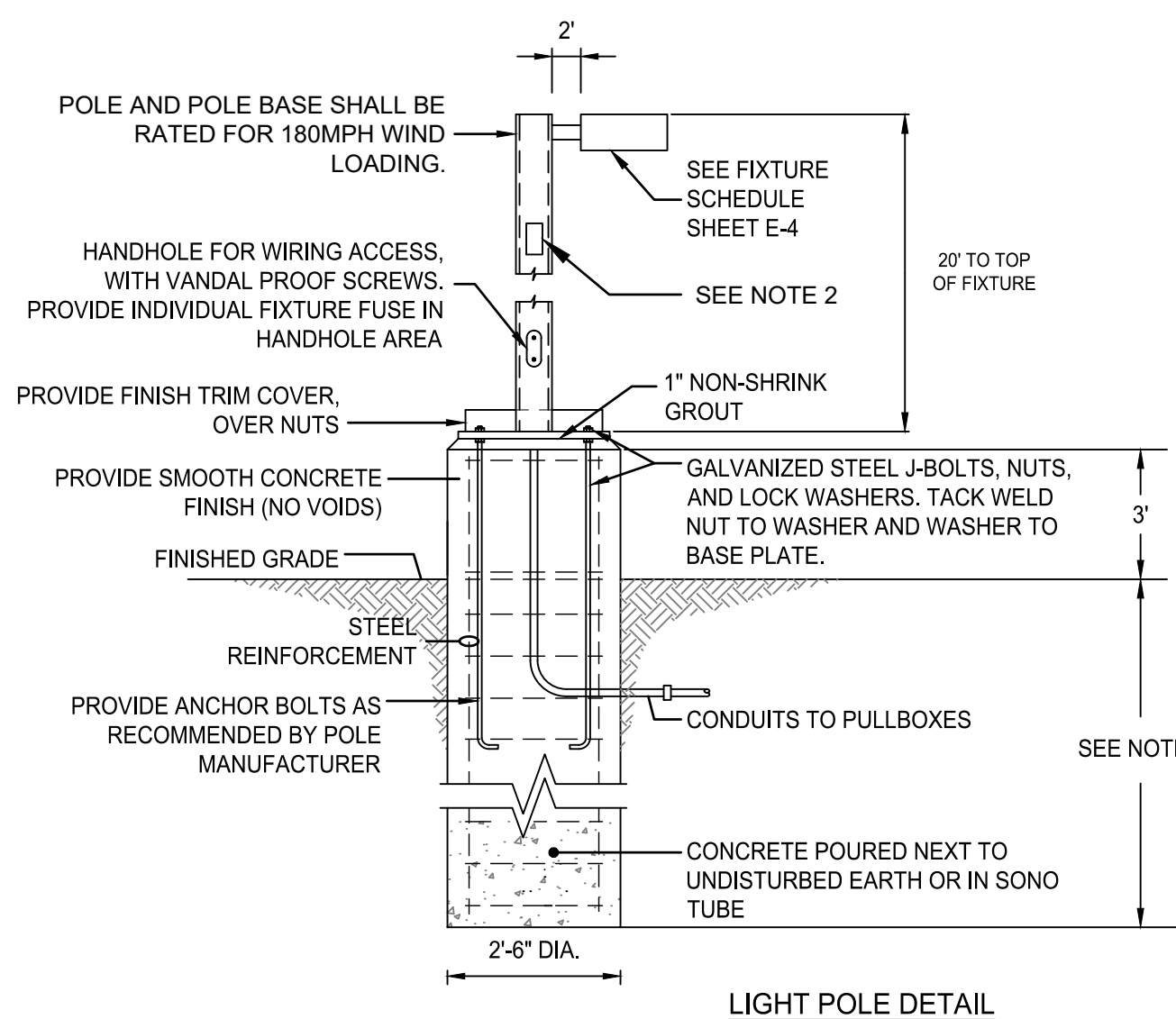
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ELECTRICAL PLAN

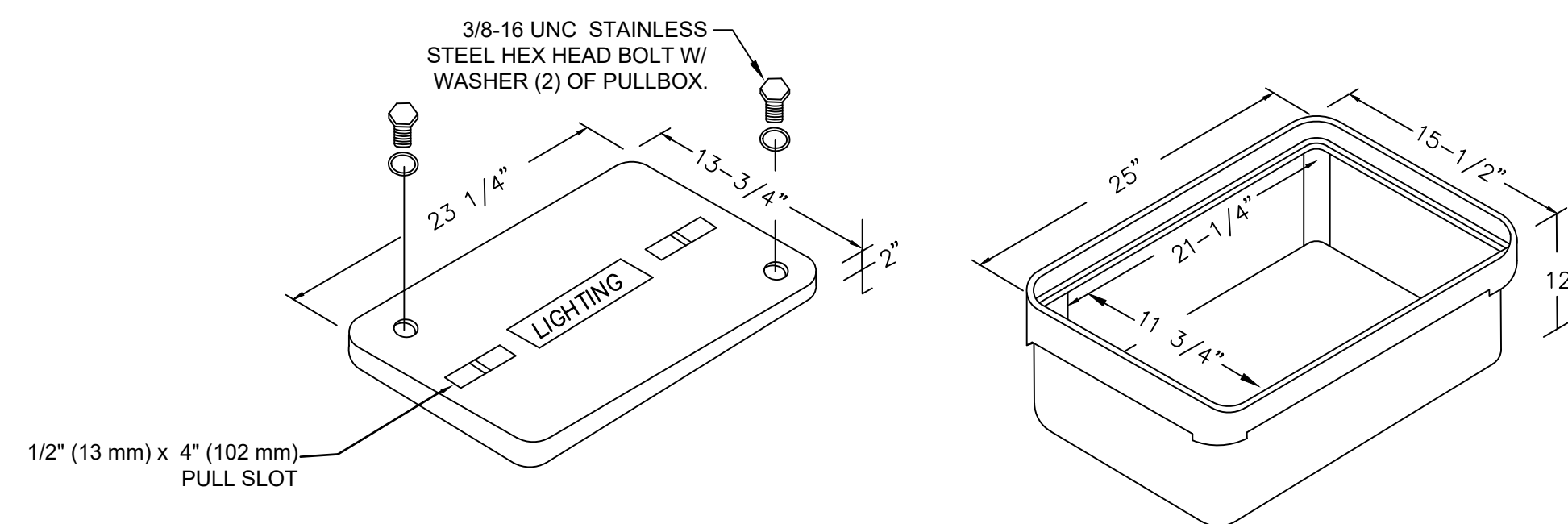
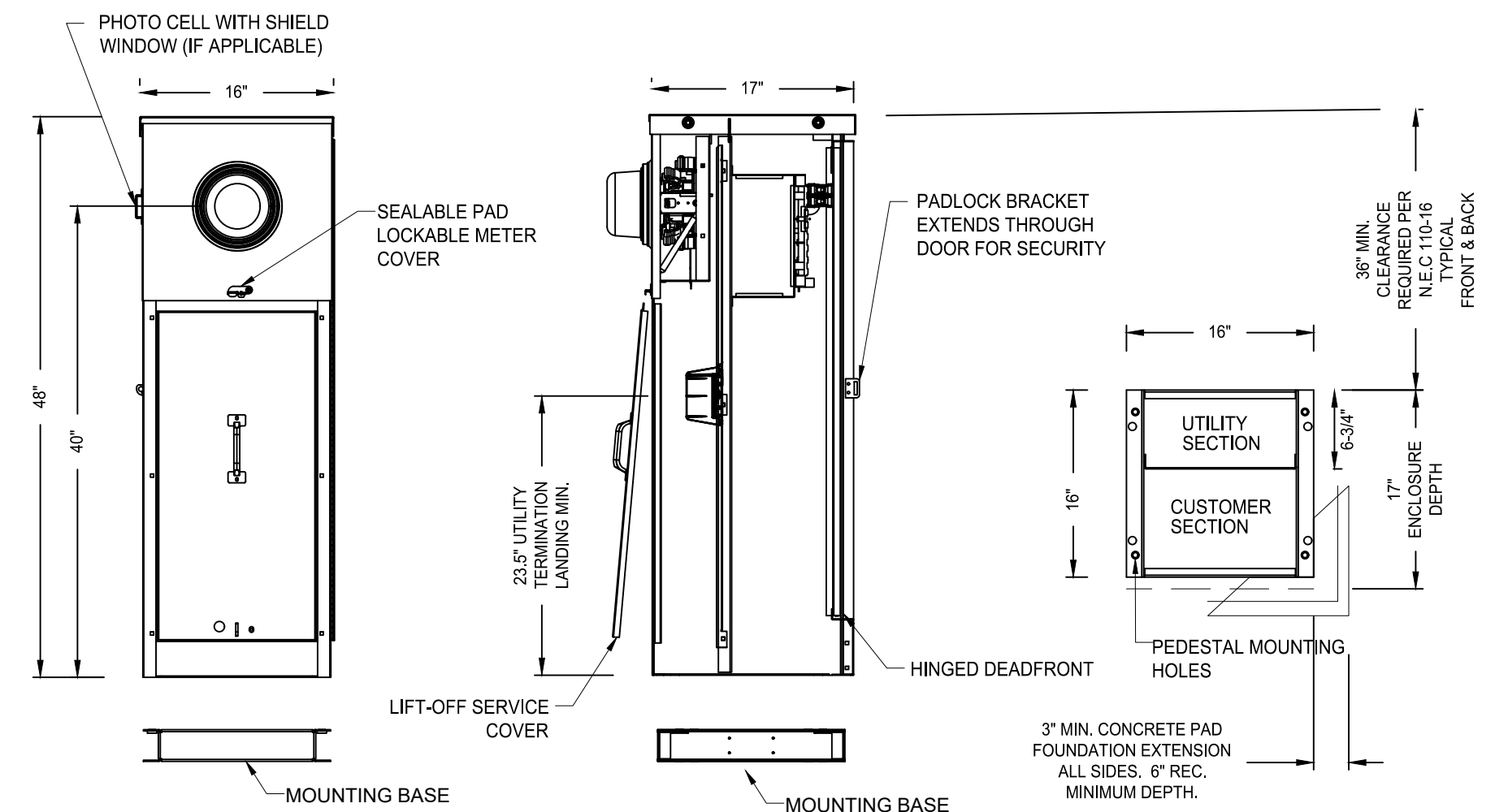
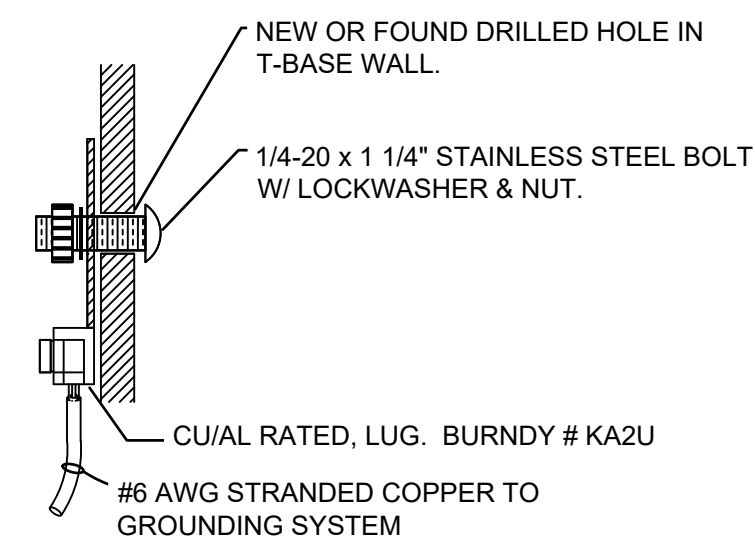
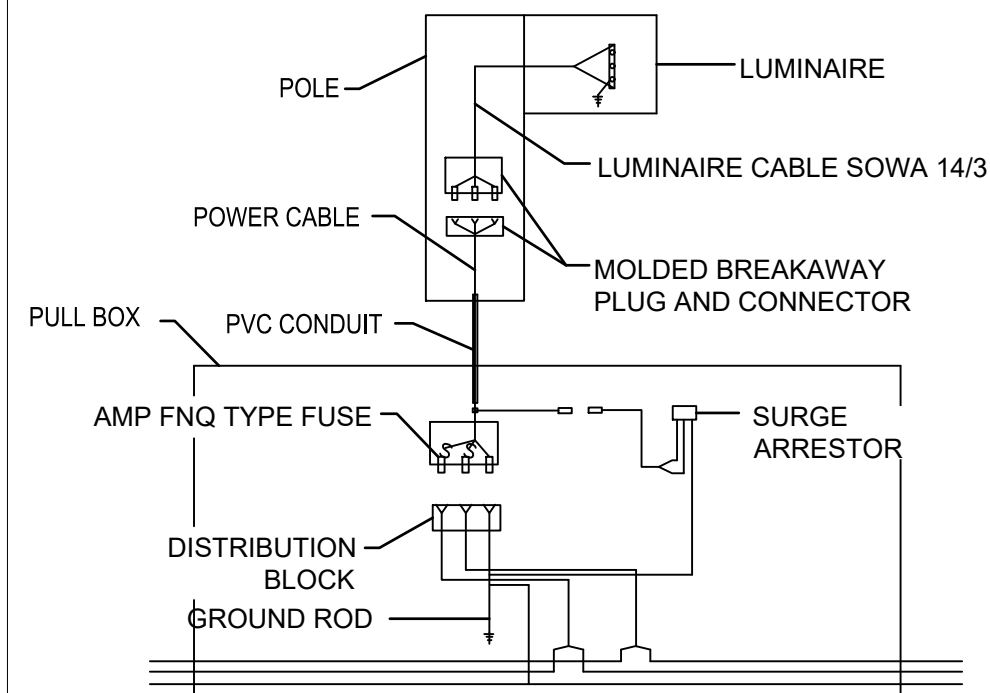
Project No. 215615771	Scale
Drawing No. ----	Sheet E-115 of 152
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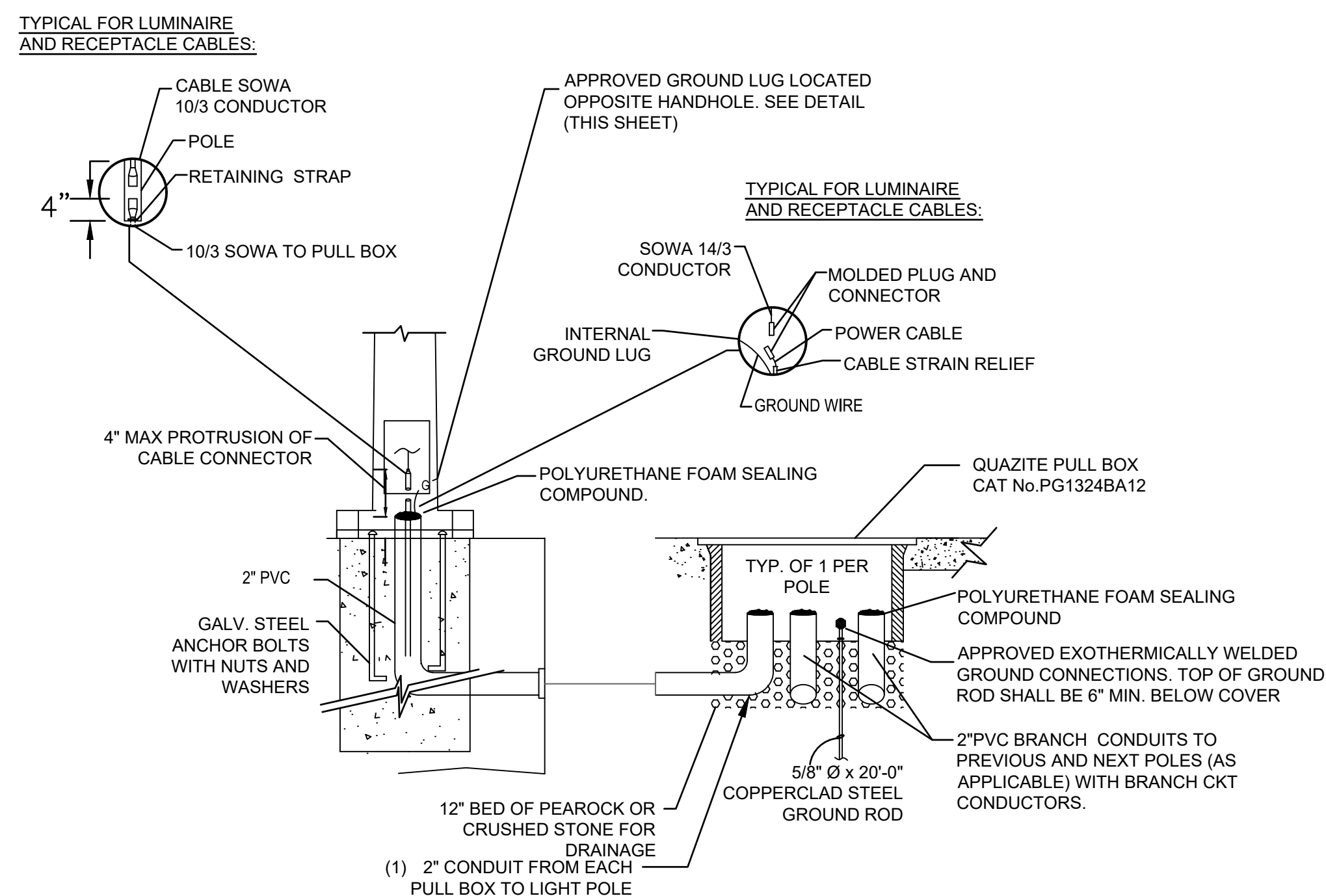
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Drawing No.	Sheet	Revision
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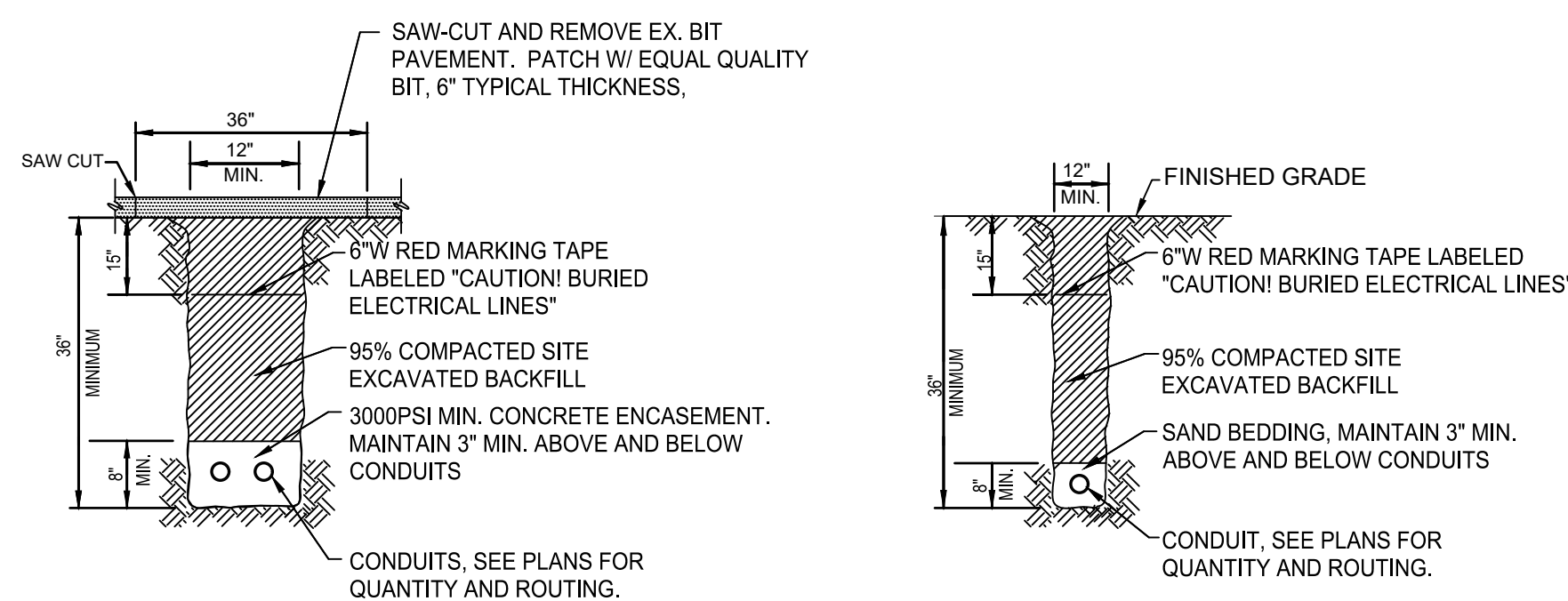
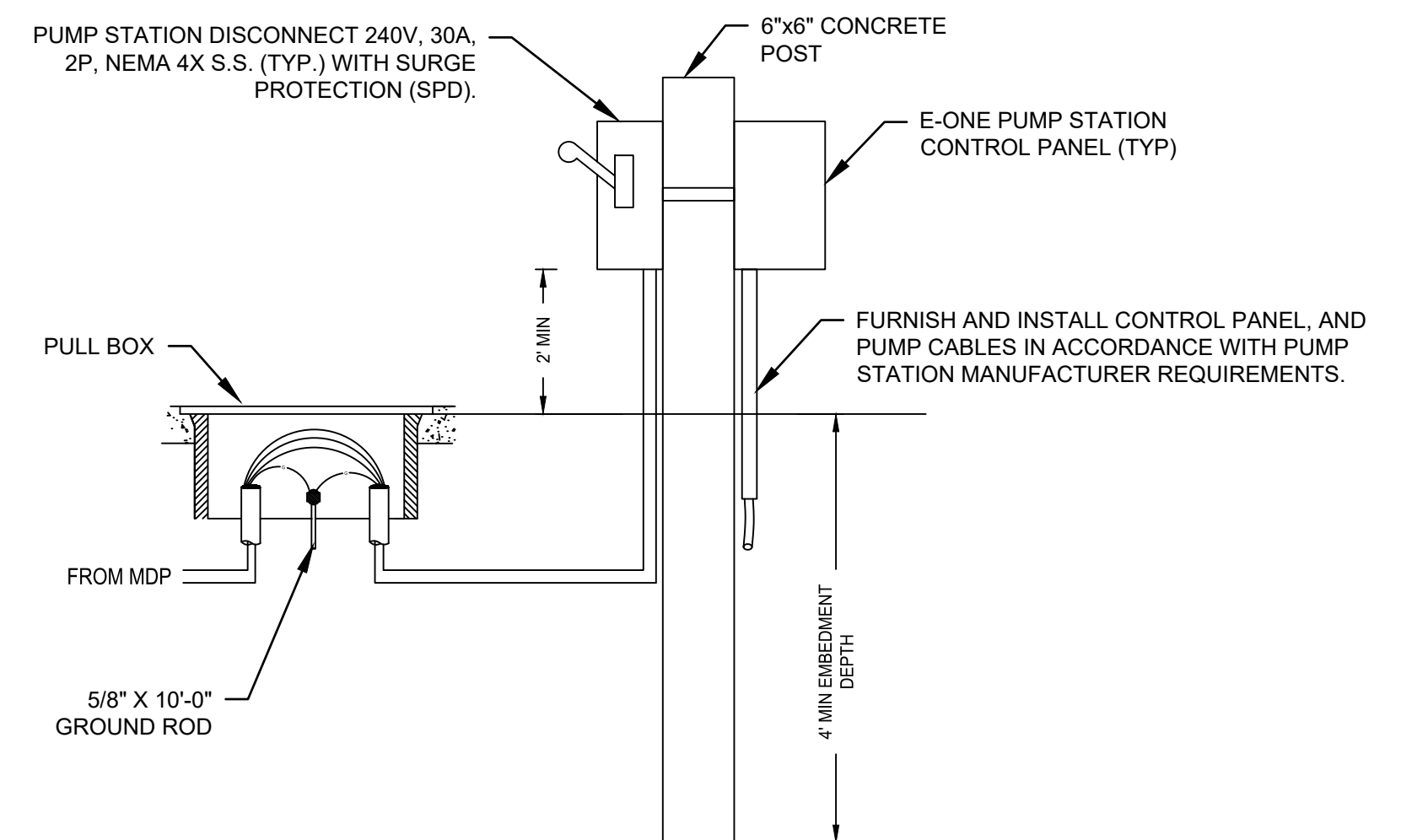
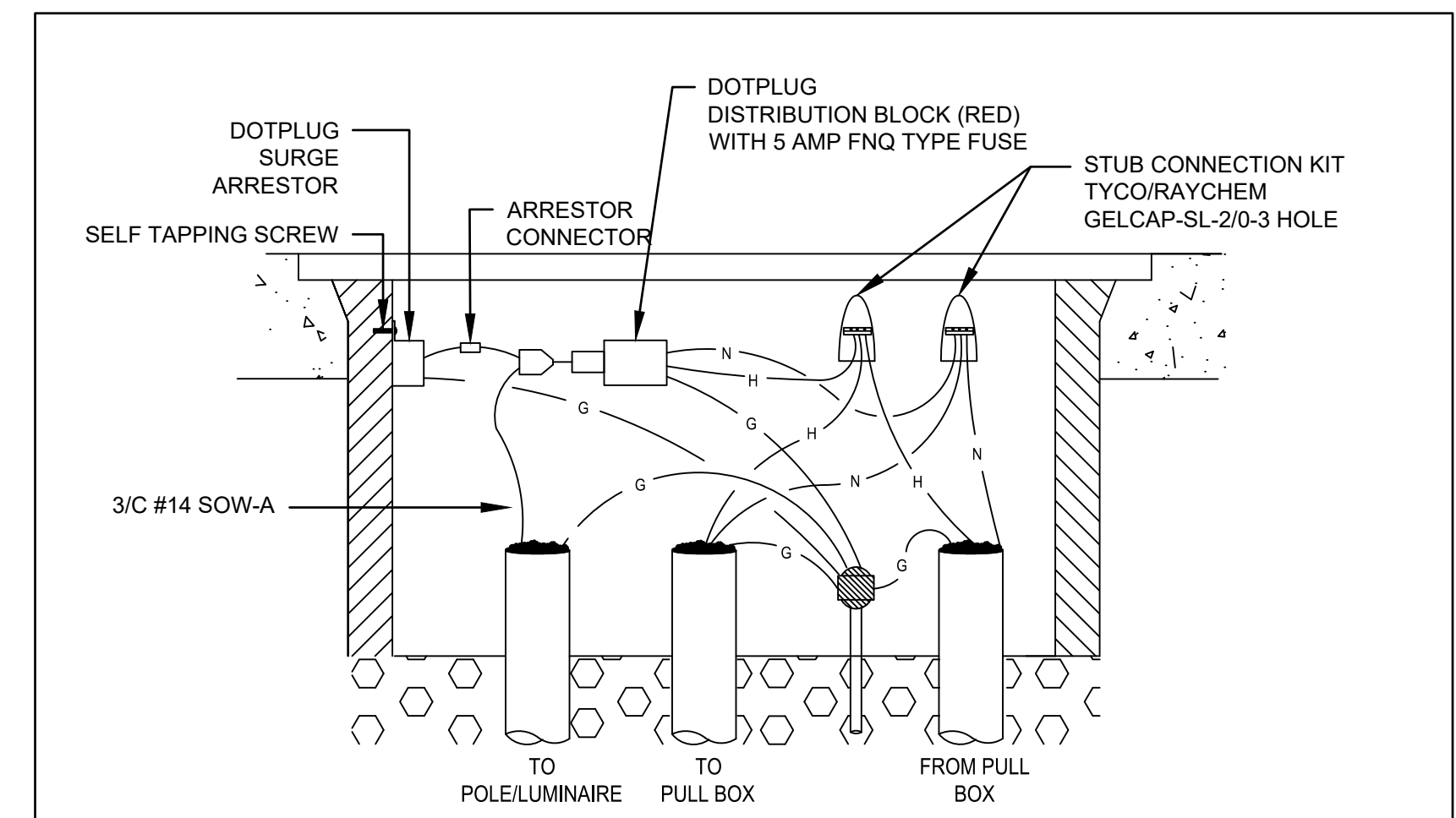
- NOTES:**
1. PROVIDE SHOP DRAWINGS SEALED BY A STRUCTURAL PROFESSIONAL ENGINEER LICENSED IN FLORIDA FOR THE LIGHT POLE BASE. THE POLE BASE IS NOT IN THE SCOPE OF EXPERTISE OF THE ELECTRICAL ENGINEER SEALING THIS DRAWING.
 2. MOUNT RECEPTACLES 8' ABOVE GRADE. RECEPTACLES SHALL BE GFI PROTECTED, RATED FOR WET LOCATIONS, AND HAVE CAST ALUMINUM WEATHERPROOF WHILE-IN-USE COVERS.
 3. POLES, BRACKET ARMS, AND BASES SHALL BE ALUMINUM AND DESIGNED IN ACCORDANCE WITH LOCAL DESIGN CRITERIA USING THE APPLICABLE EDITIONS FOUND IN THE AASHTO PUBLICATION "STANDARD SPECIFICATIONS FOR HIGHWAY, SIGNS, LUMINAIRES, AND TRAFFIC SIGNALS," CURRENT EDITION.



- NOTES:**
1. ALL STREET LIGHT PULLBOXES SHALL HAVE AN OPEN-BOTTOM, QUAZITE POLYMER CONCRETE DESIGN WITH A MINIMUM COMPRESSIVE STRENGTH OF 2,500 PSI AT TWENTY EIGHT (28) DAYS. POLYMER CONCRETE PULLBOX SHALL BE QUAZITE PRODUCT NO. PG1324BA12 OR APPROVED EQUIVALENT.
 2. ALL PULLBOX COVERS FURNISHED AND INSTALLED SHALL BE POLYMER CONCRETE QUAZITE PRODUCT NO. PG1324HH00 TIER 22, OR APPROVED EQUIVALENT. PULLBOX COVERS SHALL BE MARKED "LIGHTING".
 3. PULL BOXES, JUNCTION BOXES, AND ALL ELECTRICAL WORK MUST CONFORM TO N.E.C. (LATEST REQUIREMENTS).



- NOTES:**
1. ALL CONDUIT TRENCHING MUST BE PROPERLY BACKFILLED TO PROVIDE SAFE CROSSING AT THE END OF EACH WORK DAY OR WHENEVER THE DEVICE SUPPORT IN PULL BOXES: THE PREFERRED METHOD OF ATTACHMENT OF LIGHTNING ARRESTERS AND OTHER DEVICES LIKELY TO BE SUPPORTED IN PULL BOXES IS BY MEANS OF A SELF-TAPPING SCREW OR BY A MASONRY SCREW. CARE SHOULD BE EXERCISED WHEN UTILIZING THIS METHOD NOT TO BREAK THE SUPPORTING TABS. SCREWS SHOULD BE FIRM BUT NOT SNUG AGAINST THE SUPPORTING TABS. OTHER APPROVED AND LISTED METHODS MAY BE USED, IF THEY ARE FOUND SUITABLE FOR THE CONDITIONS. (LIGHTNING ARRESTERS MUST BE INSTALLED BY THE PROVISIONS OF ARTICLE 280 OF NFPA 70 NATIONAL ELECTRICAL CODE). PROVISION MUST BE MADE TO CONNECT THESE LEADS TO THE CIRCUIT WIRING. SURGE CAPACITOR INSTALLED ON THE LINE SIDE OF THE SWITCH AND SURGE ARRESTOR ON THE LOAD SIDE. NO SPLICING OR EXTENSION, OR UNNECESSARY WIRE BENDING WILL BE ALLOWED.
 2. ACCEPTABLE SPLICING DEVICE IS THE MOLDED SPLICER KIT TYCO-RAYCHEM CATALOG # GELCAP-SL-2/0-3 HOLE OR APPROVED EQUAL. WHERE CONVENTIONAL WIRING SYSTEMS ARE EMPLOYED, CONDUCTORS SHALL BE SO ROUTED AND COORDINATED AS TO TERMINATE ON THE LINE SIDE OF THE FUSE HOLDERS (BUSSMAN), PULL BOXES CONTAINING # 4 AWG OR LARGER CONDUCTORS CONTAINING SPLICES OR U PULLS, THE DISTANCE BETWEEN RACEWAYS SHALL BE INCREASED SIX TIMES THE TRADE SIZE DIAMETER OF THE LARGEST RACEWAY.
 3. THE WIRES AT THE POLE, HANDHOLE, AND PULL BOXES SHALL BE LOOPED WITH SUFFICIENT LENGTH TO COMPLETELY REMOVE CONNECTORS TO THE OUTSIDE, TO MAKE THEM ACCESSIBLE FOR CHANGING FUSES AND TROUBLE SHOOTING THE SYSTEM.



- NOTES:**
1. ALL CONDUIT TRENCHING MUST BE PROPERLY BACKFILLED TO PROVIDE SAFE CROSSING AT THE END OF EACH WORK DAY OR WHENEVER THE WORK ONE BECOMES INACTIVE.
 2. USE CONDUIT SPACERS MINIMUM EVERY 8 FEET WHERE MULTIPLE CONDUITS ARE RUN IN SAME TRENCH.

[illegible]

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_E_501.DWG	##	###	###	2020-10-30
	Dwn.	Chkd.	Desn.	YYYY.MM.DD

##	###	###	2020-10-30
Dwn.	Chkd.	Dscr.	YYYY.MM.DD

ELECTRICAL DETAILS

Project No. 215615771	Scale	
Drawing No. E-501	Sheet E-117 of 152	Revision

$\frac{1}{2}$ --- $\frac{1}{2}$ PVC SCHEDULE 40 CONDUIT. REFER TO PLANS FOR
SIZING.

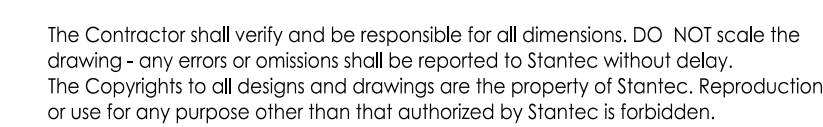
- ① PROVIDE OVERSIZED NEUTRAL IF REQUIRED BY LOAD.
- ② NUMBER & SIZE OF BRANCH CIRCUITS, CONDUITS AND CONDUCTORS SHALL BE BASED ON ACTUAL JOB CONDITIONS. REFER TO POWER DISTRIBUTION AND VOLTAGE DROP SCHEDULE.
- ③ METER & POWER DISTRIBUTION PANEL SHALL BE APPROVED BY FP&L AND INCLUDE THE METER SOCKET, SERVICE DISCONNECT BREAKER, ALL BRANCH CIRCUITS, SPD, CONTROL POWER TRANSFORMER, ALL CONTROLS FOR LIGHTING INCLUDING PHOTOCELL AND CONTACTOR, AND HAND-OFF-AUTO CONTROL MOUNTED INTERNALLY. THE OUTER DOOR SHALL BE LOCKABLE AND INCLUDE LOCK (PADLOCK OR DOOR LOCK) AND TWO KEYS TO BE PROVIDED TO THE OWNER. THE COLOR SHALL BE SUBMITTED TO THE OWNER FOR APPROVAL.
- ④ THE NEUTRAL TO GROUND BOND AND THE BOND TO THE GROUNDING ELECTRODE SHALL BE #2 AWG CU FOR ALL MDPs UNLESS NOTED OTHERWISE.



1. LIGHTNING SURGE PROTECTOR SHALL BE WIRED INSIDE THE METER AND POWER DISTRIBUTION PEDESTAL ENCLOSURE. A MAIN BREAKER IS REQUIRED IN ALL SERVICE PANELS.
2. ALL ELECTRICAL EQUIPMENT SHALL BE U.L. APPROVED.
3. BUS BAR TO BE COPPER COATED AND HAVE A MINIMUM RATING OF 100 AMPS WHEN MAIN BREAKER EXCEEDS 100 AMPS. BUSBAR TO MATCH BREAKER AMPERAGE.
4. LOCATE CONTACTOR, TRANSFORMER AND H.O.A. SWITCH INSIDE ENCLOSURE. THE ENCLOSURE TO BE SIZED TO ACCOMMODATE AS MANY BREAKERS AS CALLED FOR AND ALL OTHER SERVICE EQUIPMENT.
5. METER INSTALLATION CONNECTION AND ALL WORK RELATED TO ELECTRICAL POWER SERVICE SHALL BE COORDINATED WITH UTILITY REPRESENTATIVE. EXACT LOCATION EQUIPMENTS DIMENSION AND FOUNDATION. ELECTRICAL CONTRACTOR TO VERIFY AND PROVIDE EQUIPMENT GROUNDING. CONDUCTOR AS PER NEC 250.
6. ALL EXPOSED METAL PARTS ARE TO BE BONDED TO THE GROUND ROD.
7. ALL NEW ELECTRICAL EQUIPMENT LOCATION AND INSTALLATION SHALL CONFORM TO N.E.C. FOR DEDICATED CLEARANCES SPACE AND GROUNDING REQUIREMENTS.
8. THE AVAILABLE FAULT CURRENT FROM THE UTILITY POWER COMPANY IS TO BE VERIFIED FOR PROPER SCOR. RATING OF ELECTRICAL SERVICE EQUIPMENT AND PANELS. SHOP DWG SUBMITTAL TO INCLUDE SCOR. RATING AND LETTER FROM THE UTILITY POWER COMPANY, STATING THE AVAILABLE FAULT.
9. CONTRACTOR SHALL COORDINATE WITH F.P.L. ENGINEERS FOR THE INSTALLATION OF THE F.P.L. RISER.
10. ALL GROUND RODS SHALL BE INTERCONNECTED.
11. ALL GROUNDING EQUIPMENT GROUNDING CONDUCTOR AND SUPPLEMENTARY GROUND-ELECTRODE. SPACE AT LEAST 6FT (AS PER NEC-250).
12. ALL CONDUCTORS SHALL BE TYPE XHHW-2. (OTHER TYPE OF CONDUCTOR IS NOT ALLOWED. EXCEPT GROUND WIRE WHICH SHALL BE TYPE THW OR THWN.)

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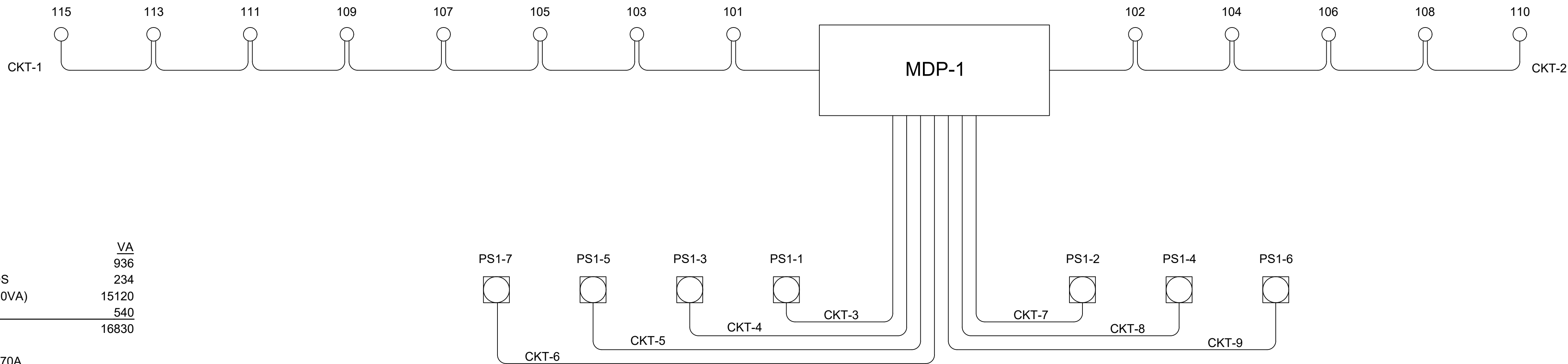
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File Name: 15771_E_502.DWG

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# #	# # #	# # #	2020-12-07
Dwn.	Chkd.	Dsgn.	YYY.MM.DD

Project No. 215615771	Scale	
Drawing No. E-502	Sheet E-118 of 152	Revision



DESCRIPTION	VA
LIGHTING (13@72VA)	936
25% CONTINUOUS LOADS	234
PUMP STATIONS (7@2160VA)	15120
25% LARGEST MOTOR	540
TOTAL	16830

AMPS@240V = 70A

MDP-1 LOAD CALCULATION

TYPE: UL67		PANEL "MDP-1" SCHEDULE		MODIFICATION: NONE	
VOLTAGE: 120/240V-1PH-3W				ENCLOSURE: NEMA 4X	
MAINS: 200A. M.B.				LOCATION: SEE SITE PLAN	
A.I.C.S.: 65 KAIC				FED FROM: FP&L	
CIRC. No.	SERVICING	CIRCUIT BREAKER			
		POLE	TRIP	NOTES	
1	LIGHTING	2	20A		
2	LIGHTING	2	20A		
3	PS1-1	2	30A	FINAL SIZE PER MFR.	
4	PS1-3	2	30A	FINAL SIZE PER MFR.	
5	PS1-5	2	30A	FINAL SIZE PER MFR.	
6	PS1-2	2	30A	FINAL SIZE PER MFR.	
7	PS1-4	2	30A	FINAL SIZE PER MFR.	
8	PS1-6	2	30A	FINAL SIZE PER MFR.	
9	PS1-8	2	30A	FINAL SIZE PER MFR.	
10	SPACE	-	-		
11	SPACE	-	-		
THIS PANEL IS SUITABLE FOR SERVICE ENTRANCE AND EQUIPPED WITH INTEGRAL MAIN CIRCUIT BREAKER. THIS MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.					

MDP-1 VOLTAGE DROP CALCULATION															
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY	
SERVICE	MDP-5	50	3/0	2	167	62	0.000875	0	0.0088	66.4	1.16	1.16	0.484%	3#3/0 IN 2"C	
MDP-1, CKT-1	101	50	6	2	167	62	0.000463	0.3	0.0463	2.1	0.10	1.26	0.524%	2#6 + 1#6G IN 2"C	
101	103	120	6	2	167	62	0.000463	0.3	0.1111	1.8	0.20	1.46	0.607%	2#6 + 1#6G IN 2"C	
103	105	120	6	2	167	62	0.000463	0.3	0.1111	1.6	0.17	1.63	0.679%	2#6 + 1#6G IN 2"C	
105	107	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	1.75	0.729%	2#6 + 1#6G IN 2"C	
107	109	140	6	2	167	62	0.000463	0.3	0.1296	1.0	0.13	1.88	0.785%	2#6 + 1#6G IN 2"C	
109	111	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.96	0.818%	2#6 + 1#6G IN 2"C	
111	113	120	6	2	167	62	0.000463	0.3	0.1111	0.5	0.06	2.02	0.842%	2#6 + 1#6G IN 2"C	
113	115	110	6	2	167	62	0.000463	0.3	0.1019	0.3	0.03	2.05	0.853%	2#6 + 1#6G IN 2"C	
MDP-1, CKT-2	102	120	6	2	167	62	0.000463	0.3	0.1111	1.3	0.14	1.30	0.544%	2#6 + 1#6G IN 2"C	
102	104	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	1.41	0.588%	2#6 + 1#6G IN 2"C	
104	106	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.49	0.620%	2#6 + 1#6G IN 2"C	
106	108	110	6	2	167	62	0.000463	0.3	0.1019	0.5	0.05	1.54	0.642%	2#6 + 1#6G IN 2"C	
108	110	110	6	2	167	62	0.000463	0.3	0.1019	0.3	0.03	1.57	0.653%	2#6 + 1#6G IN 2"C	
MDP-1, CKT-3	PS1-1	50	6	2	167	2160	0.000463	9.0	0.0463	9.0	0.42	1.58	0.657%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-4	PS1-3	260	6	2	167	2160	0.000463	9.0	0.2408	9.0	2.17	3.33	1.387%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-5	PS1-5	460	6	2	167	2160	0.000463	9.0	0.4260	9.0	3.83	4.99	2.081%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-6	PS1-2	800	6	2	167	2160	0.000463	9.0	0.7408	9.0	6.67	7.83	3.262%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-7	PS1-4	170	6	2	167	2160	0.000463	9.0	0.1574	9.0	1.42	2.58	1.074%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-8	PS1-6	380	6	2	167	2160	0.000463	9.0	0.3519	9.0	3.17	4.33	1.803%	3#6 + 1#6G IN 2"C	
MDP-1, CKT-9	PS1-8	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	4.49	1.873%	3#6 + 1#6G IN 2"C	

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_E_601.DWG

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2020-12-07

Dwn.

Chkd.

Dsgn.

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RISER DIAGRAM

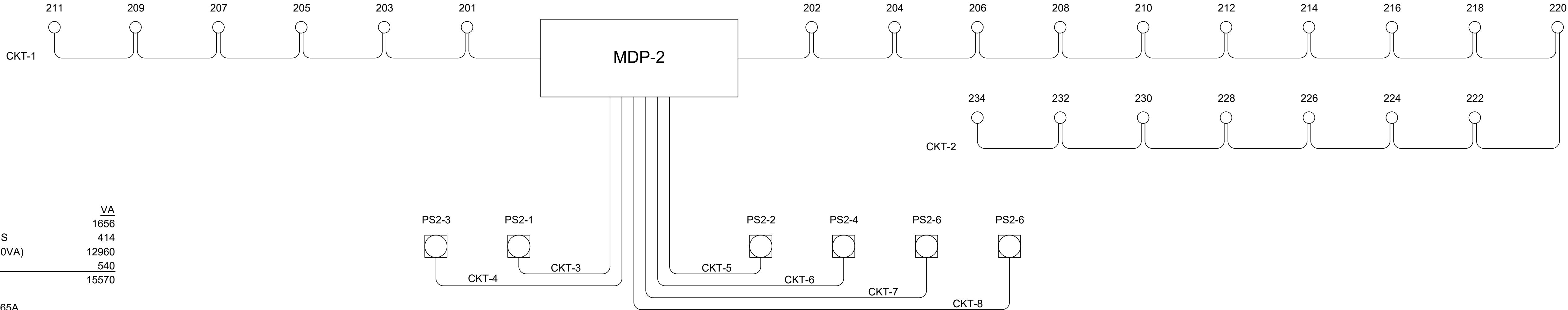
Project No. 215615771

Drawing No. E-601

Scale

Sheet E-119 of 152

Revision



DESCRIPTION	VA
LIGHTING (23@72VA)	1656
25% CONTINUOUS LOADS	414
PUMP STATIONS (6@2160VA)	12960
25% LARGEST MOTOR	540
TOTAL	15570

AMPS@240V = 65A

MDP-2 LOAD CALCULATION

TYPE: UL67		PANEL "MDP-2" SCHEDULE		MODIFICATION: NONE
VOLTAGE: 120/240V-1PH-3W				ENCLOSURE: NEMA 4X
MAINS: 200A. M.B.				LOCATION: SEE SITE PLAN
A.I.C.S.: 65 KAIC				FED FROM: FP&L
CIRC. No.	SERVICING	CIRCUIT BREAKER		
		POLE	TRIP	NOTES
1	LIGHTING	2	20A	
2	LIGHTING	2	20A	
3	PS2-1	2	30A	FINAL SIZE PER MFGR.
4	PS2-3	2	30A	FINAL SIZE PER MFGR.
5	PS2-5	2	30A	FINAL SIZE PER MFGR.
6	PS2-2	2	30A	FINAL SIZE PER MFGR.
7	PS2-4	2	30A	FINAL SIZE PER MFGR.
8	PS2-6	2	30A	FINAL SIZE PER MFGR.
9	SPACE	-	-	
10	SPACE	-	-	
THIS PANEL IS SUITABLE FOR SERVICE ENTRANCE AND EQUIPPED WITH INTEGRAL MAIN CIRCUIT BREAKER. THIS MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.				

MDP-2 VOLTAGE DROP CALCULATION														
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY
SERVICE	MDP-5	50	3/0	2	167	62	0.000875	0	0.0088	59.9	1.05	1.05	0.437%	3#3/0 IN 2"C
MDP-2, CKT-1	201	40	6	2	167	62	0.000463	0.3	0.0370	1.6	0.06	1.11	0.461%	2#6 + 1#6G IN 2"C
201	203	110	6	2	167	62	0.000463	0.3	0.1019	1.3	0.13	1.24	0.516%	2#6 + 1#6G IN 2"C
203	205	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	1.34	0.560%	2#6 + 1#6G IN 2"C
205	207	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.42	0.593%	2#6 + 1#6G IN 2"C
207	209	140	6	2	167	62	0.000463	0.3	0.1296	0.5	0.07	1.49	0.620%	2#6 + 1#6G IN 2"C
209	211	80	6	2	167	62	0.000463	0.3	0.0741	0.3	0.02	1.51	0.628%	2#6 + 1#6G IN 2"C
MDP-2, CKT-2	202	120	6	2	167	62	0.000463	0.3	0.1111	4.4	0.49	1.54	0.640%	2#6 + 1#6G IN 2"C
202	204	110	6	2	167	62	0.000463	0.3	0.1019	4.1	0.42	1.96	0.816%	2#6 + 1#6G IN 2"C
204	206	110	6	2	167	62	0.000463	0.3	0.1019	3.9	0.39	2.35	0.950%	2#6 + 1#6G IN 2"C
206	208	110	6	2	167	62	0.000463	0.3	0.1019	3.6	0.37	2.72	1.134%	2#6 + 1#6G IN 2"C
208	210	100	6	2	167	62	0.000463	0.3	0.0926	3.4	0.31	3.03	1.263%	2#6 + 1#6G IN 2"C
210	212	130	6	2	167	62	0.000463	0.3	0.1204	3.1	0.37	3.41	1.419%	2#6 + 1#6G IN 2"C
212	214	130	6	2	167	62	0.000463	0.3	0.1204	2.8	0.34	3.75	1.561%	2#6 + 1#6G IN 2"C
214	216	170	6	2	167	62	0.000463	0.3	0.1574	2.6	0.41	4.15	1.731%	2#6 + 1#6G IN 2"C
216	218	110	6	2	167	62	0.000463	0.3	0.1019	2.3	0.24	4.39	1.830%	2#6 + 1#6G IN 2"C
218	220	80	6	2	167	62	0.000463	0.3	0.0741	2.1	0.15	4.54	1.893%	2#6 + 1#6G IN 2"C
220	222	90	6	2	167	62	0.000463	0.3	0.0833	1.8	0.15	4.69	1.956%	2#6 + 1#6G IN 2"C
222	224	100	6	2	167	62	0.000463	0.3	0.0926	1.6	0.14	4.84	2.016%	2#6 + 1#6G IN 2"C
224	226	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	4.96	2.066%	2#6 + 1#6G IN 2"C
226	228	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	5.05	2.106%	2#6 + 1#6G IN 2"C
228	230	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	5.13	2.139%	2#6 + 1#6G IN 2"C
230	232	90	6	2	167	62	0.000463	0.3	0.0833	0.5	0.04	5.18	2.156%	2#6 + 1#6G IN 2"C
232	234	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	5.20	2.166%	2#6 + 1#6G IN 2"C
MDP-2, CKT-3	PS2-1	140	6	2	167	2160	0.000463	9.0	1.1296	9.0	1.17	2.22	0.923%	3#6 + 1#6G IN 2"C
MDP-2, CKT-4	PS2-3	520	6	2	167	2160	0.000463	9.0	0.4815	9.0	4.33	5.38	2.243%	3#6 + 1#6G IN 2"C
MDP-2, CKT-5	PS2-5	90	6	2	167	2160	0.000463	9.0	0.0833	9.0	0.75	1.80	0.750%	3#6 + 1#6G IN 2"C
MDP-2, CKT-6	PS2-2	290	6	2	167	2160	0.000463	9.0	0.2685	9.0	2.42	3.47	1.444%	3#6 + 1#6G IN 2"C
MDP-2, CKT-7	PS2-4	480	6	2	167	2160	0.000463	9.0	0.4445	9.0	4.00	5.05	2.104%	3#6 + 1#6G IN 2"C
MDP-2, CKT-8	PS2-6	740	6	2	167	2160	0.000463	9.0	0.6852	9.0	6.17	7.22	3.007%	3#6 + 1#6G IN 2"C

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771_E_601.DWG

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2020-12-07

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RISER DIAGRAM

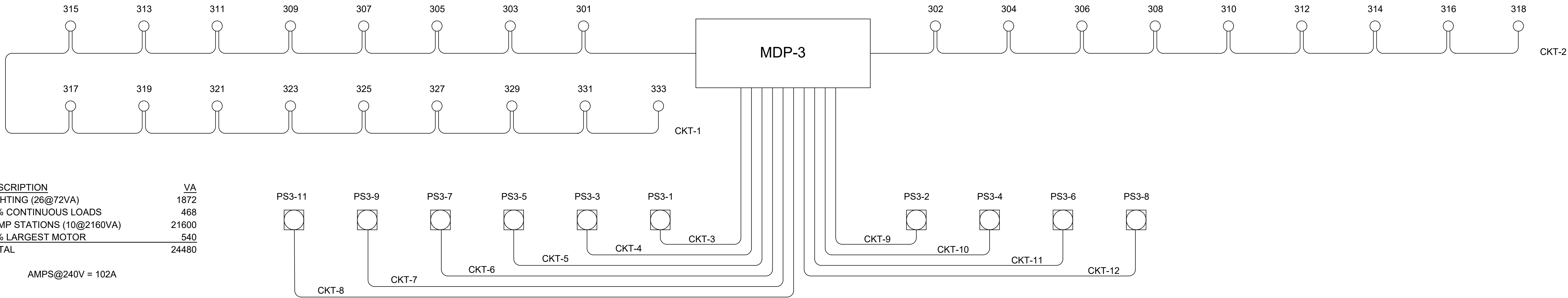
Project No.
215615771

Drawing No.
E-602

Scale

Sheet
E-120 of 152

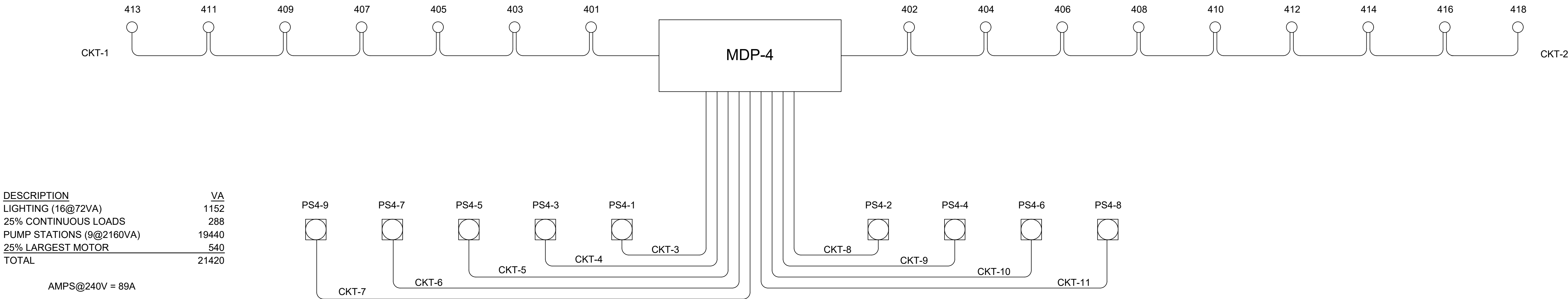
Revision



MDP-3 LOAD CALCULATION

TYPE: UL67		PANEL "MDP-3" SCHEDULE		MODIFICATION: NONE
VOLTAGE: 120/240V-1PH-3W				ENCLOSURE: NEMA 4X
MAINS: 200A, M.B.				LOCATION: SEE SITE PLAN
A.I.C.S.: 65 KAIC				FED FROM: FP&L
CIRC. No.	SERVICING	CIRCUIT BREAKER		
		POLE	TRIP	NOTES
1	LIGHTING	2	20A	
2	LIGHTING	2	20A	
3	PS3-1	2	30A	FINAL SIZE PER MFGR.
4	PS3-3	2	30A	FINAL SIZE PER MFGR.
5	PS3-5	2	30A	FINAL SIZE PER MFGR.
6	PS3-7	2	30A	FINAL SIZE PER MFGR.
7	PS3-9	2	30A	FINAL SIZE PER MFGR.
8	PS3-11	2	30A	FINAL SIZE PER MFGR.
9	PS3-2	2	30A	FINAL SIZE PER MFGR.
10	PS3-4	2	30A	FINAL SIZE PER MFGR.
11	PS3-6	2	30A	FINAL SIZE PER MFGR.
12	PS3-8	2	30A	FINAL SIZE PER MFGR.
13	SPACE	-	-	
THIS PANEL IS SUITABLE FOR SERVICE ENTRANCE AND EQUIPPED WITH INTEGRAL MAIN CIRCUIT BREAKER. THIS MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.				

MDP-3 VOLTAGE DROP CALCULATION														
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	96.7	1.69	1.69	0.705%	3#3/0 IN 2"C
MDP-3, CKT-1	301	40	6	2	167	62	0.000463	0.3	0.0370	4.4	0.16	1.86	0.773%	2#6 + 1#6G IN 2"C
301	303	90	6	2	167	62	0.000463	0.3	0.0833	4.1	0.34	2.20	0.917%	2#6 + 1#6G IN 2"C
303	305	110	6	2	167	62	0.000463	0.3	0.1019	3.9	0.39	2.59	1.081%	2#6 + 1#6G IN 2"C
305	307	100	6	2	167	62	0.000463	0.3	0.0926	3.6	0.33	2.93	1.221%	2#6 + 1#6G IN 2"C
307	309	70	6	2	167	62	0.000463	0.3	0.0648	3.4	0.22	3.15	1.311%	2#6 + 1#6G IN 2"C
309	311	90	6	2	167	62	0.000463	0.3	0.0833	3.1	0.26	3.41	1.419%	2#6 + 1#6G IN 2"C
311	313	70	6	2	167	62	0.000463	0.3	0.0648	2.8	0.18	3.59	1.496%	2#6 + 1#6G IN 2"C
313	315	80	6	2	167	62	0.000463	0.3	0.0741	2.6	0.19	3.78	1.575%	2#6 + 1#6G IN 2"C
315	317	80	6	2	167	62	0.000463	0.3	0.0741	2.3	0.17	3.95	1.647%	2#6 + 1#6G IN 2"C
317	319	80	6	2	167	62	0.000463	0.3	0.0741	2.1	0.15	4.11	1.711%	2#6 + 1#6G IN 2"C
319	321	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	4.24	1.767%	2#6 + 1#6G IN 2"C
321	323	100	6	2	167	62	0.000463	0.3	0.0926	1.6	0.14	4.38	1.827%	2#6 + 1#6G IN 2"C
323	325	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	4.50	1.876%	2#6 + 1#6G IN 2"C
325	327	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	4.60	1.916%	2#6 + 1#6G IN 2"C
327	329	100	6	2	167	62	0.000463	0.3	0.0926	0.8	0.07	4.67	1.946%	2#6 + 1#6G IN 2"C
329	331	100	6	2	167	62	0.000463	0.3	0.0926	0.5	0.05	4.72	1.966%	2#6 + 1#6G IN 2"C
331	333	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	4.74	1.976%	2#6 + 1#6G IN 2"C
MDP-3, CKT-2	302	100	6	2	167	62	0.000463	0.3	0.0926	2.3	0.22	1.91	0.795%	2#6 + 1#6G IN 2"C
302	304	100	6	2	167	62	0.000463	0.3	0.0926	2.1	0.19	2.10	0.875%	2#6 + 1#6G IN 2"C
304	306	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	2.23	0.930%	2#6 + 1#6G IN 2"C
306	308	150	6	2	167	62	0.000463	0.3	0.1389	1.6	0.22	2.45	1.020%	2#6 + 1#6G IN 2"C
308	310	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	2.57	1.070%	2#6 + 1#6G IN 2"C
310	312	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	2.66	1.110%	2#6 + 1#6G IN 2"C
312	314	190	6	2	167	62	0.000463	0.3	0.1759	0.8	0.14	2.80	1.167%	2#6 + 1#6G IN 2"C
314	316	110	6	2	167	62	0.000463	0.3	0.1019	0.5	0.05	2.85	1.189%	2#6 + 1#6G IN 2"C
316	318	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	2.88	1.199%	2#6 + 1#6G IN 2"C
MDP-3, CKT-3	PS3-1	40	6	2	167	2160	0.000463	9.0	0.0370	9.0	0.33	2.03	0.844%	3#6 + 1#6G IN 2"C
MDP-3, CKT-4	PS3-3	230	6	2	167	2160	0.000463	9.0	0.2130	9.0	1.92	3.61	1.504%	3#6 + 1#6G IN 2"C
MDP-3, CKT-5	PS3-5	510	6	2	167	2160	0.000463	9.0	0.4723	9.0	4.25	5.94	2.476%	3#6 + 1#6G IN 2"C
MDP-3, CKT-6	PS3-7	550	6	2	167	2160	0.000463	9.0	0.5093	9.0	4.58	6.28	2.615%	3#6 + 1#6G IN 2"C
MDP-3, CKT-7	PS3-9	850	6	2	167	2160	0.000463	9.0	0.7871	9.0	7.08	8.78	3.657%	3#6 + 1#6G IN 2"C
MDP-3, CKT-8	PS3-11	1050	2	2	167	2160	0.000191	9.0	0.4001	18.0	7.20	8.89	3.706%	3#2 + 1#2G IN 2"C
MDP-3, CKT-9	PS3-2	200	6	2	167	2160	0.000463	9.0	0.1852	9.0	1.67	3.36	1.400%	3#6 + 1#6G IN 2"C
MDP-3, CKT-10	PS3-4	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	5.03	2.094%	3#6 + 1#6G IN 2"C
MDP-3, CKT-11	PS3-6	600	6	2	167	2160	0.000463	9.0	0.5556	9.0	5.00	6.69	2.789%	3#6 + 1#6G IN 2"C
MDP-3, CKT-12	PS3-8	800	6	2	167	2160	0.000463	9.0	0.7408	9.0	6.67	8.36	3.483%	3#6 + 1#6G IN 2"C



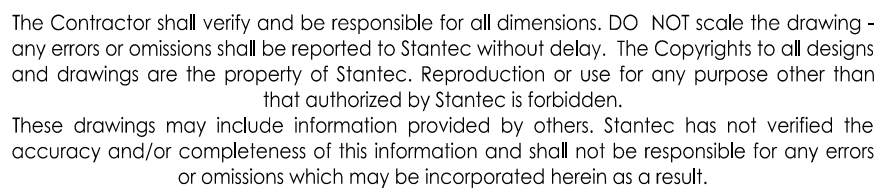
TYPE: UL67		PANEL "MDP-4" SCHEDULE		MODIFICATION: NONE	
VOLTAGE: 120/240V-1PH-4W				ENCLOSURE: NEMA 4X	
MAINS: 200A, M.B.				LOCATION: SEE SITE PLAN	
A.I.C.S.: 65 KAIC				FED FROM: FP&L	
CIRC. No.	SERVICING	CIRCUIT BREAKER			
		POLE	TRIP	NOTES	
1	LIGHTING	2	20A		
2	LIGHTING	2	20A		
4	PS4-1	2	30A	FINAL SIZE PER MFGR.	
4	PS4-3	2	30A	FINAL SIZE PER MFGR.	
5	PS4-5	2	30A	FINAL SIZE PER MFGR.	
6	PS4-7	2	30A	FINAL SIZE PER MFGR.	
7	PS4-9	2	30A	FINAL SIZE PER MFGR.	
8	PS4-2	2	30A	FINAL SIZE PER MFGR.	
9	PS4-4	2	30A	FINAL SIZE PER MFGR.	
10	PS4-6	2	30A	FINAL SIZE PER MFGR.	
11	PS4-8	2	30A	FINAL SIZE PER MFGR.	
12	SPACE	-	-		
14	SPACE	-	-		
THIS PANEL IS SUITABLE FOR SERVICE ENTRANCE AND EQUIPPED WITH INTEGRAL MAIN CIRCUIT BREAKER. THIS MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.					

MDP-4 VOLTAGE DROP CALCULATION															
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY	
SERVICE	MDP-5	50	3/0	2	167	62	0.000875	0	0.0088	85.1	1.49	1.49	0.621%	3#3/0 IN 2"C	
MDP-4, CKT-1	401	40	6	2	167	62	0.000463	0.3	0.0370	1.8	0.07	1.56	0.649%	2#6 + 1#6G IN 2"C	
401	403	80	6	2	167	62	0.000463	0.3	0.0741	1.6	0.11	1.67	0.697%	2#6 + 1#6G IN 2"C	
403	405	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	1.79	0.746%	2#6 + 1#6G IN 2"C	
405	407	130	6	2	167	62	0.000463	0.3	0.1204	1.0	0.12	1.92	0.798%	2#6 + 1#6G IN 2"C	
407	409	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.99	0.831%	2#6 + 1#6G IN 2"C	
409	411	80	6	2	167	62	0.000463	0.3	0.0741	0.5	0.04	2.03	0.847%	2#6 + 1#6G IN 2"C	
411	413	130	6	2	167	62	0.000463	0.3	0.1204	0.3	0.03	2.06	0.860%	2#6 + 1#6G IN 2"C	
MDP-4, CKT-2	402	100	6	2	167	62	0.000463	0.3	0.0926	2.3	0.22	1.71	0.710%	2#6 + 1#6G IN 2"C	
402	404	110	6	2	167	62	0.000463	0.3	0.1019	2.1	0.21	1.92	0.798%	2#6 + 1#6G IN 2"C	
404	406	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	2.05	0.854%	2#6 + 1#6G IN 2"C	
406	408	130	6	2	167	62	0.000463	0.3	0.1204	1.6	0.19	2.24	0.932%	2#6 + 1#6G IN 2"C	
408	410	90	6	2	167	62	0.000463	0.3	0.0833	1.3	0.11	2.34	0.977%	2#6 + 1#6G IN 2"C	
410	412	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	2.45	1.020%	2#6 + 1#6G IN 2"C	
412	414	120	6	2	167	62	0.000463	0.3	0.1111	0.8	0.09	2.54	1.056%	2#6 + 1#6G IN 2"C	
414	416	70	6	2	167	62	0.000463	0.3	0.0648	0.5	0.03	2.57	1.070%	2#6 + 1#6G IN 2"C	
416	418	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	2.59	1.080%	2#6 + 1#6G IN 2"C	
MDP-4, CKT-3	PS4-1	40	6	2	167	2160	0.000463	9.0	0.0370	9.0	0.33	1.82	0.760%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-4	PS4-3	240	6	2	167	2160	0.000463	9.0	0.2222	9.0	2.00	3.49	1.454%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-5	PS4-5	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	4.82	2.010%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-6	PS4-7	750	6	2	167	2160	0.000463	9.0	0.6945	9.0	6.25	7.74	3.225%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-7	PS4-9	780	6	2	167	2160	0.000463	9.0	0.7223	9.0	6.50	7.99	3.329%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-8	PS4-2	150	6	2	167	2160	0.000463	9.0	0.1389	9.0	1.25	2.74	1.142%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-9	PS4-4	370	6	2	167	2160	0.000463	9.0	0.3426	9.0	3.08	4.57	1.906%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-10	PS4-6	550	6	2	167	2160	0.000463	9.0	0.5093	9.0	4.58	6.07	2.531%	3#6 + 1#6G IN 2"C	
MDP-4, CKT-11	PS4-8	780	6	2	167	2160	0.000463	9.0	0.7223	9.0	6.50	7.99	3.329%	3#6 + 1#6G IN 2"C	

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NAPLES, FLORIDA, 34108



Drawing Submittal Log and Sheet Index

Scale
N/A

Sheet
L0001

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PALM SCHEDULE							
IDNUM	Species	Condition	Disposition	Notes	Height_OA	Height_CT	Height_GW
260	Sabal Palm Smooth Trunk	Poor				20	
261	Florida Royal Palm	Good					35
262	Florida Royal Palm	Good					35
263	Florida Royal Palm	Good					35
264	Florida Royal Palm	Good					35
265	Florida Royal Palm	Good					35
266	Florida Royal Palm	Good					35
267	Other Palm	Good		Reclinata triple			16
268	Sabal Palm Smooth Trunk	Good				22	
269	Florida Royal Palm	Good					35
270	Florida Royal Palm	Good					35
271	Florida Royal Palm	Good					35
272	Florida Royal Palm	Good					35
273	Other Palm	Good		Foxtail triple			12
274	Other Palm	Good		Reclinata triple			10
275	Other Palm	Good		Foxtail double			18
276	Other Palm	Good		Date palm			18
277	Sabal Palm Booted	Good				9	
278	Other Palm	Good		Date palm			18
279	Other Palm	Good		Date palm			18
280	Sabal Palm Smooth Trunk	Fair				18	
281	Queen Palm	Poor					16
282	Queen Palm	Poor					16
283	European Fan Palm	Good		Double		12	
284	Other Palm	Good					22
285	European Fan Palm	Good		Triple			9
286	Other Palm	Good		Bismarck			28
287	Sabal Palm Smooth Trunk	Good				12	
288	Sabal Palm Smooth Trunk	Good				22	
289	Sabal Palm Smooth Trunk	Good				14	
290	Sabal Palm Smooth Trunk	Good				10	
291	Areca Palm	Good				12	
292	Sabal Palm Smooth Trunk	Good				14	

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SITE ELEMENTS SCHEDULE		
IDNUM	SiteAsset	Notes
1	Utility Box	Flush
2	Utility Box	
3	Utility Box	Flush
4	Other	Water
5	Other	Water
6	Irrigation Valvebox	
7	Other	Cable
8	Other	Cable
9	Other	Hydrant
10	Other	Hydrant slab
11	Other	Hydrant slab
12	Other	Utility
13	Other	Utility
14	Other	Cable
15	Other	Cable
16	Other	Cable
17	Other	Cable
18	Other	Fire hydrant
19	Other	Fire hydrant
20	Other	Fire hydrant
21	Irrigation Valvebox	
22	Irrigation Valvebox	
23	Other	Cable
24	Other	Cable
25	Other	Water
26	Other	Water
27	Other	
28	Other	
29	Other	Water
30	Other	Water
31	Manhole	
32	Other	Cable
33	Other	Cable
34	Other	Hydrant
35	Other	Hydrant
36	Other	Hydrant
37	Other	Cable
38	Other	Cable
39	Other	Cable
40	Other	Cable
41	Other	Utility
42	Other	Utility
43	Utility Box	Electric
44	Utility Box	
45	Other	Cable
46	Other	
47	Other	Cable
48	Other	Cable
49	Other	Hydrant
50	Other	Hydrant
51	Other	Hydrant
52	Utility Box	
53	Utility Box	
54	Utility Box	
55	Utility Box	
56	Other	Water
57	Utility Box	
58	Utility Box	
59	Utility Box	
60	Utility Box	
61	Backflow Preventer	
62	Utility Box	
63	Other	Water
64	Other	Water
65	Utility Box	
66	Utility Box	
67	Other	Cable

ID	NUM	SiteAsset	Notes
	68	Other	Cable
	69	Backflow Preventer	
	70	Utility Box	
	71	Utility Box	
	72	Other	Water
	73	Other	
	74	Utility Box	
	75	Utility Box	
	76	Utility Box	
	77	Utility Box	
	78	Other	Mailbox 2 by 2
	79	Other	Cable
	80	Other	
	81	Utility Box	
	82	Utility Box	
	83	Utility Box	
	84	Utility Box	
	85	Manhole	Sewer
	86	Manhole	
	87	Other	Cable
	88	Other	Cable
	89	Other	Other
	90	Other	Cable
	91	Utility Box	
	92	Utility Box	
	93	Other	Water
	94	Other	Phone
	95	Other	Mailbox
	96	Utility Box	
	97	Utility Box	
	98	Other	Water
	99	Utility Box	
	100	Utility Box	
	101	Utility Box	
	102	Other	Cable
	103	Other	Cable
	104	Utility Box	
	105	Utility Box	
	106	Utility Box	
	107	Utility Box	
	108	Utility Box	
	109	Utility Box	
	110	Utility Box	
	111	Utility Box	
	112	Utility Box	
	113	Utility Box	
	114	Other	Water
	115	Other	Water
	116	Utility Box	
	117	Utility Box	
	118	Utility Box	
	119	Other	Cable
	120	Other	Cable
	121	Utility Box	
	122	Utility Box	
	123	Utility Box	
	124	Utility Box	
	125	Manhole	
	126	Utility Box	
	127	Utility Box	
	128	Utility Box	
	129	Utility Box	
	130	Utility Box	
	131	Other	Cable
	132	Other	
	133	Other	Cable
	134	Utility Box	

SITE ELEMENTS SCHEDULE		
IDNUM	SiteAsset	Notes
135	Utility Box	
136	Other	Water
137	Other	Water
138	Other	Cable
139	Other	Cable
140	Utility Box	
141	Utility Box	
142	Utility Box	
143	Other	Water
144	Utility Box	
145	Utility Box	
146	Utility Box	
147	Utility Box	
148	Utility Box	
149	Utility Box	
150	Utility Box	
151	Utility Box	
152	Utility Box	
153	Other	Cable
154	Irrigation Valvebox	
155	Backflow Preventer	
156	Utility Box	
157	Utility Box	
158	Other	Water
159	Other	Cable
160	Other	Cable
161	Manhole	
162	Other	Phone
163	Utility Box	
164	Utility Box	
165	Utility Box	
166	Utility Box	
167	Utility Box	
168	Utility Box	
169	Other	Water
170	Other	Water
171	Other	Water
172	Backflow Preventer	
173	Utility Box	
174	Utility Box	
175	Other	Water
176	Other	Water
177	Other	Water
178	Utility Box	
179	Utility Box	
180	Other	Cable
181	Other	Cable
182	Other	Cable
183	Other	Cable
184	Other	Mailbox 2 by 2
185	Utility Box	
186	Utility Box	
187	Other	Cable
188	Other	Cable
189	Other	Water
190	Other	Hydrant
191	Utility Box	
192	Utility Box	
193	Other	Hydrant
194	Other	Water
195	Utility Box	
196	Utility Box	
197	Other	Water
198	Utility Box	
199	Utility Box	
200	Utility Box	
201	Utility Box	

SITE ELEMENTS SCHEDULE			
ID	NUM	SiteAsset	Notes
	202	Utility Box	
	203	Utility Box	
	204	Other	Water
	205	Utility Box	
	206	Utility Box	
	207	Utility Box	
	208	Utility Box	
	209	Other	Cable
	210	Other	Cable
	211	Manhole	
	212	Manhole	
	213	Manhole	
	214	Utility Box	
	215	Utility Box	
	216	Other	Water
	217	Other	Water
	218	Backflow Preventer	
	219	Other	Cable
	220	Other	Cable
	221	Utility Box	
	222	Utility Box	
	223	Utility Box	
	224	Utility Box	
	225	Other	Mailbox 2 by 2
	226	Utility Box	
	227	Utility Box	
	228	Utility Box	
	229	Utility Box	
	230	Utility Box	
	231	Other	Water
	232	Other	
	233	Other	Water
	234	Other	
	235	Backflow Preventer	
	236	Utility Box	
	237	Utility Box	
	238	Utility Box	
	239	Utility Box	
	240	Utility Box	
	241	Utility Box	
	242	Utility Box	
	243	Utility Box	
	244	Utility Box	
	245	Utility Box	
	246	Utility Box	
	247	Manhole	
	248	Other	Cable
	249	Other	Cable
	250	Other	Mailbox 2 by 2
	251	Utility Box	
	252	Utility Box	
	253	Other	Water
	254	Manhole	
	255	Manhole	
	256	Other	Phone
	257	Utility Box	
	258	Utility Box	
	259	Other	Cable
	260	Utility Box	
	261	Utility Box	
	262	Other	Water
	263	Utility Box	
	264	Utility Box	
	265	Other	Cable
	266	Other	Cable
	267	Manhole	
	268	Manhole	

SITE ELEMENTS SCHEDULE		
IDNUM	SiteAsset	Notes
269	Other	Column.
270	Utility Box	
271	Utility Box	
272	Utility Box	
273	Utility Box	
274	Other	Cable
275	Other	Cable
276	Utility Box	
277	Utility Box	
278	Utility Box	
279	Utility Box	
280	Backflow Preventer	
281	Utility Box	
282	Utility Box	
283	Other	Water
284	Other	Water
285	Other	Water
286	Backflow Preventer	
287	Utility Box	
288	Utility Box	
289	Manhole	
290	Other	Cable
291	Other	Cable
292	Utility Box	
293	Utility Box	
294		Column
295	Backflow Preventer	
296	Utility Box	
297	Utility Box	
298	Utility Box	
299	Other	Water
300	Utility Box	
301	Utility Box	

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Site Elements Schedule		
Project No.	Scale	
215615771	N/A	
Drawing No.	Sheet	Revision
	LD002	00



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan		
Project No.	Scale	
215615771	1/16"=1'-0"	
Drawing No.	Sheet	Revision
LD101		00



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan		
Project No.	Scale	
215615771	1/16"=1'-0"	
Drawing No.	Sheet	Revision
LD104	LD104	00



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan		
Project No.	Scale	
215615771	1/16"=1'-0"	
Drawing No.	Sheet	Revision
LD107		00



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These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.

INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan		
Project No.	Scale	
215615771	1/16"=1'-0"	
Drawing No.	Sheet	Revision
	LD110	00

LANDSCAPE GENERAL NOTES

1.1. SCOPE:

- A. Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the contract drawings and specified herein.
- B. Install all work in conformance with industry standard trade practices as outlined in CSI Standards unless otherwise noted or amended on the drawings.

1.2. RELATED WORK SPECIFIED ELSEWHERE:

- A. DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS
- B. DIVISION 01 - GENERAL REQUIREMENTS
- C. DIVISION 02 - EXISTING CONDITIONS
- D. DIVISION 03 - CONCRETE
- E. DIVISION 04 - MASONRY
- F. DIVISION 05 - METALS
- G. DIVISION 06 - WOODS, PLASTICS, AND COMPOSITES
- H. DIVISION 07 - THERMAL AND MOISTURE PROTECTION
- I. DIVISION 09 - FINISHES
- J. DIVISION 10 - SPECIALTIES
- K. DIVISION 11 - EQUIPMENT
- L. DIVISION 12 - FURNISHINGS
- M. DIVISION 22 - PLUMBING
- N. DIVISION 31 - EARTHWORKS
- O. DIVISION 33 - UTILITIES

1.3. QUALITY ASSURANCE

- A. Provide plant materials in compliance with applicable state and federal laws relating to inspection for diseases and insect infestation.
- B. All plants must be healthy, vigorous material, free of pests and diseases.
- C. Plant materials in some instances may exceed No. 1 grade in order to meet the minimum requirements of this project.
- D. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug.
- E. Observation at growing site DOES NOT preclude the right of rejection at job site. Plants damaged by neglect or improper handling during transit or at the job site as determined by the Landscape Architect may be rejected at no cost to the project.
- F. All plant material shall be of No. 1 grade or better quality at time of installation and shall be maintained in this same condition until completion of the guarantee period. Decline in condition of plant material during any period (installation, establishment, guarantee) shall be grounds for rejection and replacement as determined by the Landscape Architect at the contractor's expense.
- G. Employ only qualified personnel familiar with the required work.
- H. All plant material shall be installed in a sound, workmanlike manner and according to accepted good planting procedures with the quality of plant materials as hereinafter described. All elements of site and soil preparation, landscaping, and irrigation shall be installed so as to meet all applicable ordinances and code requirements. It is the contractors responsibility to ensure all applicable codes and ordinances are being met.
- I. Off-site topsoil and topsoil on-site testing:
 - 1. Provide source of off-site soil to the Landscape Architect for purposes of soil investigation and testing.
 - 2. Take random representative soil samples from project areas to be planted.
 - 3. At the Landscape Contractor's expense, test soil samples from both sources for ph, alkalinity, total soluble salts, porosity, sodium content and organic matter and provide results to Landscape Architect for review and acceptance. Lab analysis of soils must contain recommended remediation instructions for the Landscape Architect's consideration.

1.4. REFERENCED STANDARDS:

- A. "Florida Grades and Standards for Nursery Plants", published by The Florida Department of Agriculture and Consumer Services.
- B. "American Standards for Nursery Stock" (ANSI Z60.1-2014), as amended.
- C. Florida State Statute 553.81 "Protection of Underground Pipelines".
- D. The Federal Highway Administration Manual of Uniform Traffic Control Devices, Millennium Edition.
- E. Florida Department of Transportation (FDOT) Design Standards, latest edition, Traffic Control Through Work Zones, Series 600 indices.
- F. Florida Department of Transportation (FDOT) Roadway and Traffic Design Standards, latest edition, Series 500 indices.
- G. Florida Department of Transportation (FDOT) Maintenance Rating Program, latest revision.
- H. ASTM International - American Society for Testing and Materials.
- I. AASHTO - The American Association of State Highway Transportation Officials.
- J. Americans with Disabilities Act (ADA), The ADA Compliance Handbook, latest edition.
- K. The Florida Accessibility Code.

- L. National Arborist Association Standards.
- M. "Arboriculture Second Edition" by Richard W. Harris, as amended.
- N. Land Development Code (LDC) as defined by local municipality, city, or county standards.
- O. The South Florida Water Management District Xeriscape Plant Guide 2.

1.5. SUBMITTALS:

- A. Submit one (1) quart samples of the following materials:
 1. Sandy Loam Topsoil
 2. Organic Amendment
 3. Mulch
 4. Potting Soil
- B. Submit a minimum of three (3) representative soils samples for laboratory soil test analysis results for on-site topsoil and imported sandy loam topsoil. Label each sample with the date, location keyed to a site plan or other location system, visible soil condition, and sampling depth. Laboratory test results shall include the following data based on the test results: state recommendations for soil treatments and soil amendments to be incorporated to produce satisfactory planting soil suitable for healthy, viable plants indicated. Include, at a minimum, recommendations for nitrogen, phosphorous, and potassium fertilization, and for micronutrients.
- C. Submit manufacturer's data for the following:
 1. Fertilizer
 2. Potting Soil
 3. Steel, Aluminum, or Polyethylene Edging
 4. Root Barrier
- D. Submit digital photographs of all plant materials for Landscape Architect approval PRIOR TO DELIVERY to the site.
- E. File Certificate of Inspection of plant material by state and federal authorities with Landscape Architect.
- F. File the Grower's and/or State Certificate of Inspection of plant material to the Landscape Architect two (2) weeks minimum before commencement of work.
- G. By providing a bid on these Landscape Contract Documents, the Landscape Contractor is certifying that all plant materials as specified herein is available and will be provided to this project.
- H. Any substitutions in size and/or plant material species must be approved by the Landscape Architect in writing PRIOR TO PROCUREMENT AND/OR DELIVERY TO THE PROJECT SITE. All plants will be subject to the acceptance by the Landscape Architect BEFORE planting can begin.
- I. INSTALLATION PERIOD: The contractor is responsible for maintaining in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, at the end of the installation phase by the Owner and Landscape Architect. Contractor to request inspection of project in writing at end of installation period. Landscape Architect and Owner acceptance shall initiate the establishment period.
- J. ESTABLISHMENT PERIOD: Contractor to guarantee, maintain, replace failed plant materials, and water plant material for a ninety (90) day establishment period following date of installation period completion. Contractor to request inspection of project in writing after ninety (90) day establishment period. Landscape Architect and Owner acceptance shall allow the the contractor to request the guarantee period phase start.
- K. GUARANTEE PERIOD: If all work is satisfactory and complete in accordance with the conditions of the contract documents, the contractor shall request in writing an acknowledgment of substantial completion from the Owner and Landscape Architect. Acknowledgment of substantial completion constitutes the beginning of the one (1) year guarantee period. Contractor to notify the Landscape Architect ten (10) business days prior to end of guarantee period to schedule a site review with the Landscape Architect and Owner of plant material at which time a final determination of plant health and replacement of failed plant materials as determined by the Landscape Architect will be identified at no cost to the project.

1.6. PRODUCT DELIVERY, STORAGE AND HANDLING:

- A. PREPARATION FOR DELIVERY:
1. Balled and burlapped (B&B) plants: dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container grown plants: deliver plants in containers sufficiently rigid to hold ball shape and protect root mass during shipping.
 3. All rootballs shall conform to the size standards set forth in "American Standards for Nursery Stock".
- B. DELIVERY:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. protect materials from deterioration during delivery and while stored at site.
 2. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on the job site.
 3. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner WILL NOT be held responsible for theft or damage.
 4. If balled plants cannot be planted within 24-hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
 5. Protect with cloth or other approved means of "windburn" prevention during delivery to prevent damage to root ball or desiccation of leaves. Contractor to field verify all deliveries and condition of materials PRIOR TO UNLOADING. All plant materials that are damaged or not conforming to specifications are to be rejected and removed from the site immediately. Any replacement of rejected material due to not meeting standards of care as determined by the Landscape Architect will be replaced at no cost to the project.
 6. Contractor shall take all due care and implement safe guards during transit to not bruise trunks, break branches or fronds, and prevent unnecessary structural stress to the plant material. Plant material not meeting standards of care and damaged as determined by the Landscape Architect will be replaced at no cost to the project.
 7. Notify the Landscape Architect of delivery schedule 48-hours in advance so plant material may be observed upon arrival at job site.

8. Remove rejected plant material IMMEDIATELY from site upon instruction to do so.

1.7. JOB CONDITIONS:

- A. **PLANTING RESTRICTIONS:**
1. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice.
 2. The Landscape Contractor shall field verify all information above and below ground, prior to initiating planting installation.
 3. The Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and acceptance of the Landscape Architect PRIOR TO commencement of plant installation.
- B. **PROTECTIONS:**
1. DO NOT move equipment over existing or newly placed structures without approval of Landscape Architect, Owner, and General Contractor.
 2. Provide board-roading and sheeting as required to protect paving and other improvements from damage.
 3. IN NO WAY shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
 4. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans. The Landscape Contractor shall install a 4.0' height orange nylon or chain link type fence affixed with nails or staples to sturdy posts (metal fence stakes or 2x4 wood, set to a depth of 2'-0" minimum) surrounding all existing vegetation and/or vegetation to be protected and relocated. Fencing to be installed in the Critical Protection Zone - the area surrounding a tree within a circle described by a radius of one (1) foot for each inch of tree trunk diameter measured at 54" above finished grade (for groups of trees, locate fence between trees and construction activity) - the fence shall be located to protect a minimum of 75% of the critical protection zone. Shrubs and groundcover vegetation shall have a minimum 5.0' buffer between fence and construction zone. No construction debris, vehicles, chemicals, or other construction activity shall be allowed within the root zone and/or critical protection zone, either directly or indirectly.
- C. **UTILITIES:**
1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate where required to minimize possibility of damage to underground utilities.
 2. Contractor shall acquaint himself with all site conditions. Where excavation is required, the contractor shall promptly notify the local public works department and underground utility locating entity, power company, and any other utilities (gas companies, cable tv, phone, etc.) forty-eight (48) hours minimum prior to construction operation and prior to any connection to existing utility locations. Failure to do so will make the contractor liable for any and all damage, costs, and penalties there to arising from its operations. It is the contractors responsibility to protect all utilities (existing and newly installed) from damage. Report any conflicts to the Landscape Architect within two (2) business days for resolution prior to construction.
 3. The contractor shall comply with Florida State Statute 553.81 "Protection of Underground Pipelines" for projects located within the State of Florida.
 4. Should the Landscape Contractor cause damage to any utilities, necessary repairs shall be made as quickly as practicable, at the Landscape Contractor's expense, under supervision of the Landscape Architect and/or Owner.
 5. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
 6. Coordinate landscape installation work with the irrigation contractor to prevent damage to underground sprinkler systems. Inspect irrigation system and ensure that adequate water is available before beginning planting operations. Irrigation systems will not provide sufficient quantities of water for newly planted materials. The landscape contractor is responsible for deep root hand watering.

1.8. WARRANTY:

- A. Warrant plants and trees for one (1) year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and/or upon notification by Landscape Architect. Replace plants, including trees, which in the opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- B. Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one (1) year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, wildlife, or diseases.
- D. At the end of the warranty period, staking and guying materials shall be removed from the site by the Landscape Contractor unless otherwise agreed upon.

1.9. MAINTENANCE:

- A. Water must be made available on site. Provide necessary hoses and other watering equipment or vehicles required to complete work.
- B. Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- C. A written notice requesting final inspection and acceptance should be submitted to Landscape Architect seven (7) working days prior to completion. At that time Owner and Landscape Architect will prepare a final punch list to be reviewed with the Landscape Contractor. When such project is deemed complete by the Landscape Architect, an on-site inspection by Owner, Landscape Contractor and Landscape Architect will be completed prior to written acceptance.
- D. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The contractor shall provide Owner with a recommended maintenance program.

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2.1. PLANTS:

- ## 2.2. SOIL PREPARATION MATERIALS:

- ### 2.3. COMMERCIAL FERTILIZER:

- TREES: 8-6-6 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper

PALMS: 13-3-13 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper

SHRUBS & GROUNDCOVERS: 8-10-10 plus minor elements - slow release; 1/2 lb fertilizer per 100 ft²

TURF: 16-4-8 plus minor elements - slow release; 1 lb fertilizer per 1000 ft²

Note:
The cost for landscape fertilizer as described above shall be included in the per plant price.

2.4. MULCH:

- A. Contractor shall mulch all plant beds and tree rings throughout and completely to a consistent three (3) inch depth with clean, weed free melaleuca in dark brown color unless otherwise specified.
- B. Samples required for approval by the Landscape Architect prior to procurement and/or installation.
- C. Typical Specification: www.GOMULCH.com - "Florimulch Brown" or approved equal.

2.5. WATER:

- A. The preferred water source shall be potable, suitable for irrigation, and shall be free from ingredients harmful to plant life.
- B. A water source utilizing well or lake water shall be designed and maintained in a manner which eliminates staining of the building, walks, walls, and other site improvements. Provide a strainer / filter for all water sources derived from a well or lake source.
- C. Reclaimed water sources must meet the Environmental Protection Agency's standards and must maintain setback separation from public bathing areas, food service, and healthcare facilities as prescribed by the Florida Department of Environmental Protection (FDEP) (F.A.C. 62-610.471) and the Florida Department of Health (FDOH).
- D. **IRRIGATION AFTER PLANTING AND DURING ESTABLISHMENT:** Regular irrigation after planting is essential for survival and establishment of all plant materials. Establishment is the amount of time required for plant materials to grow a sufficient root system to support growth in their planted environment. Regular irrigation after planting shall follow the below schedule guidelines for vitality and establishment of plant materials:

≤ 2" CALIPER:
Irrigate daily for two (2) weeks; every-other day for two (2) months; weekly until established.

2" - 4" CALIPER:
Irrigate daily for one (1) month; every-other day for three (3) months; weekly until established.

> 4" CALIPER:
Irrigate daily for six (6) weeks; every-other day for five (5) months; weekly until established.

1. At each irrigation, apply two to three gallons per inch trunk caliper to the root ball surface. Apply it in a manner so all water soaks the entire root ball. Do not water if root ball is wet/saturated on the irrigation day.
2. When irrigating for vitality, delete daily irrigation when planting in winter or when planting in cool climates. Establishment takes three (hardiness zones 10-11) to four (hardiness zones 8-9) months per inch trunk caliper. Never apply irrigation if the soil is saturated.

2.6. MISCELLANEOUS MATERIALS (IF APPLICABLE):

- A. Steel edging.
- B. Jute erosion mesh / matt.
- C. Coconut husk matting / Coir natural fiber matting.
- D. Filter fabric: Tencate Mirafi 140 N non-woven fabric (unless otherwise noted) or approved equal.
- E. Tree wrapping paper: waterproof 6" wide crepe.
- F. Staking and guying materials:
 - 1. Wood stakes: 2" x 4" dense pine, pressure treated, painted dark brown.
 - 2. Turn buckles: galvanized steel, 3/8-inch eye, 6-inch opening.
 - 3. Tie wire: 12 gauge galvanized wire.
 - 4. Black hose: 2 ply, fiber reinforced hose, minimum 1/2-inch inside diameter.
- G. Tree paint: asphaltic base paint with antiseptic properties, manufactured for use on tree wounds.
- H. Pea gravel: washed 3/8-inch diameter native pea gravel.
- I. Crushed stone: 1" diameter crushed limestone.
- J. Antidesiccant: Wiltpruf (nursery specialty products, inc., stubbins road, grotton falls, n.y.) or approved equal.
- K. Fungicide: zinc ethylene bisdithiocarbonate (zineb) or equal.
- L. Plastic sheet: 4 mil black polyethylene, perforated at twenty four inches on center.

3.1. CONDITION OF SURFACES:

- A. The Landscape Contractor will be responsible for any required excavation and for raking and smoothing of grade. It is recommended that the Landscape Contractor coordinate with the grading contractor to establish subgrades for planting areas as required below.
- B. Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions immediately.

3.2. MIXING SOILS:

- A. PLANTING MIX: Shall consist of sandy loam topsoil, organic amendments, and sharp washed sand. Sand component may be increased or decreased based on sand content of topsoil submitted to the Landscape Architect.
1. ROYAL PALMS: 60% sharp washed sand and 40% approved topsoil / solid waste compost.
 2. TREES / ALL OTHER PALMS: 90% washed sharp sand and 10% approved topsoil / solid waste compost.
 3. SHRUBS, AND GROUND COVERS: 70% washed sharp sand and 30% approved topsoil / solid waste compost.
- B. Pre-mixed soils may be accepted in lieu of above mix as noted herein. Contractor to submit soil analysis test of the soil mixture for approval by the Landscape Architect.

- C. Take imported, unamended soil from sources that are naturally well-drained sites where topsoil occurs at least 4 inches deep, not from agricultural land, bogs, or marshes; and that do not contain undesirable organisms; disease-causing plant pathogens; or obnoxious weeds and invasive plants including, but not limited to, quackgrass, Johnsongrass, poison ivy, nutsedge, nimblewill, Canada thistle, bindweed, bentgrass, wild garlic, ground ivy, perennial sorrel, and brome grass.
- D. Clean soil to be free of the following:
1. UNACCEPTABLE MATERIALS: Concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials that are harmful to plant growth.
 2. UNSUITABLE MATERIALS: Stones, roots, plants, sod, clay lumps, and pockets of coarse sand that exceed a combined maximum of 8 percent by dry weight of the imported soil.

3.3. BED PREPARATION:

- A. All bed areas on plans where shrubs and/or groundcovers are continuously planted shall receive a minimum of 6" depth of continuous planting mix.
- B. Lay out bed areas for Landscape Architect approval PRIOR TO DIGGING.
- C. Excavate existing material as needed to allow placement of 6" of planting mix and 3" of mulch.
- D. Scarify bed area subgrade where excessive compaction is greater than 85% standard proctor to a depth of 12" by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- E. Evenly spread 6" of continuous planting mix throughout the planting area. DO NOT incorporate into native soils below.
- F. whenever a planting bed falls within the dripline of existing trees to remain, do not excavate as noted below. utilize the following bed preparation:
 - 1. Evenly spread the following amendments over the entire bed area and lightly incorporate into the top 1" of soil with rake or other hand implement. Amendments per 1000 sf shall be:
 - A) 3 cy organic amendment
 - B) 30 lb organic fertilizer
 - C) 40 pounds gypsum
 - D) 2 pounds sulfur
- G. Rake amended areas clean and remove all rocks, roots, and debris. Dirt clods and clay lumps greater than 1" in diameter shall be broken apart or removed.

3.4. TREE PLANTING:

- A. Stake tree locations for Landscape Architect's approval PRIOR TO DIGGING.
- B. Plant trees in pits 2 TIMES THE DIAMETER OF THE ROOT BALL AND EQUAL TO DEPTH OF ROOT BALL.
- C. Landscape Contractor shall ensure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions as determined by the Landscape Architect at no cost to the project.
- D. After excavation of tree pits, review water percolation with Landscape Architect. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint pvc stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
- E. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal of the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- F. Trees grown in grow bags or grow bag type material must have the grow bag REMOVED ENTIRELY prior to planting.
- G. Balled and burlapped material shall have the top one half (1/2) of the burlap around the base of the trunk cut and pulled back. Do not remove burlap. Wire cages, straps, etc. must be cut and removed prior to installation.
- H. Backfill tree pits with a mixture of 1/2 planting mix and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturers recommendations. Apply Superthrive per manufacturer's recommendations complete backfilling and form a saucer around the tree. Fill saucer with water and leave to soak in. Fill saucer with water again.
- I. Completely fill each tree saucer with mulch to a consistent depth of three (3) inches.
- J. Landscape Contractor shall keep trees plumb until established. Provide guying and/or staking to maintain a plumb condition. If trees are not plumb, the Landscape Contractor will be required to re-guy and/or re-stake those trees in a method acceptable to the Landscape Architect at no additional cost to the project. The trees must stand upright and straight under it's own form and not bend under it's own weight. Staking and/or guying shall not be used as a substitute for non-conforming plant materials. Trees unable to stand upright and straight and maintain it's form as determined by the Landscape Architect are rejected and to be replaced at no cost to the project.
- K. Guying and staking practices shall not permit nails, screws, wires, etc., to penetrate the outer surface of trees or palms. Trees or palms rejected due to this practice shall be replaced at the contractor's expense with the Landscape Architect and/or Owner on site.
- L. PRUNING: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect or qualified licensed Arborist as accepted by the Landscape Architect. In general, remove at least one-third of wood by thinning and pruning. Do not cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
- M. Removal and disposal of all staking and guying of trees and palms after the establishment and guarantee period shall be the responsibility of the contractor unless otherwise agreed upon with the Owner in writing.

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3.5 SHRUB PLANTING:

- A. Typically, shrub plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing) as shown in the planting details. Plant center to center dimensions (o.c.) are listed in the plant materials schedule. Plants not conforming to triangular spacing or center to center dimensions as determined by the Landscape Architect shall be rejected and replaced at no cost to the project.
- B. Place plants in position on bed areas before pots have been removed. Obtain approval from Landscape Architect prior to digging. Do not remove burlap from B&B plants. Landscape Architect reserves the right to interchange or shift plants prior to planting.
- C. All shrubs outside prepared bed areas or with root balls deeper than depth of bed preparation shall be pocket planted. Excavate planting hole 2 times the width and height of the root ball. Backfill with planting mix.
- D. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- E. Water each plant thoroughly with hoses to eliminate air pockets.
- F. Carefully prune plants to remove dead or broken branches and hand rake bed areas to smooth even surfaces.
- G. After planting has been completed and approved by the Landscape Architect, mulch bed areas to a depth of three (3) inches. DO NOT mulch beds prior to acceptance by the Landscape Architect.

3.6 GROUNDCOVER AND SEASONAL COLOR PLANTING:

- A. All groundcover and seasonal color planting shall occur in prepared bed areas per specifications with at least 6 inch depth of planting mix.
- b. Typically, groundcover and seasonal plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing) as shown in the planting details. Plant center to center dimensions (o.c.) are listed in the plant list/schedule. Plants not conforming to triangular spacing or center to center dimensions as determined by the Landscape Architect shall be rejected and replaced at no cost to the project.
- C. Place plants in position on bed areas before pots have been removed. Obtain approval from Landscape Architect prior to digging. The landscape architect reserves the right to interchange or shift plants prior to planting.
- D. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- E. Water each plant thoroughly with hoses to eliminate air pockets.
- F. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces.
- G. After planting has been completed and approved by the Landscape Architect, mulch bed areas to a depth of three (3) inches. DO NOT mulch beds prior to acceptance by the Landscape Architect.

3.7 CLEANUP:

- A. During work, keep premises neat and orderly including organization of storage area. Remove trash, including debris resulting from removing weeds and rocks from planting areas, preparing beds, or planting plants from site daily as work progresses. Keep walkway and driveway areas clean by sweeping and/or hosing.

3.8 SUBSTITUTIONS:

- A. Any substitutions in size and/or plant material must be approved by the Landscape Architect in writing prior to procurement and/or delivery to the work site. All plants will be subject to approval by the Landscape Architect BEFORE planting can begin. Such permission must be secured without additional cost or delay in schedule to the project.
- B. Installation of any approved substitutions is within the contractor's scope of responsibilities as if it were the original specification. Any changes required for installation of any approved substitution must be made to the satisfaction of the Landscape Architect and Owner without additional cost to the project.
- C. Any accepted substitution resulting in a credit to the Owner/project shall be identified, documented and provided to the Owner/project without delay.

END OF SECTION

LANDSCAPE GROUNDS MAINTENANCE

The Landscape Contractor is to render the following landscape maintenance services during the term of the initial construction contract. In addition, the Landscape Contractor is to include a price for a one-year extended maintenance contract to begin after the construction project is complete and accepted. This price is to be submitted on a separate line item.

PART 1 - GENERAL (LANDSCAPE GROUNDS MAINTENANCE)

1.1 SCOPE:

- A. WORK INCLUDED IN BASE BID: Perform all work necessary utilizing acceptable horticultural practices for the exterior landscape maintenance of the project as required herein. Such work includes, but is not limited to the following:
 - 1. Monitoring adjustment and minor repair of the landscape irrigation system.
 - 2. Protection of vacuum breakers against freeze damage, if applicable.
 - 3. Mowing, edging and trimming of trees and shrubs.
 - 4. Pruning and trimming of trees and shrubs.
 - 5. Re-staking and adjustment of stakes and guying if required.

- 6. Approval, by Owner and Landscape Architect, of material substitutions prior to use.
- 7. Application of fertilizers, insecticides and herbicides.
- 8. Replacement of plant material (extra service).
- 9. General site clean up, removal of trash, plant debris and products of maintenance.
- B. EXTRA SERVICES: The intent of the contract is to provide a comprehensive maintenance program to include all required services, except those services specifically excluded, to perform the work for the stated time period.
 - 1. All services not included in the base bid shall be considered "extra services" and will be charged for separately according to the nature of the item of work. The written consent and authorization of the Owner or their authorized representative must be obtained prior to the performance or installation of such "extra services" items and prior to purchase of any chargeable materials.
 - 2. Such work may include replacement of dead plant materials or major repairs of irrigation system created by acts of vandalism or other contracts or other site related work.
 - 3. Authorized extra services work must be summarized weekly and submitted with receipts to the Owner.
 - 4. The Owner is not bound by the specifications or contract to utilize the landscape maintenance contractor in the performance of "extra service work".
 - 5. The landscape maintenance contractor shall coordinate his activities with other contractors on the site so as to not hinder the performance of any work.
 - 6. Authorized charges for extra work will be paid monthly.

1.2 SUBSTITUTIONS:

- A. Specific reference to manufacturer's names and products specified in the Contract Documents are used as standards, but this does not imply the right to substitute other material or methods without written approval of the Landscape Architect and Owner. Such permission must be secured without additional cost to the project.
- B. Installation of any approved substitutions is within the contractor's scope of responsibilities as if it were the original specification. Any changes required for installation of any approved substitution must be made to the satisfaction of the Landscape Architect and Owner without additional cost to the project.
- C. Any accepted substitution resulting in a credit to the Owner/project shall be identified, documented and provided to the Owner/project without delay.

1.3 SCHEDULE:

- A. All work under this contract shall be performed in accordance with the project schedule as defined by the Owner or authorized representative.

1.4 CONTRACTOR'S PERFORMANCE:

- A. The contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the contractor's presence on the site shall be as inconspicuous as possible.
- B. The intent and spirit of these Contract Documents is to provide a guideline for the contractor to follow in order to provide Owner with landscape maintenance services of the highest quality. Where the manual refers to "as-needed" or "as-required" the intent is for the contractor to perform the services necessary to maintain the property at the highest possible quality level. Nothing contained within these documents shall be interpreted as relieving the contractor of its responsibility to perform the work in a professional manner and to the complete satisfaction of the owner.
- C. If disputes arise as to the quality of the services performed, the Owner, Owners Designated Representative, or Landscape Architect shall make the final determination of responsibilities.

1.5 NEGLIGENCE AND VANDALISM:

- A. Turf, trees or plants that are damaged or killed due to Landscape Contractor's operations, negligence or chemicals shall be replaced at no expense to the project as determined by the Landscape Architect. If plant damage or death is caused by conditions beyond the Landscape Contractor's control, replacement shall be at the Owner's expense as determined by the Landscape Architect.
- B. Sprinklers or structures that are damaged due to the contractor's operations must be replaced by the contractor promptly at no additional cost to the project. Likewise, damage to the irrigation system by others shall be corrected immediately by the contractor, at the Owner's expense as determined by the Landscape Architect.
- C. All water damage, either natural or man-made, resulting from contractor's neglect shall be corrected at the contractor's expense without delay.
- D. All damage to or thefts of landscaping and irrigation installations not caused or allowed by the contractor as determined by the Landscape Architect shall be corrected by the contractor at the Owner's expense upon receipt of written authorization to proceed.

1.6 JOB CONDITIONS:

- A. Contractor shall acquaint himself with all site conditions. Should excavation be required the contractor shall promptly notify the local utility coordination entity for utility locations. Failure to do so will make contractor liable for any and all damage there to arising from his operations.
- B. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage to its original condition or furnish and install equal replacement at its expense.

1.7 EMERGENCIES:

- A. The contractor shall answer emergency or complaint calls within twelve (12) hours and corrective action

- shall be complete within twenty-four (24) hours.
- B. The contractor shall answer emergency calls regarding the landscape irrigation system failure or need of repair, and take corrective action within eight (8) hours. Such work, unless caused due to neglect on the part of the landscape maintenance contractor as determined by the Landscape Architect, shall be considered "extra services".

1.8 RESTRICTION:

- A. DO NOT use growth regulators or growth retardants on this work.

PART 2 - MATERIALS AND MACHINERY (LANDSCAPE GROUNDS MAINTENANCE)

2.1 IRRIGATION SYSTEM MATERIALS:

- A. Replacement materials throughout the system shall be as specified and/or noted on the "Contract Documents", new and in perfect condition.
- B. Irrigation shall be installed to meet or exceed Appendix F - "Proposed Construction Building Codes for Turf and Landscape Irrigations Systems" of the Florida Building Code, Plumbing (latest edition), and in accordance with ASTM D2855 unless otherwise noted herein.

2.2 MATERIALS:

Materials listed under this section are expressly specified for use but does not prohibit or restrict the contractor from providing other approved materials not listed in order to complete the work required herein as submitted to and approve by the Landscape Architect. All materials shall be new and in perfect condition.

- A. PRE-EMERGENCE WEED CONTROL: contractor option (granular)
- B. POST-EMERGENCE WEED CONTROL: contractor option
- C. HERBICIDE: contractor option.
- D. INSECTICIDE: contractor option.
- E. FUNGICIDE: contractor option.
- F. FIRE ANT CONTROL: Shall be slow release applied at six (6) week intervals. Spot treat weekly with a contact product where mounds appear. Alternate products each interval for effective control.
- G. SHRUB BED FERTILIZER: Apply at manufacturer's recommended slow release rates for each plant used.
- H. LAWN FERTILIZER: 15-5-10 with 50% sulphur coated urea and 4% iron.
- I. TREE FERTILIZER: contractor option. Apply using the maximum manufacturer's recommended rate and procedures.
- J. MULCH: Clean, weed free Melaleuca in dark brown color unless otherwise specified.
- K. TREE STAKES AND GUYS: Shall match those in use at the site.

2.3 MACHINERY:

Machinery requirements listed under this section are not intended to be restrictions of specific manufacturers or models unless so stated. Specific mention of manufacturers is intended as a guide to illustrate the final product of maintenance operations desired.

- A. MOWERS: Shall be commercial grade rotary type in good working order, finely tuned to protect the lawn from excessive exhaust fumes. Blades shall be sharp to reduce shredding of the cut grass blades. Grass catchers not required. Blade height shall be set to never remove more than 1/3 of the leaf blade. Avoid mowing when turf/lawn is wet.
- B. LAWN EDGERS: shall be of a rigid blade type that will produce a fine clean edge where lawns meet walkways, pavements or curbs.
- C. PRUNING TOOLS: Shall be maintained in good working order, cutting edges shall be sharp. Disinfect all tools when used for the removal of diseased limbs with a twenty (20%) percent solution of Chlorox and water.

PART 3 - EXECUTION (LANDSCAPE GROUNDS MAINTENANCE)

3.1 LANDSCAPE IRRIGATION SYSTEM:

The Landscape Irrigation Contractor shall, a total of 18 times a year, monitor and program the automatic controlling devices to provide optimum moisture levels in all planted areas.

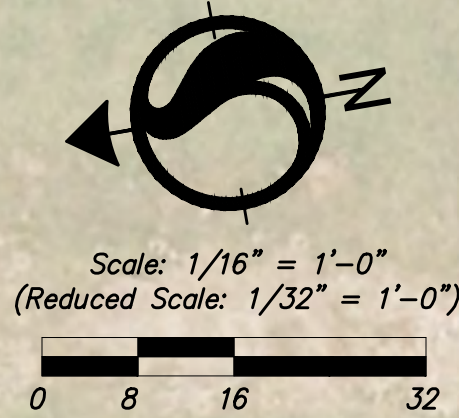
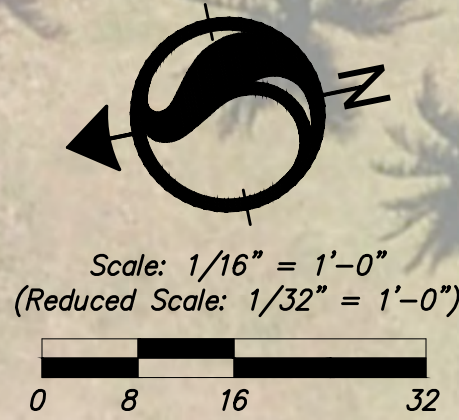
- A. Irrigation cycles shall be set to take place prior to sunrise (usually 4:00 - 5:00 am) unless otherwise instructed by the Owner or Landscape Architect, except during visits of grounds maintenance personnel. During such visits the irrigation system may be operated as desired by those personnel.
- B. DO NOT program controllers operating on the same water meter to water during the same time period so as to prevent over-draft of water meters. DO NOT switch controller to "off" at any time, except as required for testing and for maintenance operations.
- C. Complete sprinkler system servicing shall be performed as required to maintain sprinklers in correct operating condition, including all required labor. April through September the operation of sprinklers shall be inspected and monitored on a twice-per-month basis to assure proper cover and operation. October through March monitor and inspect sprinklers once per month or upon the request of the Owner. This check shall include visual "inspection" of all accessible components of the irrigation system including but not limited to controllers, remote control valves, rain sensors, drip irrigation, quick couplers and heads.
- D. Adjust sprinklers to avoid damage to windows, buildings and sign walls, also adjust heads to keep water off the street and sidewalks. Make repairs and alterations to the sprinkling system and water lines. All sprinkler repairs such as cleaning of head or breaks caused by the contractor shall be the contractor's responsibility to repair immediately at his expense.
- E. A fully automatic irrigation system with a controller and applicable moisture (rain) sensor located to receive direct rainfall shall be provided.

Landscape / Maintenance / Construction General Notes		
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Drawing No.	Sheet	Revision
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- F. Certain trees may be designated by the Owner and/or the Landscape Architect to be saved and protected by the contractor. It is assumed these trees are healthy and are expected to be part of the landscape development or protected by code requirements. Therefore, if any tree(s) are damaged by construction operations or by other means (excluding lightning, windstorm and other acts of god) and perishes within the construction period, it shall be the responsibility of the contractor to remove and dispose of those trees. Approval from the Landscape Architect and Owner is required prior to removal of any trees designated to remain. No additional compensation shall be made by the owner for the labor, material, or machinery required to remove said tree(s). Furthermore, the Owner may seek compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect.
- G. All existing site furnishings, paving, landscape and other elements designated to remain shall be protected from any damage unless otherwise noted.
- H. Caution should be exercised while working near existing at grade and/or overhead signs to prevent unnecessary damage. Signs and structures shall be repaired or replaced by the contractor at the contractor's expense if any are damaged as determined by the Landscape Architect and/or Owner.
- I. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the project surveyor without delay.
- J. Contractor and its subcontractors shall clean all work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion and in a designated area as directed by the Landscape Architect and/or Owner.
- K. These plans are provided for the purposes of the Landscape Architecture design intent and specific project scope of services. These plans are intended to be coordinated with other project design professions (architecture, civil, M/E/P, structural, aquatics, etc.) and should be used in conjunction with those professions to develop the full contract document package. For information regarding those professions, please refer to the appropriate plan sheets.
- L. These drawings may include information provided by others. The Landscape Architect has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated within these contract documents as a result. The location of the utilities shown in the plans are approximate only. The exact location shall be determined by the contractor prior to construction. All plantings may be subject to adjustment by the Landscape Architect to avoid conflicts with utilities and minor utilities may be adjusted at the direction of the Landscape Architect and/or Owner.
- M. The contractor shall verify all plant counts and report any discrepancies to the Landscape Architect PRIOR to procurement, delivery, and/or construction.

- A. Contractor and its subcontractors shall be responsible to replace all portions of existing lawn areas damaged during or caused by construction activities with same grass species to the satisfaction of the Landscape Architect and/or Owner at no additional cost to the project. Any rutting created by the treads or tires of equipment shall be re-graded prior to grass replacement.
- B. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage at its expense to its original condition or furnish and install equal replacement as determined by the Landscape Architect.
- C. Contractor and its subcontractors shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
- D. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, preserve areas within and adjoining the area of construction activity shall be protected by erection of tree protection barricades and/or silt barriers. Tree protection barricades shall meet the standards of the local Land Development Code (LDC). Silt barriers shall be constructed in accordance with the best management practices.
- E. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed by, or approved by, the Landscape Architect. Determination of final location and subsequent changes to meet these criteria if necessary shall not incur additional project costs.
- F. Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. Any adjustment necessary shall be documented and brought to the Landscape Architect's attention as soon as practical. Any adjustment greater than eight (8) feet shall be done under the approval and/or supervision of the Landscape Architect.
- G. All proposed ground elevations in landscape areas are finished sod elevations. Finish earthwork grading shall be three (3) inches below elevations shown to allow for sod and topsoil thickness.
- H. Sodding includes maintaining slopes and sod until completion and acceptance of total project or growth is established, whichever comes last. Until then, all erosion, silt control, and maintenance of grades and grass is the responsibility of the contractor. Where erosion, siltation, and loss of grade has become apparent as determined by the Landscape Architect, the contractor shall correct all occurrences at no additional cost to the project.
- I. All landscape materials shall be maintained to provide continuous clear zones for sight visibility for pedestrian and vehicular traffic and landscape maintenance shall conform to standards set forth in FDOT Roadway and Traffic Design Standards, latest edition, Series 500 Indices.
- J. The contractor of record shall ensure that installation in medians and rights of ways conforms to criteria set forth in FDOT Roadway and Traffic Design Standards, latest edition.
- K. The following guidelines shall be utilized to ensure successful transplanting of trees:
 1. Any tree being relocated shall not be unnecessarily damaged during removal, transport or replanting of that tree.
 2. During and following transplanting, the root ball shall be kept moist at all times.
 3. Transplanted trees shall be braced for at least one (1) year.

- L. All existing trees to remain shall be protected by installing protective barriers around the drip line of trees. The protective barriers shall be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy materials (not flagging or ribbons) and shall be installed prior to and during construction and/or land development. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans. Contractor shall install a 4.0' height orange nylon or chain link type fence affixed with ties, nails or staples to sturdy posts (metal fence stakes or 2x4 wood, set to a depth of 2'-6" minimum) surrounding all existing vegetation and/or vegetation to be protected and relocated. Contractor shall continuously maintain the fence for the duration of construction and repair or replace damaged or fallen sections as necessary. Fence to be installed in the critical protection zone - the area surrounding a tree within a circle described by a radius of one (1) foot for each inch of tree trunk diameter measured at 54" above finished grade (for groups of trees, locate fence between trees and construction activity). the fence shall be located to protect a minimum of 75% of the critical protection zone. Shrubs and groundcover vegetation shall have a minimum 5.0' buffer between fence and construction zone. No construction debris, vehicles, chemicals, or other construction activity shall be allowed within the root zone and/or critical protection zone:
1. DO NOT STORE OR USE MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain in place on site unless the activity is being done to protect the trees.
 2. DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain on site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts. The contractor and its subcontractors shall be responsible for protecting and enforcing these requirements. Failure to do so will make the contractor liable for any and all damages there to arising from its operations and shall be immediately corrected by the contractor at no additional cost to the project. Furthermore, the Owner may seek replacement of tree(s) of same species and physical specifications or other compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect.
 3. Clearing of vegetation within the drip line of trees designated for preservation shall be performed cautiously with hand tools only as to minimize the adverse impacts that may cause damage to tree roots while operating heavy equipment.
 4. Make no attachments, other than those of a protective and non-damaging nature, to any tree to be retained on the site.
 5. Natural grade above the root system within the drip line of any preserved trees disturbed during construction shall be returned to its original grade after construction.
- M. Xeriscape principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance for projects within the State of Florida.



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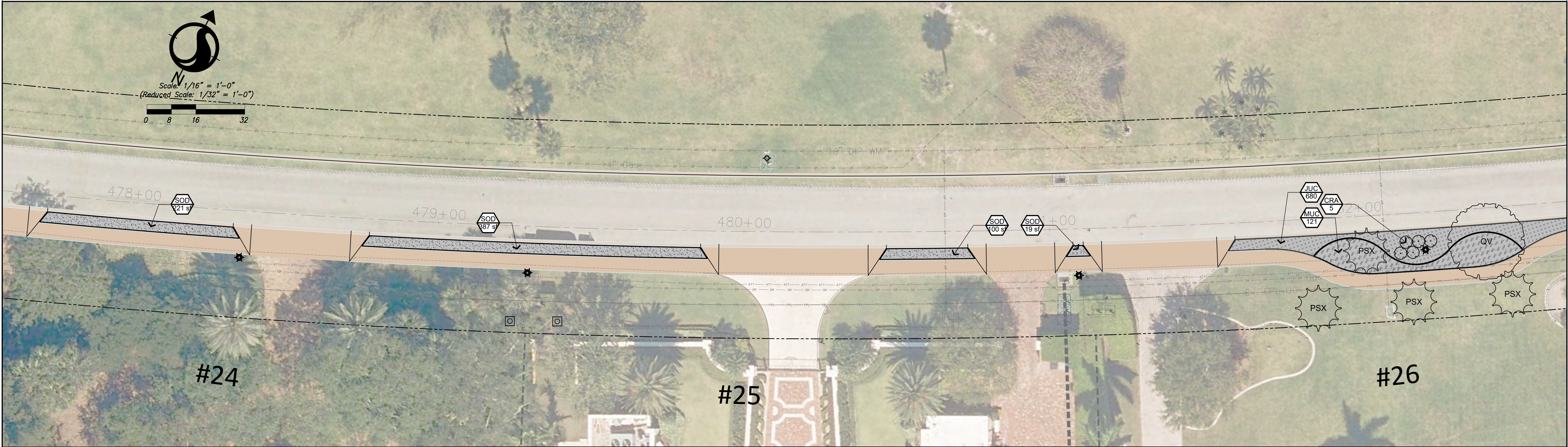
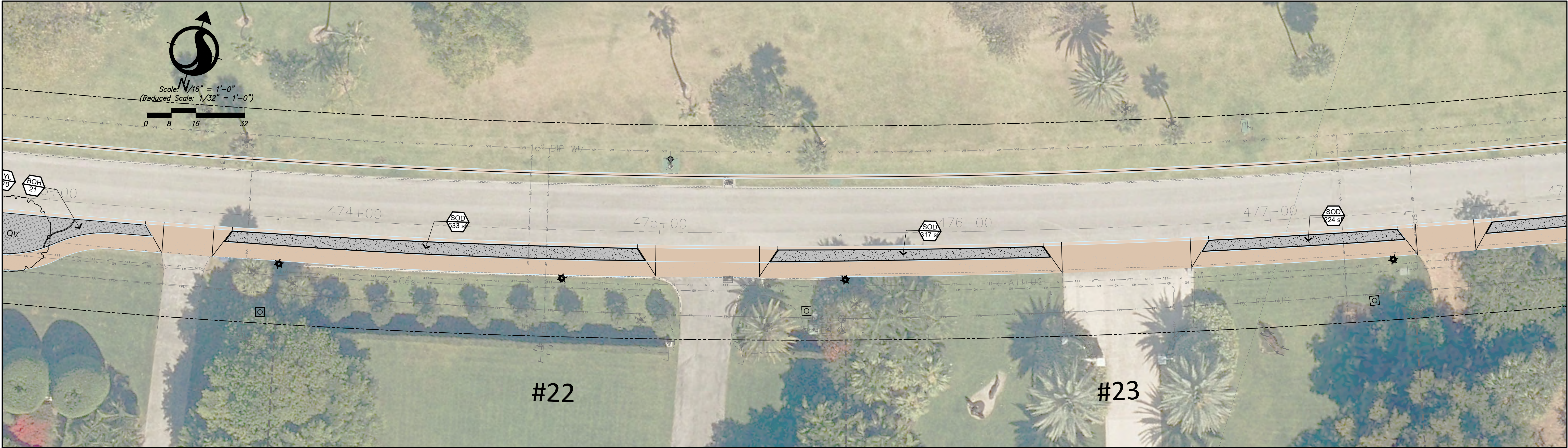
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Planting Plan		
Project No.	Scale	
215615771	1/16"=1'-0"	
Drawing No.	Sheet	Revision
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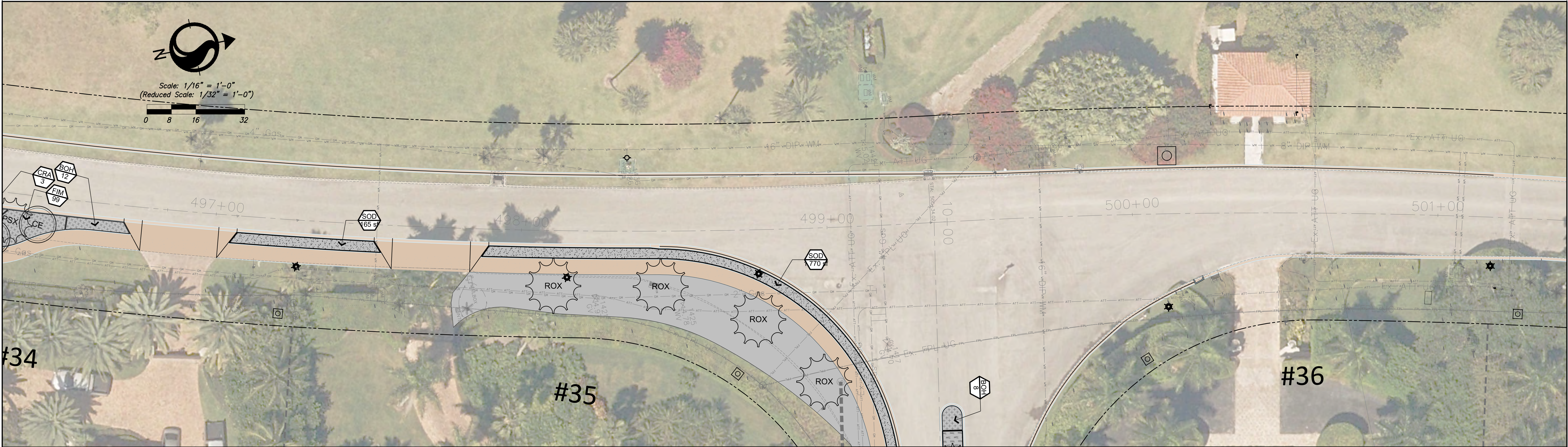
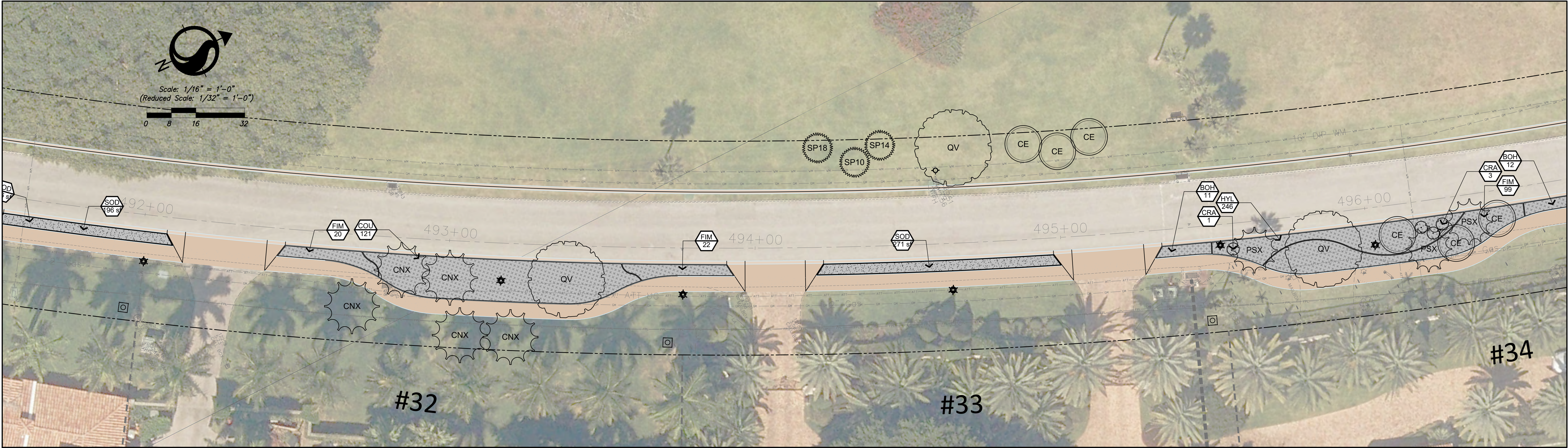
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Planting Plan		
Project No.	Scale	
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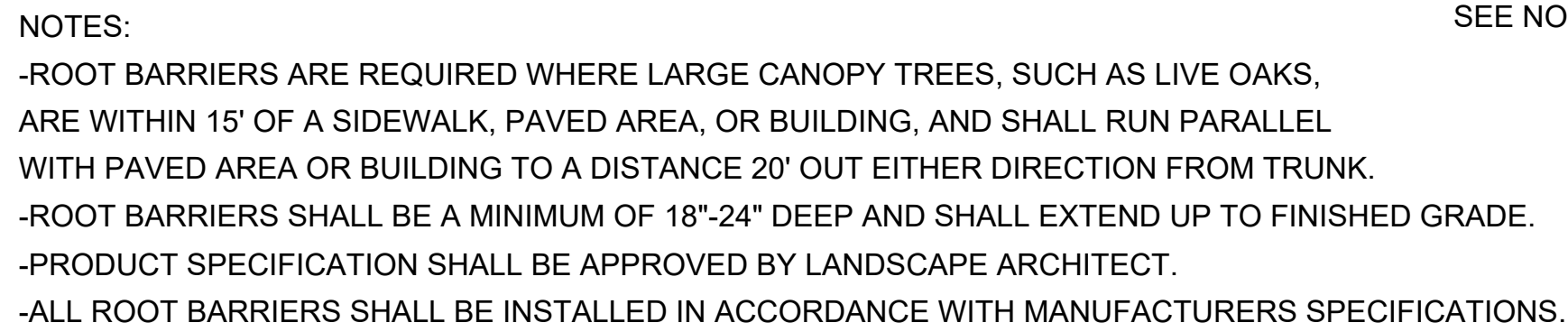
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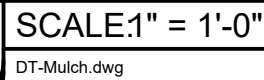
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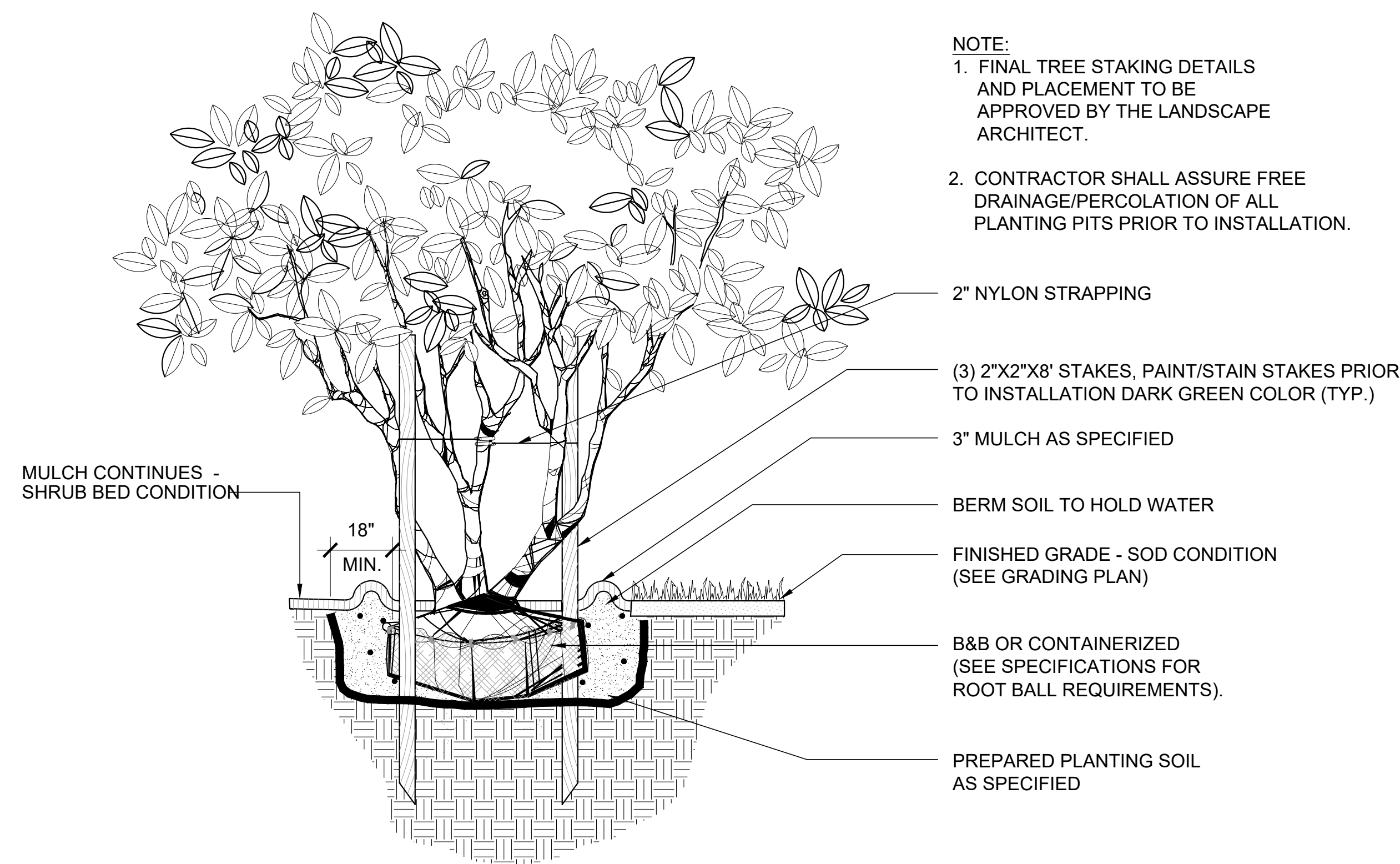
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Planting Plan		
Project No.	Scale	
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Drawing No.	Sheet	Revision
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SCALE: 1" = 1'-0"

Revision

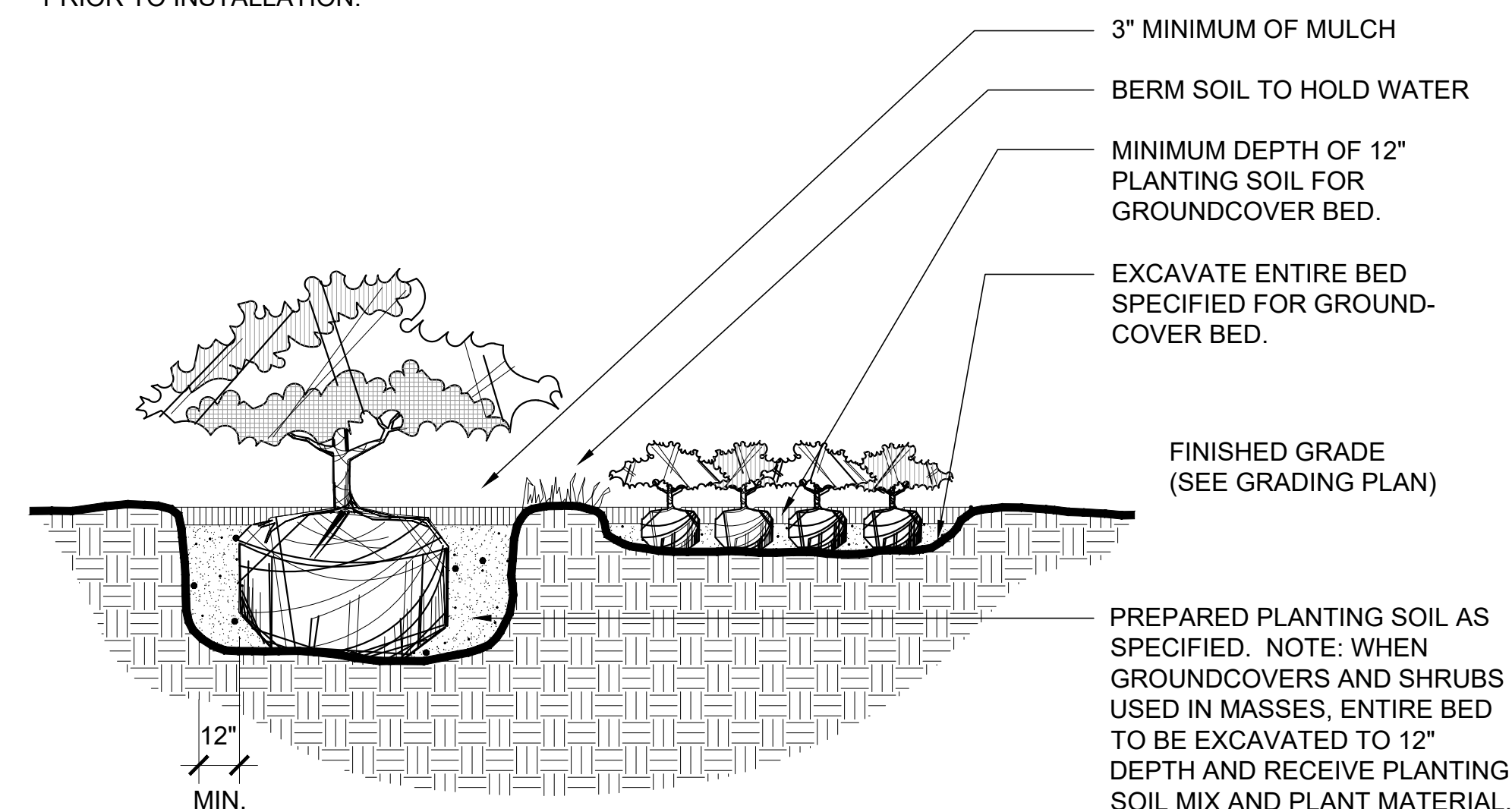


Multi-Trunk Tree

C1 SCALE:1" = 1'-0"
FILE NAME: DT-MultiTrunkTree.dwg

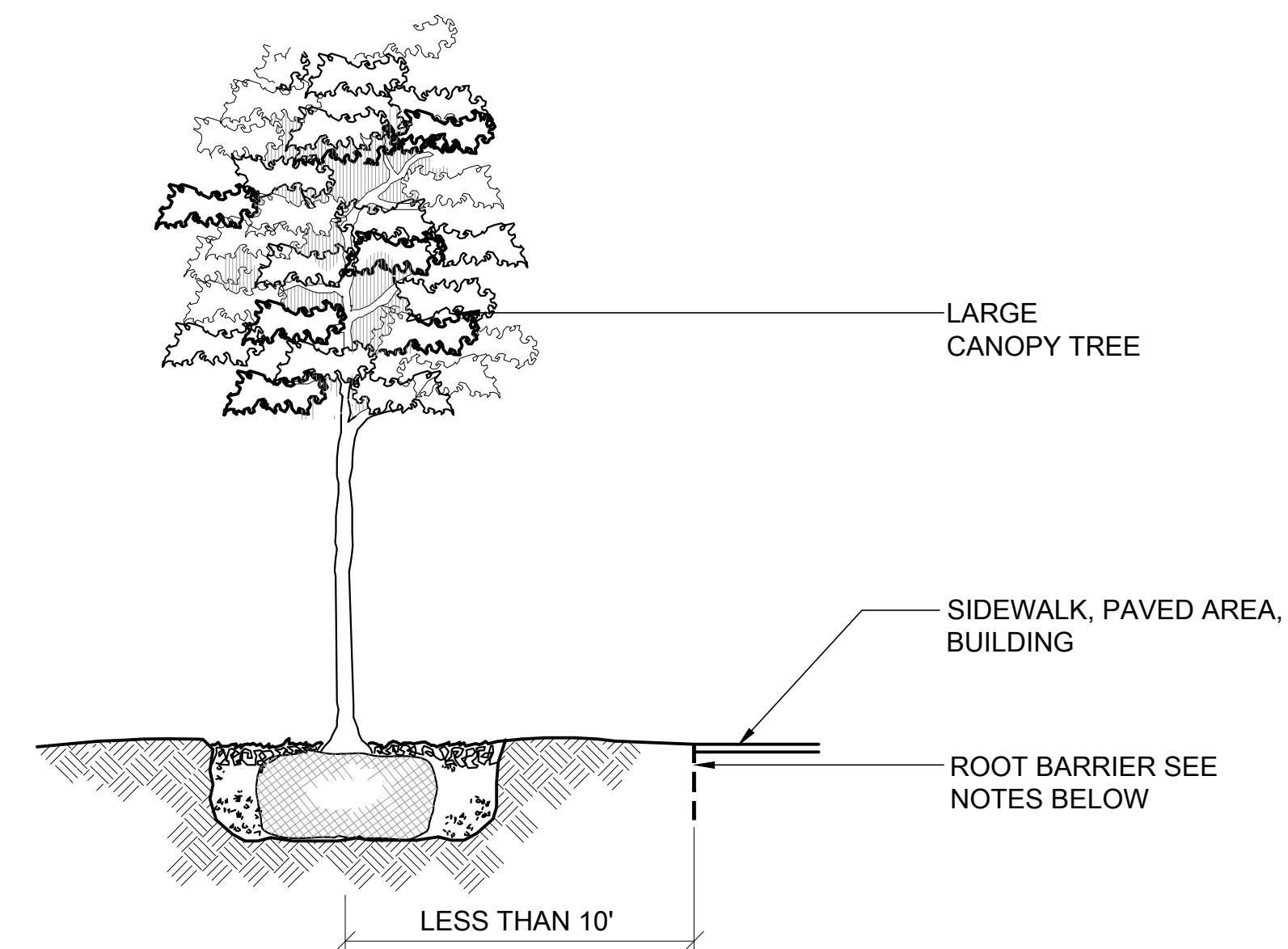
NOTE:
CONTRACTOR SHALL ASSURE
FREE DRAINAGE/PERCOLATION
OF ALL PLANTING PITS/BEDS
PRIOR TO INSTALLATION.

NOTE: PLANT MATERIAL SHALL BE PLANTED 2" HIGH WITH SOIL MOUNDING UP TO THE TOP OF ROOT BALL.



Shrub and Groundcover

A1 SCALE: 1" = 1'-0"
FILE NAME: DT-ShrubGround.dwg

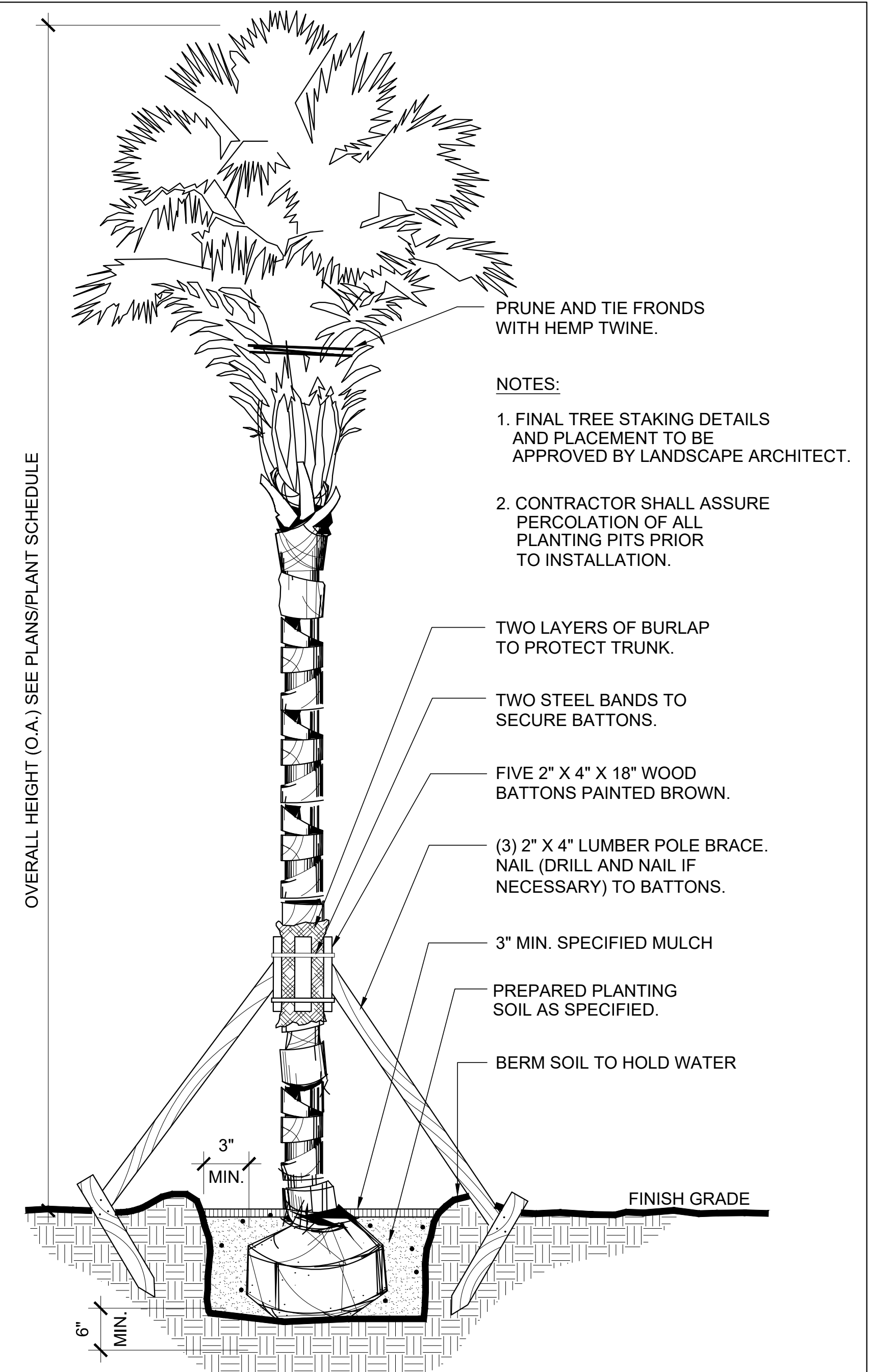


NOTES:

1. A SOLID PANEL 24" DEPTH ROOT BARRIER DEVICE SHALL BE EMPLOYED WITHIN A 20.0' RADIUS OF A TREE WHEN TREES ARE WITHIN 10.0' OF ADJACENT HARDSCAPE SURFACES AND SHALL RUN PARALLEL WITH PAVED AREA OR BUILDING TO A DISTANCE 20.0' OUT EITHER DIRECTION FROM TRUNK.
2. USE UB24-2 POLYETHYLENE SOLID PANEL ROOT BARRIER BY DEEPROOT OR APPROVED EQUAL.
3. ROOT BARRIERS SHALL BE 24" DEPTH AND SHALL EXTEND UP TO FINISHED GRADE.
4. NO TREES ARE TO BE PLANTED WITHIN 5 FEET OF EXISTING OR PROPOSED UNDERGROUND UTILITIES. WHERE A CONFLICT EXISTS, NOTIFY THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO CONTINUED INSTALLATION.
5. USE PHYSICAL ROOT BARRIER WHEN TREES ARE WITHIN 10 FEET OF UNDERGROUND UTILITIES. ROOT BARRIER TO BE NO CLOSER THAN 5 FEET TO UNDERGROUND UTILITY PIPES.
6. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

Root Barrier

A3 SCALE: 1" = 1'-0"
DT-RootBarrier.dwg



NOTES:

1. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.

TWO LAYERS OF BURLAP
TO PROTECT TRUNK.

TWO STEEL BANDS TO
SECURE BATTONS.

FIVE 2" X 4" X 18" WOOD
BATTONS PAINTED BROWN.

(3) 2" X 4" LUMBER POLE BRACE.
NAIL (DRILL AND NAIL IF
NECESSARY) TO BATTONS.

3" MIN. SPECIFIED MULCH

PREPARED PLANTING
SOIL AS SPECIFIED.

BERM SOIL TO HOLD WATER

Palm Tree

B4 SCALE: 1/2" = 1'-0"
DT-WashiPalm.dwg

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Planting Details

Project No. _____

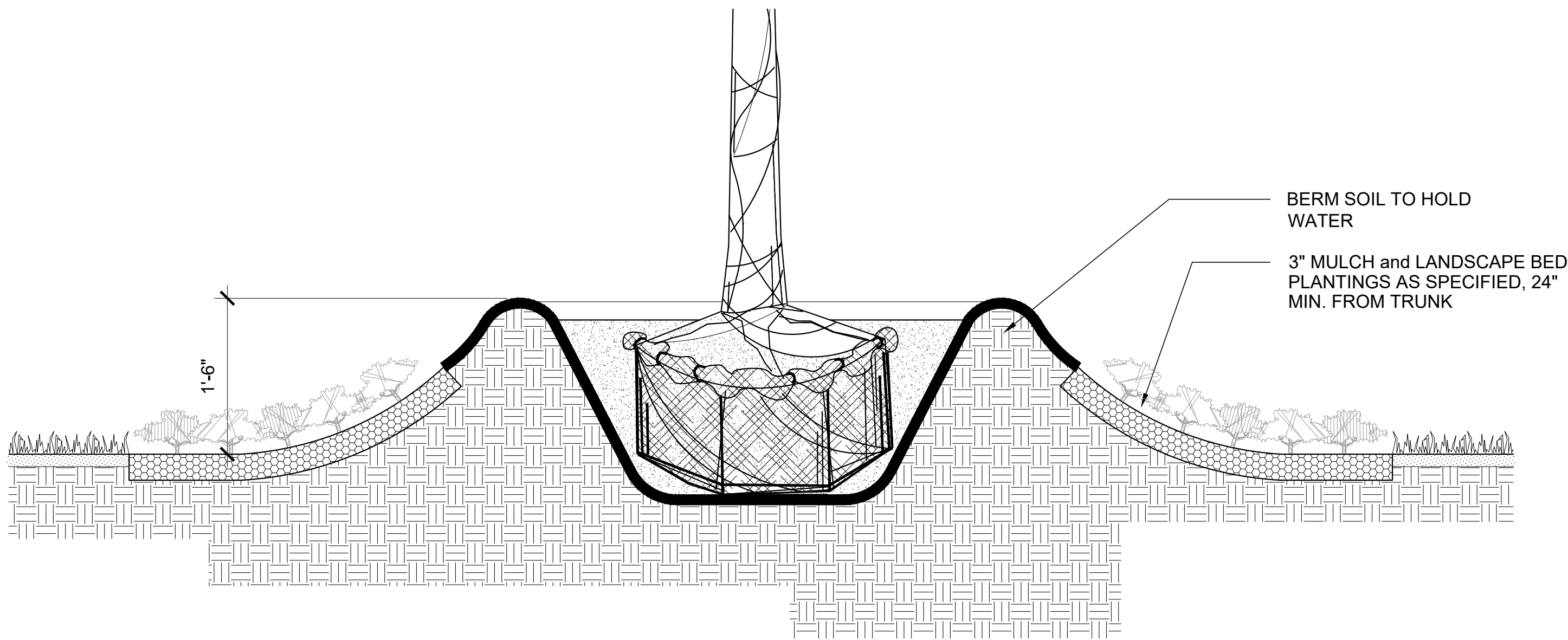
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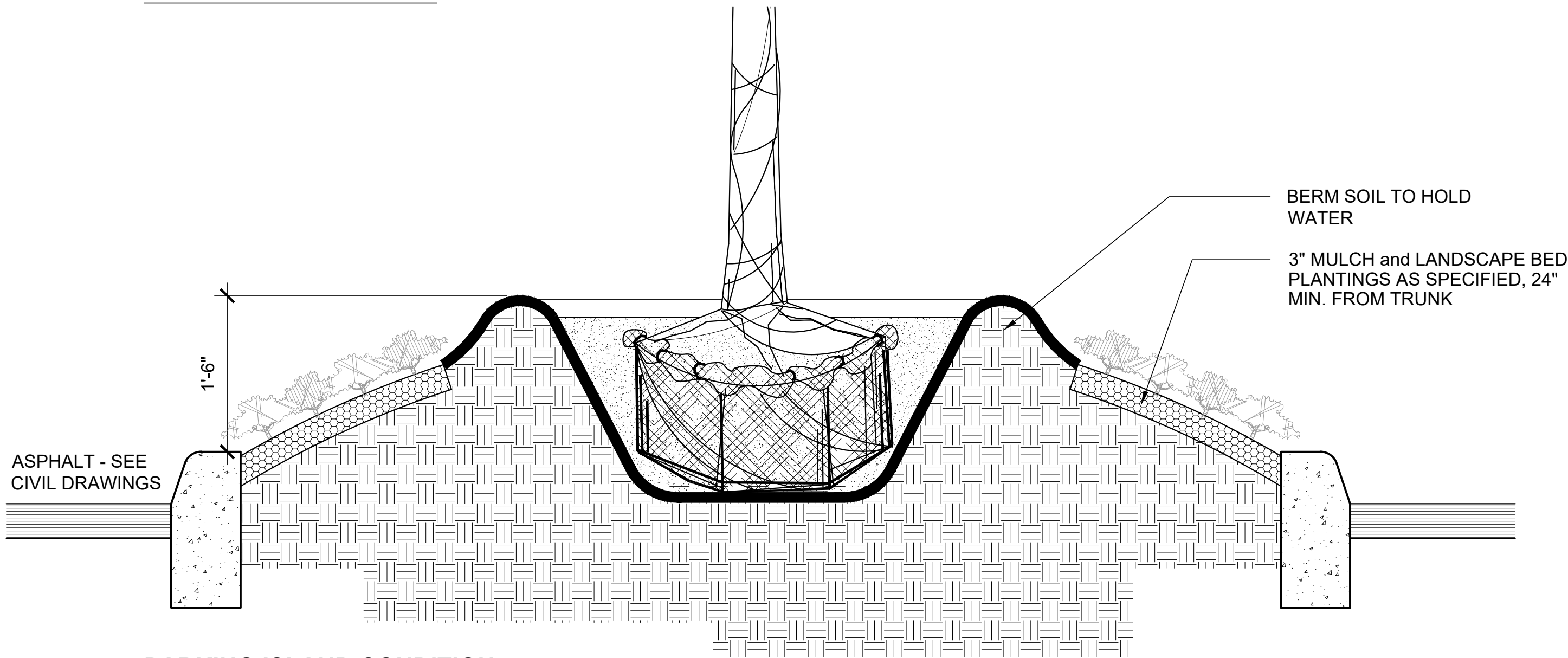
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LANDSCAPE CONDITION



PARKING ISLAND CONDITION

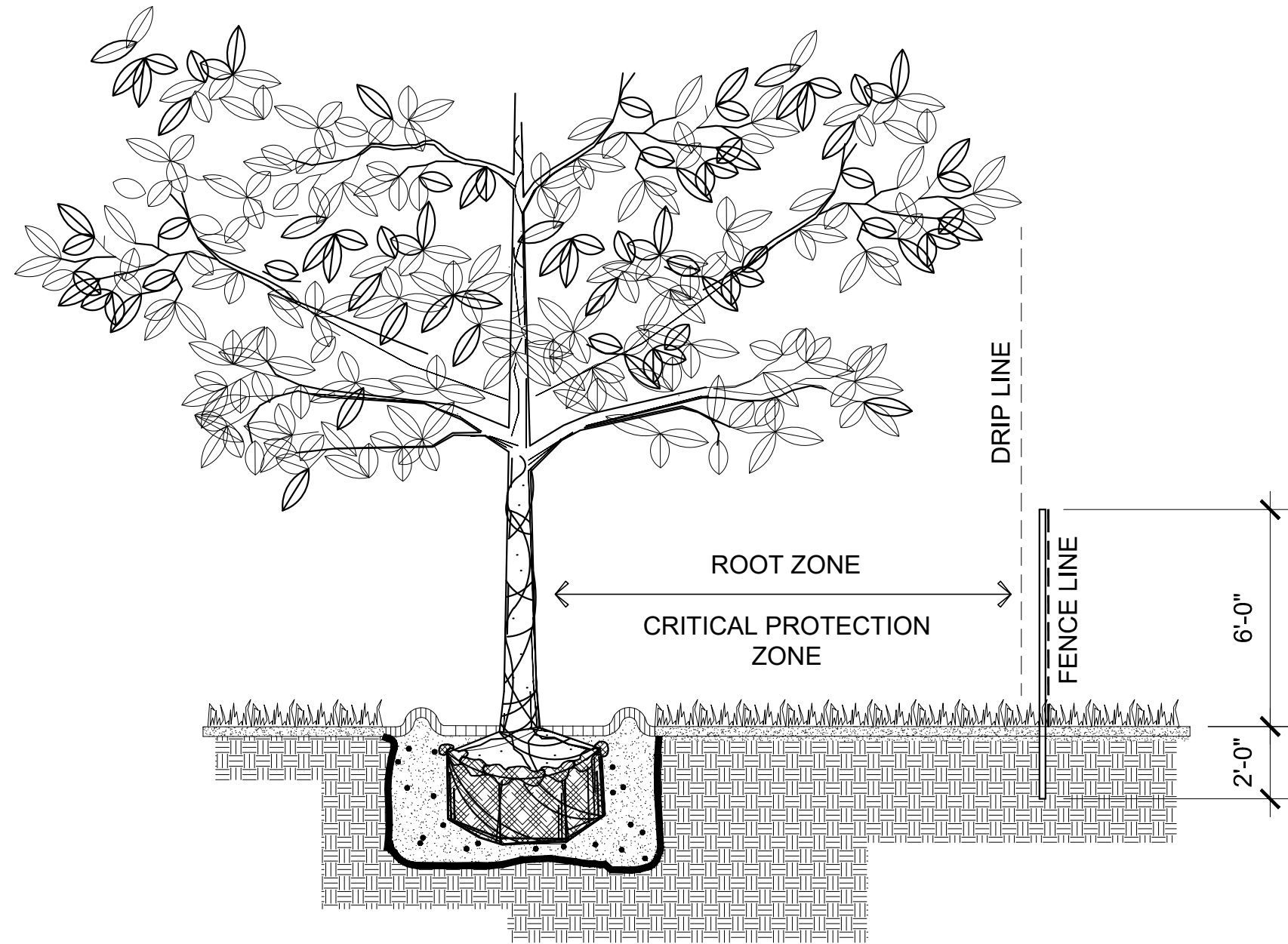
1. ROOT BARRIERS ARE REQUIRED WHERE LARGE CANOPY TREES, SUCH AS LIVE OAKS, ARE WITHIN 15' OF A SIDEWALK, PAVED AREA, OR BUILDING, AND SHALL RUN PARALLEL WITH PAVED AREA OR BUILDING TO A DISTANCE 20' OUT EITHER DIRECTION FROM TRUNK.
2. ROOT BARRIERS SHALL A SOLID INTER-LOCKING PANEL, A MINIMUM OF 18"-24" DEEP, AND SHALL EXTEND UP TO FINISHED GRADE.
3. PRODUCT SPECIFICATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

Oak Tree Planting at Parking Island / Landscape Conditions

A1

SCALE: 1" = 1'-0"

DT-LargeTree_Island.dwg



NOTE:

1. INSTALL 6.0' HEIGHT CHAIN LINK FENCE TREE PROTECTION BARRIER WITH STURDY POSTS EMBEDDED IN GRADE 2.0' MINIMUM. 8.0' MAXIMUM POST SPACING.
2. INSTALL TREE PROTECTION BARRIER BEYOND DRIP LINE OF TREE CANOPY.
3. NO CONSTRUCTION DEBRIS, VEHICLES, CHEMICALS, OR OTHER CONSTRUCTION ACTIVITY SHALL BE ALLOWED WITHIN THE ROOT ZONE.
4. VEGETATION TO BE RELOCATED SHALL BE CROWNED / ROOT PRUNED SIX (6) MONTHS PRIOR TO RELOCATION. CONTRACTOR TO SUPPLY A RELOCATION SCHEDULE FOR ALL MATERIAL TO BE RELOCATED.
5. PROVIDE TEMPORARY IRRIGATION TO ALL ROOT PRUNED VEGETATION.
6. CALL SUNSHINE STATE ONE-CALL BEFORE ROOT PRUNING OR DIGGING FOR RELOCATED VEGETATION.

Tree Protection Barrier

A4

SCALE: 1/4" = 1'-0"

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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

Planting Details	Scale	Revision
Project No. 215615771	N/A	
Drawing No.	Sheet LP503	

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE		REMARKS
	CRA	43	Crinum augustum 'Queen Emma'	Queen Emma	7 Gal.	24" HT		NATIVE		FULL; HIGH SALT TOLERANCE; MODERATE DROUGHT TOLERANCE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE	SPACING	REMARKS
	BOH	119	Bougainvillea spectabilis 'Helen Johnson'	Dwarf Bougainvillea	3 Gal.	24" HT	24" SPR	NON-NATIVE	30" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	COU	225	Coccoloba uvifera	Sea Grape	3 gal	36" HT	24" SPR	NATIVE	36" o.c.	FULL
	FIM	1,031	Ficus microcarpa 'Green Island'	Green Island Ficus	3 Gal.	24" HT	30" SPR	NON-NATIVE	30" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	HYL	1,440	Hymenocallis latifolia	Spider Lily	3 Gal.	18" HT		NATIVE	18" o.c.	FULL; HIGH SALT TOLERANCE; MODERATE DROUGHT TOLERANCE
	JUC	1,370	Juniperus conferta	Shore Juniper	3 Gal.	8" HT		NON-NATIVE	12" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	SCA	122	Schefflera arboricola 'Trinette'	Trinette Variegated Schefflera	3 Gal.	18" HT	18" SPR	NON-NATIVE	30" o.c.	FULL
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	NATIVE		SPACING	REMARKS
	MUC	1,005	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	24" HT	NATIVE		24" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	TRP	620	Tradescantia pallida 'Purpurea'	Purple Queen	1 Gal.	8" HT	NON-NATIVE		12" o.c.	FULL; 3 PPP; MODERATE SALT TOLERANCE; HIGH DROUGHT TOLERANCE
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	NATIVE		SPACING	REMARKS
	SOD	18,015 sf	Zoysia 'Empire'	Empire Turf Zoysia	SOLID SOD PANELS					FULL SOLID PANELS; TIGHT STAGGERED JOINTS; SAND ALL JOINTS AND ROLL

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