# INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FL 33154

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LP601	PLANTING SCHEDULE

PROJECT LOCATION Surfside NORTH BEACH

Ν LOCATION SKETCH

DEVELOPED FOR:



MAYOR: BERNARD KLEPACH VICE MAYOR: JAVIER HOLTZ COUNCIL MEMBER: ROBERT DIENER COUNCIL MEMBER: IRMA BRAMAN COUNCIL MEMBER: IRWIN E. TAUBER

PROJECT No. 215615771 **DECEMBER 22, 2020** 

**BID SET** 

APPROVED BY

SEAN COMPEL, P.E. REGISTERED ENGINEER NO. 66618 STATE OF FLORIDA

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AGENCY SUBMITTAL APPROVAL PERMIT DATE DATE NUMBER						





#### **GENERAL NOTES**

- 1. B.M. DATA IS NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.-29).
- 2 ANY N.G.V.D. BENCH MARK MONIMENTS WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED AND PROPERLY REFERENCED BY A REGISTERED-LAND SURVEYOR IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE. IF ANY MONUMENT IS IN DANGER OF DAMAGE. THE PROJECT ENGINEER SHALL NOTIFY RON TAYLOR, FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) SURVEYING AND MAPPING, 3900 COMMONWEALTH BLVD., MAIL STATION 105, TALLAHASSEE, FLORIDA 32399-3000 TELEPHONE (850) 245-2606.
- 3. ALL PUBLIC LAND CORNERS AND MONUMENTS WITHIN THE LIMITS OF CONSTRUCTION ARE TO BE PROTECTED BY THE CONTRACTOR AS FOLLOWS: CORNERS AND MONUMENTS IN CONFLICT WITH THE WORK AND IN DANGER OF BRNG DAMAGED DESTROYED, OR COVERED SHALL BE PROPERLY REFERENCED BY A REGISTERED-LAND SURVEYOR IN ACCORDANCE WITH THE MINIMUM TECHNICAL STANDARDS OF THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS PRIOR TO BEGINNING WORK AT THE SITE. THE CONTRACTOR SHALL RETAIN THE LAND SURVEYOR TO REFERENCE, AND RESTORE UPON COMPLETION OF THE MARK, ALL SUCH CORNERS AND MONUMENTS AND SHALL FURNISH TO MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT A SIGNED AND SEALED COPY OF THE LAND SURVEYOR'S REFERENCE DRAWING.
- 4. ALL STATIONS AND OFFSETS REFER TO CENTERLINE OF CONSTRUCTION, UNLESS OTHERWISE STATED.
- 5. ALL GRADES SHOWN IN PLAN ARE FINISHED GRADES.
- 6 ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE MIAML-DADE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER STATE OR LOCAL AGENCY WITH JURISDICTION. IT IS THE INTENT OF THESE PLANS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND AUTHORITIES HAVING JURISDICTION. ANY DISCREPANCIES BETWEEN THESE PLANS AND APPLICABLE CODES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- 7. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE EPA AND THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES).
- 8. THE LOCATION AND SIZE OF THE UTILITIES SHOWN IN THE PLANS ARE BASED ON THE BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPROXIMATE ONLY, ADDITIONAL UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL UTILITIES BY ELECTRONIC METHODS AND BY PRE-TRENCHING IN COORDINATION WITH ALL UTILITY COMPANIES, PRIOR TO BEGINNING ANY CONSTRUCTION OPERATION. ANY AND ALL CONFLICTS OF EXISTING UTILITIES WITH PROPOSED IMPROVEMENTS MUST BE RESOLVED BY THE ENGINEER AND THE OWNER. THIS WORK BY THE CONTRACTOR SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.
- 9. EXISTING TOPOGRAPHIC INFORMATION WAS OBTAINED FROM SURVEY PREPARED BY HADONE PROFESSIONAL LAND SURVEYORS AND MAPPERS
- 10 CONTRACTOR SHALL CONTACT SUNSHINE STATE ONE-CALL AT 1-(800)-432-4770 AT LEAST 48 HOURS PRIOR TO PERFORMING ANY DIGGING TO VERIFY THE EXACT LOCATION OF EXISTING UTILITIES. A CONTRACTOR'S REPRESENTATIVE MUST BE PRESENT WHEN UTILITY COMPANIES LOCATE THEIR FACILITIES. CONTRACTOR SHALL CALL ALL UTILITY COMPANIES TO VERIFY EXACT LOCATION OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES, VILLAGE OF INDIAN CREEK, AND OTHER CONTRACTORS TO MINIMIZE DISRUPTION OR INTERFERENCE TO THE CONTRACTOR'S WORK.
- 11. THE CONTRACTOR IS TO USE CAUTION WHEN WORKING IN OR AROUND AREAS OF OVERHEAD AND UNDERGROUND UTILITIES.
- 12.MIAMI-DADE WATER AND SEWER DEPARTMENT REQUIRES THAT ACCESS TO ALL WATER AND SEWER VALVES, SANITARY MANHOLES, AND OTHER CONTROL MECHANISMS BE MAINTAINED THROUGHOUT CONSTRUCTION IN THE EVENT OF AN EMERGENCY TO ENSURE THE PUBLIC HEALTH AND SAFETY. COVERING VALVE BOXES AND MANHOLES CAN BE CONSIDERED UNAUTHORIZED OBSTRUCTION OF AND TAMPERING WITH DEPARTMENT UTILITIES. ALL REQUESTS FOR UTILITY ADJUSTMENTS MUST BE MADE IN WRITING AT LEAST TWO (2) WEEKS IN ADVANCE, FOR MANHOLE AND VALVES, CONTACT THE CONSTRUCTION MANAGEMENT SECTION, PUMP STATIONS UNIT, 3071 SW 38 AVENUE, FAX NO. 305-668-3626. THE DEPARTMENT WILL MAKE ONE FINAL AND PERMANENT ADJUSTMENT AT NO COST TO THE REQUESTING AGENCY. FOR THE ADJUSTMENT OF WATER METERS, CONTACT THE CHIEF OF METER OPERATIONS AND MAINTENANCE, FAX NO. 305-545-3482.
  FOR ANY ARE HYDRANTS THAT ARE DAMAGED OR BUMPED DURING CONSTRUCTION, CONTACT THE MDWASD HYDRANT SHOP AT 305-805-4575 BEFORE POURING CONCRETE FOR THE SIDEWALK. IN THE EVENT OF A WATER OR SEWER EMERGENCY, CONTACT MIAMI DADE WATER AND SEE DEPARTMENT AT 305-274-9272. THIS LINE IS OPEN 24 HOURS, 7 DAYS A
- 13. KNOWN UTILITY COMPANIES IN THE PROJECT LIMITS INCLUDE, BUT ARE NOT LIMITED TO:

FP&L: (800) 868-9554 & (305) 552-2931

AT&T: (305) 222-8745

Revision

MIAMI-DADE WATER AND SEWER DEPT .: (786) 288-5255

COMCAST CABLE: (954) 447-8405

FLORIDA CITY GAS: (305) 835-3632 MIAMI DADE COUNTY PUBLIC WORKS: (305) 592-8925

- 14 THE CONTRACTOR IS ADVISED THAT PROPERTIES ADJACENT TO THE PROJECT HAVE ELECTRIC. TELEPHONE, GAS, WATER AND/OR SEWER SERVICE LATERALS WHICH MAY NOT BE SHOWN IN PLANS. THE CONTRACTOR MUST REQUEST THE LOCATION OF THESE LATERAL SERVICES FROM THE UTILITY COMPANIES. THE ADDITIONAL COST OF EXCAVATING INSTALLING BACKEILLING AND COMPACTING AROUND THESE LATERAL SERVICES MUST BE INCLUDED IN THE BID RELATED ITEM FOR THE WORK BEING DONE.
- 15.ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY SHALL BE RESTORED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. ASPHALT, CONCRETE OR PAVER DRIVEWAYS ON PRIVATE PROPERTY ABUTTING RIGHT-OF-WAY WHICH ARE DAMAGED OR IMPACTED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AS DIRECTED BY THE ENGINEER.
- 16.CLEARING AND GRUBBING, GRADING AND OTHER INCIDENTAL WORK NECESSARY FOR HARMONIZATION OUTSIDE R/W SHALL BE INCLUDED IN RELATED BID ITEMS.
- 17 ALL GRASS AREAS AFFECTED BY CONSTRUCTION SHALL BE RE-SODDED. SODDING TO BE LISED AT LOCATIONS WHERE EXISTING LAWNS OR SWALES ARE DISTRUBED, AT CONTRACTORS EXPENSE AS DIRECTED BY THE ENGINEER
- 18. THE CONTRACTOR SHOULD TAKE SPECIAL NOTE OF SOIL CONDITIONS THROUGHOUT THIS PROJECT. ANY SPECIAL SHORING, SHEETING OR OTHER PROCEDURES NECESSARY TO PROTECT ADJACENT PROPERTY, PUBLIC OR PRIVATE, DURING THE EXCAVATION OF SUBSOIL MATERIAL AND EXPLTRATION TRENCH, OR FILLING OF ANY AREA, OR FOR ANY OPERATION DURING CONSTRUCTION, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- 19.IF SHEETING, SHORING, OR DEWATERING, INCLUDING WELL POINTS ARE NECESSARY, THE CONTRACTOR MUST MONITOF AND CONTROL ALL WORK THAT MAY CAUSE CRACKING TO ANY ADJACENT BUILDING, STRUCTURE, OR PROPERTY AREA, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY THESE OPERATIONS. COST OF SHEETING, SHORING, OR DEWATERING SHALL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE
- 20.THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE DEWATERING PERMIT. COST OF THE PERMIT AND DEWATERING SHALL BE INCLUDED IN THE RELATED BID ITEM FOR THE WORK BEING DONE.
- 21.THE CONTRACTOR WILL RESTRICT PERSONEL, THE USE OF EQUIPMENT, AND THE STORAGE OF MATERIALS TO AREAS WITHIN THE LIMITS OF CONSTRUCTION AND DESIGNATED STAGING AREA.
- 22.EXPLORATORY OR PRE-TRENCHING IN THE ALIGNMENT AND GRADE OF PROPOSED PIPES, STRUCTUES, FRENCH DRAINS, CONDUITS, POLE FOUNDATIONS AND/OR SUBGRADE PERFORMED SEVEN DAYS ADVANCE OF ITS CONSTRUCTION AS DIRECTED BY THE ENGINEER. THE CONTRACTOR SHALL PROVIDE UNDERGROUND UTILITY OWNERS AND THE DEPARTMENT WITH IMMEDIATE NOTIFICATION OF ANY CONFLICT WITH PROPOSED CONSTRUCTION. THIS NOTIFICATION SHALL PROVIDE SURVEY INFORMATION ABOUT EXISTING UTILITY ALIGNMENT, GRADE AND POSSIBLE CONFLICTS. PAYMENT FOR EXPLORATORY OR PRE-TRENCHING, SURVEY AND BACKFILLING SHALL BE INCLUDED IN THE COST OF THE RELATED BID ITEM
- 23.ALL DITCH EXCAVATIONS SHALL BE PERFORMED IN FULL COMPLIANCE WITH THE PROVISIONS OF THE TRENCH SAFETY ACT.
- 24.ALL EXCESS MATERIAL. AS DESIGNATED BY THE ENGINEER, IS TO BE DISPOSED BY THE CONTRACTOR IN LEGAL AREAS

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PROVIDED BY HIM WITHIN 72 HOURS OF BEING DEPOSITED IN THE CONSTRUCTION AREA AND AT THE CONTRACTOR'S

- 25.ALL DISPOSAL OF MATERIALS, RUBBISH, AND DEBRIS SHALL BE MADE AT A LEGAL DISPOSAL SITE OR BY OTHER PRIOR APPROVED MANNER. MATERIAL CLEARED FROM THE SITE AND DEPOSITED ON ADJACENT OR NEARBY PROPERTY WILL NOT BE CONSIDERED AS HAVING BEEN DISPOSED OF SATISFACTORILY.
- 26 ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE PROJECT ENGINEER, WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE ENGINEER WILL ARRANGE FOR INVESTIGATION, IDENTIFICATION, AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE PROJECT ENGINEER.
- 27.EXISTING ABOVE GROUND FEATURES ARE SHOWN ACCORDING TO THE BEST AVAILABLE DATA AND MAY NOT ACCURATELY REFLECT PRESENT CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH CURRENT SITE CONDITIONS AND SHALL REPORT DISCREPANCIES TO THE ENGINEER PRIOR TO STARTING WORK.
- 28. CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING TREES, STRUCTURES AND UTILITIES, WHICH MAY NOT BE SHOWN ON PLANS. ANY STRUCTURE, PAVEMENT, TREES OR OTHER EXISTING IMPROVEMENT NOT SPECIFIED FOR REMOVAL WHICH IS TEMPORARY DAMAGED, EXPOSED OR IN ANY WAY DISTURBED BY CONSTRUCTION PERFORMED UNDER THIS CONTRACT, SHALL BE REPAIRED, PATCHED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- 29. CONTRACTOR TO RELOCATE TREES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL AVOID DAMAGE TO ANY EXISTING TREES TO REMAIN. EXISTING TREES SHALL BE REMOVED ONLY IF REQUIRED FOR CONSTRUCTION. THOSE TREES NOT INTERFERING WITH CONSTRUCTION SHALL BE PROTECTED IN PLACE.
- 30 TRAFFIC SHALL BE MAINTAINED ON DUST FREE ASPHALT SURFACE AT ALL TIMES. THE CONTRACTOR SHALL USE A STREET SWEEPER (USING WATER) OR OTHER EQUIPMENT CAPABLE OF CONTROLLING AND REMOVING DUST. APPROVAL OF THE USE OF SUCH EQUIPMENT IS CONTINGENT UPON ITS DEMONSTRATED ABILITY TO DO THE WORK.
- 31. THE CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR ALL ITEMS USED IN THIS PROJECT
- 32. WHEN DISSIMILAR MATERIAL CONNECTIONS ARE MADE, SUCH AS CONCRETE TO METAL, THE DISSIMILAR MATERIAL SHALL BE SEPARATED BY COATING THE CONTACT SURFACE WITH BITUMASTIC MATERIAL.
- 33.THE CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING AND NEW INLETS CLEAN OF MILLING MATERIAL, LIMEROCK, DEBRIS, ETC. DURING THE CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER. ALL LINES AND STRUCTURES SHALL BE CLEANED PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
- 34. CAST IRON PRODUCTS: HEAVY-DUTY CLASSIFICATION SUITABLE FOR HIGHWAY TRAFFIC LOADS OF 16,000 LBS WHEEL LOADS.
- 35.STEEL GRATING AND COVERS: TRAFFIC CLASSIFICATION H-20; 16,000 LBS OVER 8"X20" AREA.
- 36.EXISTING DRAINAGE STRUCTURES WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED UNLESS OTHERWISE NOTED.
- 37 EXISTING MANHOLES AND INLETS SCHEDULED TO REMAIN SHALL BE THOROUGHLY CLEANED BY REMOVING ALL DEBRIS AND SEDIMENTS, AND THE INTERIOR SHALL BE SEALED WITH AN APPROVED NON-TOXIC BITUMASTIC SEALANT
- 38.PRIOR TO CONSTRUCTION THE CONTRACTOR WILL INSPECT ALL EXISTING STRUCTURES WHICH ARE TO REMAIN AND NOTIFY THE ENGINEER OF ANY OBVIOUS STRUCTURAL DEFICIENCIES.
- 39. CONTRACTOR SHALL ADJUST ALL EXISTING CATCH BASINS, GRATES, AND STORM MANHOLE COVERS TO MEET NEW GRADES
- 40.ELEVATIONS AND OFFSETS SHOWN AT DRAINAGE STRUCTURES REFER TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 41 RADII ON CURB RETURNS ARE TO THE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- 42.PRIOR TO CONSTRUCTION THE CONTRACTOR WILL VERIFY INVERT ELEVATIONS OF ALL PIPES WHICH ARE TO REMAIN AND NOTIFY THE ENGINEER OF ANY ELEVATION DEVIATIONS.
- 43.THERE SHALL BE NO MORE THAN THREE LATERAL DRAINAGE INSTALLATIONS WITHOUT BACKFILLING. BACKFILLING OF LATERAL DRAINAGE SHALL NOT LAG MORE THAN 72 HOURS BEHIND THE START OF EXCAVATION.
- 44 SPECIAL ATTENTION IS DIRECTED TO THE FACT THAT PORTIONS OF SOME DRAINAGE STRUCTURES EXTEND INTO THE STABILIZED PORTION OF THE ROADBED AND EXTREME CAUTION SHOULD BE USED IN THE STABILIZING OPERATIONS AT THESE LOCATIONS.
- 45.THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION, INSTALLATION, AND MAINTENANCE OF ALL TRAFFIC CONTROL AND SAFETY DEVICES, IN ACCORDANCE WITH SPECIFICATIONS OUTLINED IN THE PUBLIC WORKS STANDARD DETAILS, THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND THE FDOT DESIGN STANDARDS.
- 46. WHERE NEW PAVEMENT MEETS EXISTING, CONNECTION SHALL BE MADE IN A NEAT STRAIGHT LINE AND FLUSH WITH THE EXISTING PAVEMENT.
- 47.THE LOCATION OF SOME DRIVEWAYS IS APPROXIMATE. VERIFICATION OF EXACT LOCATION AND DIMENSIONS IS RECOMMENDED.
- 48.EXISTING DRIVEWAYS WITHIN THE LIMITS OF THIS PROJECT ARE TO BE REPLACED AT THE SAME LOCATION AND WIDTH, UNLESS OTHERWISE SHOWN IN PLANS.
- 49 WHERE CONNECTIONS TO EXISTING SIDEWALKS AND DRIVEWAYS ARE NOT INDICATED ON PLANS, PROPER CONNECTIONS ACCESS TO ALL PRIVATE PROPERTIES ADJACENT TO THE PROJECT, PAYMENT SHALL BE INCLUDED IN THE COST OF RELATED
- 50. CONTRACTOR TO INSTALL ½" PREFORMED EXPANSION JOINT WHEN PROPOSED SIDEWALK IMPROVEMENTS IS IMMEDIATELY ADJACENT TO EXISTING CONCRETE SLAB AND/OR BUILDING.
- 51.COMPLETE AS-BUILT INFORMATION RELATIVE TO LOCATION AND DEPTH OF PIPES, MANHOLES, ETC. SHALL BE ACCURATELY RECORDED BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER PRIOR TO FINAL ACCEPTANCE OF THE WORK, ALL ELEVATIONS SHALL BE TAKEN BY A FLORIDA REGISTERED SURVEYOR AND SHOWN ON THE RECORD DRAWINGS.
- 52.DESIGN WATER TABLE ELEVATION: 1.50' NGVD29
- 53.MIAMI-DADE COUNTY FLOOD CRITERIA ELEVATION: 8.00' NGVD29 (ZONE AE)
- 54 THE INFORMATION PROVIDED IN THESE DRAWINGS IS SOLELY TO ASSIST THE CONTRACTOR IN ASSESSING THE NATURE AND EXTENT OF CONDITIONS WHICH WILL BE ENCOUNTERED DURING THE COURSE OF WORK. THE CONTRACTORS ARE DIRECTED, PRIOR TO BIDDING, TO CONDUCT WHATEVER INVESTIGATIONS THEY DEEM NECESSARY TO ARRIVE AT THEIR OWN CONCLUSION REGARDING THE ACTUAL CONDITIONS THAT WILL BE ENCOUNTERED. AND UPON WHICH BIDS WILL BE BASED.
- 55.LOCAL RESIDENTS, PROPERTY OWNERS AND TENANTS WITHIN THE AREA OF CONSTRUCTION SHALL BE GIVEN ACCESS TO THEIR PROPERTY DURING ALL PHASES OF CONSTRUCTION.
- 56.CONTRACTOR SHALL REMOVE ANY EXISTING STRIPING THAT CONFLICTS WITH THE MAINTENANCE OF TRAFFIC DURING CONSTRUCTION AND PROVIDE ADEQUATE TEMPORARY SIGNING AND/OR STRIPING USING REFLECTORIZED PAINT
- 57.PAVED ASPHALT TEMPORARY PAVEMENT AND CONNECTIONS SHALL BE PROVIDED THROUGHOUT PROJECT, AS NEEDED AND DIRECTED BY THE ENGINEER TO MAINTAIN TRAFFIC AND ACCESS. 58.CONTRACTOR SHALL PRESERVE ALL STREET SIGNS, BENCHES, TRAFFIC CONTROL SIGNS, ETC. AS DIRECTED BY THE
- ENGINEER. WHEN DIRECTED BY THE ENGINEER, CONTRACTOR SHALL INSTALL OR DELIVER SAID PUBLIC PROPERTY TO THE VILLAGE OF INDIAN CREEK AND/OR MIAMI-DADE COUNTY PUBLIC WORKS DEPARTMENT.
- 59. CONTRACTOR SHALL COORDINATE WITH THE IRRIGATION AND ELECTRICAL SUB-CONTRACTORS FOR THE INSTALLATION OF ANY NECESSARY SLEEVES UNDER THE PAVEMENT.
- 60.CONTRACTOR SHALL REPLACE EXISTING WATER METER BOXES AND ADJUST EXISTING WATER METERS AS NEEDED. CONTRACTOR SHALL ADJUST OR REPLACE EXISTING ELECTRICAL AND SIGNAL PULL BOXES AS NEEDED
- 61.ALL EXISTING FIRE HYDRANTS SHALL REMAIN UNDISTURBED AND SHALL BE PROTECTED, UNLESS OTHERWISE NOTED
- 62.CONTRACTOR SHALL CAREFULLY SAW-CUT ANY ROOTS IN CONFLICT WITH CONSTRUCTION OF CURB, SIDEWALK, DRAINAGE OR UTILITIES. ROOTS TORN BY BACKHOE WILL NOT BE ALLOWED.

- 63. CONTRACTOR SHALL MAINTAIN TRENCHING TO THE MINIMUM REQUIRED TO DO WORK TO AVOID DAMAGE TO TREES.
- 64 RESIDENTS, PROPERTY OWNERS AND TENANTS ALONG PROJECT ROLLTE SHALL RECEIVE MINIMUM SEVEN (7) DAY ADVANCE WRITTEN NOTIFICATION BY CONTRACTOR OF WORK TO BE PERFORMED IN FRONT OF THEIR PROPERTY. THESE NOTIFICATIONS SHALL BE COORDINATED WITH THE VILLAGE OF INDIAN CREEK REPRESENTATIVE.
- 65.ALL PEDESTRIAN PATH CLOSURES SHALL BE PROVIDED BY THE CONTRACTOR WITH PROPER PEDESTRIAN DIRECTIONAL DETOUR SIGNAGE, OR AS DIRECTED BY THE ENGINEER.
- 66.CONTRACTOR SHALL RELOCATE ALL EXISTING MAILBOXES IN CONFLICT WITH PROPOSED CONSTRUCTION AS PER MIAMI-DADE COUNTY PUBLIC WORKS ROADWAY STANDARDS AND CONSTRUCTION STANDARD DETAILS.
- 67. CONTRACTOR SHALL CONFORM TO ALL LATEST STANDARDS OF F.D.O.T. AND MIAMI-DADE COUNTY PUBLIC WORKS ROADWAY STANDARDS AND CONSTRUCTION STANDARD DETAIL5.
- 68.NOTHING, INCLUDING UTILITIES, FURNISHINGS AND LANDSCAPING CAN PROTRUDE INTO THE PEDESTRIAN CLEAR PATH ZONE, FROM 27" TO 80" HIGH, AND FOR NOT MORE THAN 4" IN WIDTH.

#### MAINTENANCE OF TRAFFIC CRITERIA

- 1 BRIDGE WEIGHT LIMITS OF 16 TONS WILL BE STRICTLY ENFORCED MONITORED ACCESS FROM THE MAINLAND IS BRIDGE WEIGHT LIMITS OF 16 TONS WILL BE STRICTLY ENFORCED. MONITORED ACCESS FROM THE MAINLAND IS PROVIDED BY THE VILLAGE POLICE DEPARTMENT AT ENTRY GATE CONTROL. ALL LARGE VECHICLES ATTEMPTING A BRIDGE CROSSING WILL BE REQUIRED TO PRESENT A TARE CERTIFICATE OR OTHER CERTIFIED WEIGHT DOCUMENT PRIOR TO BEING GRANTED ACCESS. THE CONTRACTOR MUST PROVIDE METHODS TO SECURE VEHICLES LEAVING THE ISLAND SIDE FROM EXCEEDING THIS LIMIT, PORTABLE SCALES, FLAGGERS, TRAFFIC CONTROL DEVICES, ETC. ARE EXAMPLES OF PROCEDURES CONTRACTOR MAY UTILIZE. PRIOR TO START OF CONSTRUCTION A DETAILED PLAN ON CONFORMANCE MUST BE SUBMITTED TO VILLAGE REPRESENTATIVES FOR APPROVAL.
- 2 IN THE EVENT THAT A POLICE DETAIL IS REQUIRED DURING THE PROJECT TO ASSIST IN A UNIQUE CONSTRUCTION ACTIVITY THAT MAY IMPACT TRAFFIC BEYOND THE NORMAL DAILY WORK, THE CONTRACTOR WILL BE REQUIRED TO DETERMINE NEED AND SCHEDULING OF SAME. A MINIMUM 48 HOUR NOTICE MUST BE PROVIDED TO THE VILLAGE POLICE DEPARTMENT, CONTRACTOR WILL BE RESPONSIBLE FOR COSTS ASSOCIATED WITH SAID DETAILS, AN ALLOWANCE IS PROVIDED IN THE BID DOCUMENT FOR THIS PURPOSE.
- 3. TRAFFIC CONTROLS SHALL BE IN ACCORDANCE AND COORDINATED WITH THE PROJECT PLANS WHICH DELINEATE THE SCOPE OF ANTICIPATED ROADWAY DISRUPTION.
- 4. THE CONTRACTOR SHALL DEVELOP MAINTENANCE OF TRAFFIC PLAN OF THEIR OWN, WHICH MUST MEET WITH THE REQUIREMENTS SPECIFIED HEREIN. THE CONTRACTOR'S MAINTENANCE OF TRAFFIC OWN, WHICH MOST MEET WITH THE TO THE VILLAGE REPRESENTATIVES PRIOR TO IMPLEMENTATION OF SAME AND NO LESS THAN 14 DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION FOR REVIEW AND APPROVAL. THE PROPOSED MOT WILL TAKE INTO ACCOUNT THE WORK ANTICIPATED WILL BE CONFINED TO LIMITED AREAS WHICH WILL REACH SUBSTANTIAL COMPLETION PRIOR TO
- 5. IN THE EVENT ANY TEMPORARY PAVEMENT IS REQUIRED TO PROPERLY EXECUTE THE PROJECT SCOPE OF WORK THE PAVEMENT SHALL CONSIST OF A MINIMUM OF 6 INCH LIMEROCK BASE, PRIME COAT AND FAVEMENT STALL CUNSIST OF A MINIMUM OF 6 INCH LIMEROCK BASE, PRIME COAT AND 11/2" OF ASPHALTIC MATERIAL. THE BASE LAVER SHALL BE PLACED OVER A FIRM, UNYIELDING, WELL-COMPACTED SUBGRADE. COST OF CONSTRUCTION AND REMOVAL OF ANY TEMPORARY PAVEMENT DEEMED NECESSARY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INCLUDED IN HIS CONTRACT SUM.
- 6. AT THE DISCRETION OF THE VILLAGE REPRESENTATIVES, IF A LANE CLOSURE CAUSES EXTENDED CONGESTION OR DELAY, THE CONTRACTOR SHALL BE DIRECTED TO REASSESS THE CLOSED LANE AND IMPLEMENT ALTERNATE PROCEDURES UNTIL SUCH TIME THAT TRAFFIC FLOW HAS RETURNED TO AN ACCEPTABLE LEVEL.
- 7. THE TRAFFIC AND TRAVEL WAYS SHALL NOT BE ALTERED BY THE CONTRACTOR TO CREATE A WORK ZONE UNTIL ALL LABOR AND MATERIAL ARE AVAILABLE FOR THE CONSTRUCTION IN THAT AREA.
- 8. REGULATORY SPEED ESTABLISHED WITHIN THE WORK ZONE TRAVEL WAYS SHALL BE 10 M.P.H. REDUCED SPEED AND REGULATORY SPEED SIGNS SHALL BE INSTALLED ON SEPARATE POSTS WITHIN THE CONSTRUCTION WORK ZONE
- 9. CONTRACTOR SHALL MAINTAIN ACCESS TO PRIVATE RESIDENTIAL AND THE COUNTRY CLUB PROPERTY DURING AII PHASES OF CONSTRUCTION, TRENCH EXCAVATIONS CROSSING ACCESS TO RESIDENCES MUST BE ACCOMPLISHED IN MULTIPLE PHASES AFFORDING ACCESS WITHOUT UNDUE DELAY. USE OF STEEL PLATES IS ACCEPTABLE.
- 10. THE CONTRACTOR SHALL PROMPTLY REMOVE WORK ZONE SIGNS WHEN CONDITIONS NO LONGER WARRANT THEIR USE.
- 11.THE CONTRACTOR SHALL NOT PROPOSE ANY ALTERNATIVE TRAFFIC CONTROL PLAN THAT REDUCES THE NUMBER OF TRAVEL LANES SHOWN ON THE CONTRACT TRAFFIC CONTROL PLANS. 12.DURING ASPHALT CONSTRUCTION OPERATIONS. NO MORE THAN 1-1/4" DROP-OFF BETWEEN ADJACENT TRAVEL LANES OR AT TRANSVERSE JOINTS SHALL BE ALLOWED WHEN LANES ARE OPEN TO TRAFFIC. WHERE DROP OFF CONDITIONS EXIST,
- THE SIGNING FOR UNEVEN PAVEMENT SHALL BE INSTALLED FOR THE DURATION OF THE CONDITION. 13 THE CONTRACTOR IS TO PLACE TEMPORARY OR REMOVABLE PAVEMENT MARKINGS BETWEEN EACH LAVER OF
- PAVEMENT, AND IS RESPONSIBLE FOR THE TEMPORARY RELOCATION OF STOP BARS & STOP SIGNS AS APPLICABLE. PAVEMENT MARKINGS AND BARRICADES PLACEMENT SHALL BE APPROPRIATELY COORDINATED.
- 14. CONTRACTOR SHALL PROVIDE A PATH TO ALLOW SAFE PEDESTRIAN PASSAGE AROUND THE WORK ZONE(S) AT ALL TIMES.
- 15 DURING TIMES OF ACTUAL WORK ACTIVITIES FLAGGERS WILL BE REQUIRED AT BOTH EXTREMES OF THE CONSTRUCTION AREA WHERE ONE LANE TRAFFIC EXISTS IN CONSTANT VISUAL OR RADIO COMMUNICATIONS TO PREVENT HEAD ON CONFLICTS. MONITORING OF INTERMEDIATE TRAFFIC INSERTION IS ALSO REQUIRED. THE CONTRACTOR SHALL MAINTAIN AUTOMATED TEMPORARY SIGNALIZATION TO CONTROL SINGLE LANE TRAFFIC DURING NON-CONSTRUCTION PERIODS. AUTOMATED TRAFFIC SIGNALS WILL BE PROVIDED WITH UNINTERRUPTIBLE POWER SOURCE.
- 16.TRAFFIC SHALL BE MAINTAINED ON A PAVED, DUST-FREE SURFACE AT ALL TIMES. ALL LANES TEMPORARY OR PERMANENT MUST BE MAINTAINED WITH A 10' MINIMUM WIDTH.
- 17. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE EROSION CONTROL MEASURES TO PREVENT CLOGGING OF DRAINAGE STRUCTURES AND SEDIMENT INTRUSION ON WATERWAYS DURING CONSTRUCTION. THESE MEASURES SHALL BE APPROVED BY THE VILLAGE'S REPRESENTATIVES AND CONFORM WITH CURRENT APPLICABLE ENVIRONMENTAL
- 18 CONTRACTOR MUST MAINTAIN DRAINAGE AT ALL TIMES. THE EXISTING DRAINAGE SYSTEM SHALL BE KEPT OPERATIONAL OR TEMPORARY DRAINAGE PROVIDED WHILE THE PROPOSED DRAINAGE SYSTEM IS BEING CONSTRUCTED.
- 19. AT THE END OF EACH WORK DAY OR WHENEVER THE WORK ZONE BECOMES INACTIVE, ANY DROP OFF GREATER THAN 6 INCHES (150 MM) ADJACENT TO THE PEDESTRIAN BICYCLE, AND WHEELCHAIR TRAVEL PATHS SHALL BE BACKFILLED FLUSH WITH SAND PATHS OR PROTECTED WITH TEMPORARY FENCE, CONCRETE BARRIER WALL OR APPROVED HANDRAIL
- 20.THE CONTRACTOR SHALL FURNISH AND MAINTAIN VARIABLE MESSAGE SIGNS AS DIRECTED BY THE VILLAGE REPRESENTATIVES FOR THE DURATION OF THE CONTRACT. MESSAGES FOR THE VMS SHALL BE AS DIRECTED BY THE VILLAGE. THE VMS SHALL BE IN PLACE ONE WEEK BEFORE THE START OF ANY WORK ITEMS AFFECTING THE EXISTING VEHICULAR AND PEDESTRIAN TRAFFIC

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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

 File Name: 15771\_GENERAL NOTES.DWG
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 2020-12-22

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**GENERAL NOTES** Project No. Scale 215615771 Drawing No Sheet Revision G-01 of 152

- ALL MATERIALS AND LABOR UNIDER THIS PROJECT SHALL BE IN STRICT ACCORDANCE WITH THE REDUREMENTS OF THE MANIF-DADE WATER AND SPECIFICATIONS ANALYSES. AND SPECIFICATIONS ANALYSES AND ON THE WITH THE GEPATRICTS. SIGNATURE PROBRISES FOR ALL IMMERSIALS.
- 2. COVER OVER WATER OR SEWER FORCE MAINS SHALL BE 4'-0" MIN.
- 3. ALL MAIN LINE VALVES SHALL BE INSTALLED COMPLETE WITH 10" RISER PIPES AND MO. 3 OR 53 VALVE BOXES FIRE HYDRANTS AND SERVICE VALVES SHALL BE INSTALLED COMPLETE WITH 6" RISER PIPES AND NO. 2 VALVE BOXES.
- ALL FORCE MAIN SERVICE CONNECTIONS INTO PRESSURE TRANSMISSION MAINS SHALL HAVE A SHUT OFF VALVE AND CHECK VALVE AT THE POINT OF ENTRY.
- 5. ALL GRAVITY SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- 6. ALL WATER METERS WILL BE INSTALLED BY THE MIAMI-DADE WATER AND SEWER DEPARTMENT, PROVIDING THE ADDROLPHIATE CHARGES HAVE BEEN PREPAID.
- FIRE HYDRANT REQUIREMENTS (NUMBER AND LOCATION) SHALL BE AS REQUIRED BY MIAMI-DADE COUNTY FIRE DEPARTMENT OR THE APPROPRIATE FIRE AGENCY WITH INSTALLATION IN ACCORDANCE WITH DEPARTMENT STANDARDS.
- 8. CONTRACTOR MUST CALL MOWASD INSPECTION DIVISION TO ARRANGE FOR A PRECONSTRUCTION MFFTING 2 FULL USINESS DA'S PRIOR TO PROPOSED START OF CONSTRUCTION, CONTACT ONE CALL CENTER 48 HRS PRIOR TO
- 9. CONTRACT INSPECTOR WILL INSPECT ANY FACILITIES APPROVED BY THE DEPARTMENT, ALL OTHER REQUIREMENTS OF THE PERMITTING AGENCY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND REQUIREMENTS
- 10. WORK PERFORMED UNDER THIS PROJECT WILL NOT BE CONSIDERED AS COMPLETE UNTIL FINAL ACCEPTANCE OF THE SYSTEM BY THE DEPARTMENT AND UNTIL THE FOLLOWING DOCUMENTS ARE RECEIVED AND APPROVED BY THE
- d. EASEMENTS, IF REQUIRED b. CONTRACTOR'S WAIVER AND RELEASE OF LIEN
- ABSOLUTE BILL OF SALE
  I. CONTRACTOR'S LETTER OF WARRANTY (I.E., LETTER AGREEMENT)
- I, COMMONIOUR'S LETTER OF WARRANNIY (LE.; LETTER MARKEMENT)

  I BENEIOPER'S CONTRINCT BOOM (LE., COMPRACT ARREMENT)

  "RECORD DRAWING" PRINTS (24"x 36") SHOWING SPECIFIC LOCATIONS, DEPTH, ETC. OF ALL WATER AND SEWER
  FACILITIES AS LOCATED BY A LEGISSED SURVEYOR & MAPPER, ALONG WITH PRINTS OF "RECORD DRAWINGS" WHICH
  HAVE BEEN SCINED AND SEALED BY A REGISTERED SURVEYOR & MAPPER, (No. OF PRINTS: 3-FOR WATER, 4-FOR
  GRANITY SEWER AND 5-CAP FORCE WAIN OR PURP STATION PROJECTS). Submitted of final CAD Files required.

  HAS. LETTER OF RELEASE REQUIRED FOR ALL WATER PROJECTS.
- g. BILL OF SALE SKETCH (8½"x 11") FOR WATER AND SEWER, SEPARATELY
- 11. ALL NEW CONNECTIONS FROM EXISTING DEPARTMENT MAINS TO BE MADE BY DEPARTMENT FORCES ONLY. THE CONTRACTOR TO EXCAVATE AT REQUIRED LOCATIONS, PROVIDE AND INSTALL MATERIAL WITH FITTINGS, PRIOR TO TAP.
- 12. AN APPROVED PAYING AND DRAINAGE PLAN MUST BE SUBMITTED TO MOWASD FOR ALL NEW SUBDIVISIONS PRIOR TO APPROVAL OF WATER AND SEWER PERMIT PLANS, UPON REQUEST.
- 13. UNLESS OTHERWISE SPECIFIED, ALL TAPS 20 INCHES AND SMALLER FOR CONNECTIONS TO EXISTING MAINS WILL BE DONE BY DEPARTMENT FORCES. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR BE PERMITTED TO TAP EXISTING

MAINS IN THE SIZE RANGE SPECIFIED ABOVE. THE TAPPING SLEEVE AND			
TAPPING VALVE ARE FURNISHED AND INSTALLED BY THE CONTRACTOR			
UNDER THE SUPERVISION OF THE INSPECTOR.			
	ITEM	CROSS REF.	SPEC. REF.

			116.8	REF. REF.
15.00	ISSUE DATE	APPROVED BY	STANDARD DETAIL	GS
	03/01/2010	V.F.C.	STANDARD REQUIREMENTS	63
MI-DADE	07/20/2016	D.V.	WATER AND SEWER	0.5
iy Emiliace Flory Day				SHEET 1 OF 2
R SEWER DEPARTMENT			- CONCINCOTION .	SHEET TOT Z

By Appd. YY.MM.DD

- 1. AT THE COMPLETION OF ANY WATER AND SEWER JOB, EITHER DONATION OR CONTRACT, THE CONTRACTOR
- a. AS-BUILT PRINTS WHICH HAVE BEEN SIGNED AND SEALED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER. (QTY. OF PRINTS, AS REQUIRED BY THE DEPARTMENT.)
- 2. "AS-BUILT" FORMAT:
- LOCATION MAP SCALE SHOULD BE 1"=300' AND SECTION-TOWNSHIP-RANGE SHOULD BE SHOWN.

- DO LOCATION MAP SCALE SHOULD BE 1"=300" AND SECTION-TOWNSHIP-RANGE SHOULD BE SHOWN.

  THE WORD "S-BUILL" IN LARGE LETTERS.

  TITLE BLOCK WITH DEPARTMENT DS, DW OR ER NUMBER AND PERTINENT INFORMATION.

  PREFERRED SCALE TO BE 1"= 40" HORZONTALLY AND 1"= 4" VERTICALLY\*.

  STREET NOWENCATURE.

  SEPARATE AS-BUILTS FOR WATER AND SEWER.

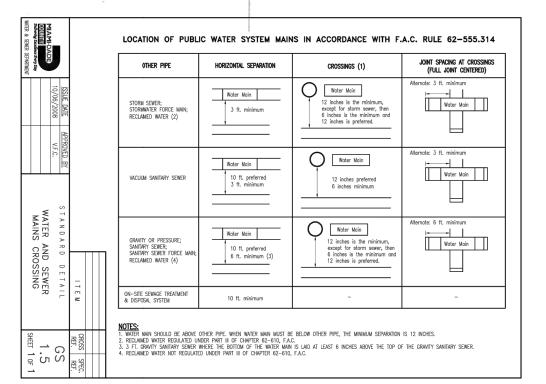
  SEPARATE AND SEWER PROFILE.

  STATIONING STARTING WITH 0+00 AT PERMANENT REFERENCE POINT (I.E., §, §, ETC.) OR AS SHOWN ON DESIGN PERTUT PLANS, AND TO RUN CONTINUOUSLY TO END OF MAIN.

  LASSEMENTS. IF ANY, TIED TO PERMANENT REFERENCE POINT.

  (DENTIFY ALL COURTION LINES (I.E. RIDG. LINE PEOPERTY LINE R.W. FTC.)
- k. IDENTIFY ALL CONTROL LINES (I.E. BLDG. LINE, PROPERTY LINE, R/W, ETC). ALL "PROPOSED" INFORMATION TO BE REMOVED FROM PRINTS, LEAVING ONLY "AS-BUILT" INFORMATION REFLECTED IN DRAWINGS.
- 3. WATER "AS-RUILTS" MUST INCLUDE:
- g. PLANS SHOWING PIPE SIZE, MATERIAL AND OFFSET OF MAIN, DEFLECTIONS (IF ANY), STATION OF ERWICES, HYDRANTS AND FITTINGS AT THE MAINLINE (IP PERPENDICULAR TO IT), AND AT MAIN AND END OF SERVICES IF ANY, OTHER ANGLE, AND DEFLECTION OF PIPE, IF ANY.
- b. PROFILE SHOWING TOP OF GROUND AND TOP OF PIPE ELEVATIONS AT EVERY 100' STATION AND AT ANY CHANGE IN GRADE (WITH CORRESPONDING STATION), PIPE SIZE AND PIPE MATERIALS REFERENCED TO PLAN.
- 4. SEWER "AS-BUILTS" MUST INCLUDE:
- a. PLAN SHOWING MANHOLE NUMBER, PIPE SIZE AND PIPE MATERIAL OF PIPE, DEFLECTION, IF ANY (FORCE MAIN ONLY), AND LOCATION OF LATERALS WITH REFERENCE TO MANHOLE.
- b. PROFILE SHOWING MANHOLE NUMBER (AS PER PLAN), RIM AND INVERT FLEVATIONS (IF MORE THAN ONE INVERT, LABEL NORTH, SOUTH, ETC), AND STATION STARTING AT EACH 0+00 AT DOWNSTREAM
- 5. FORCE MAIN "AS-BUILT" SAME AS WATER MAIN ABOVE.
- 6. EACH AS-BUILT SHALL SHOW THE FLORIDA STATE PLANE COORDINATES (CURRENT READJUSTMENT) OF ALL THE MANHOLES AND VALVES AND OF AT LEAST TWO HORIZONTAL CONTROL POINTS PROPERLY IDENTIFIED AND LOCATED WITHIN THE PROJECT.

* OTHER S OF DRAN	WINGS.	RMITTED, BUT MUST	BE APPROVED BY THE DEPA	I T E M	CROSS REF.	SPEC. REF.
MIAMI-DADE COUNTY Subming Englisher Stary Say	<u>ISSUE_DATE</u> 03/11/2009	APPROVED BY V.F.C.	STANDAR "AS-BUILT" F	D DETAIL REQUIREMENTS	G 0.	.5
WATER & SEWER DEPARTMENT					SHEET 2	2 OF 2





#### **RER-DERM WATER-SEWER GENERAL NOTES**

- 1. A horizontal distance of at least 6 feet, and preferably 10 feet (outside to outside), shall be maintained between gravity or pressure sewer A nonzontal distance of at least of leet, and preferably at Deet (dustine to obtainer, shall be maintained between gravity of pressure sewer bippes and water pipes. The minimum horizontal separation can be reduced to 3 feet for vacuum-type sewers of for gravity sewers where the top of the sewer pipe is at least 6 inches below the bottom of the water pipe. When the above specified horizontal distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following is met:
- a) The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
- The sewer is encased in a watertight carrier pipe or concrete
- The top of the sewer is at least 18 inches below the bottom of the water pipe
- 2. A vertical distance of at least 12 inches (outside to outside) shall be maintained between any water and sewer mains with sewer pipes referably crossing under water mains. The minimum vertical separation can be reduced to 6 inches for vacuum-type sewers or for gravity sewers where the sewer pipe is below the water main. The crossing shall be arranged so that all water main joints are at least 6 feet from all joints in gravity and pressure sewer pipes. This distance can be reduced to 5 a feet for vacuum-type sewers. When the above specified vertical distance criteria cannot be met due to an existing underground facility conflict, smaller separations are allowed if one of the following
- The sewer pipes are designed and constructed equal to the water pipe and pressure tested at 150 psi.
- 3. Air release valves shall be provided at high points of new force main sanitary sewers.
- Gravity sanitary sewers constructed within a public wellfield protection area shall be C-900 PVC or Ductile Iron Pipe. The maximum allowable exfiltration rate of gravity sanitary sewers constructed in a public wellfield protection area shall be:
- a) Residential Land Uses. Fifty (50) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a
- minimum of two (2) feet of positive head above the crown of the pipe.

  Non-Residential Land Uses. Twe nrty (20) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe.

  c) Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- 5. The maximum allowable exfiltration rate of gravity sanitary sewers constructed outside a public wellfield protection area shall be one hundred (100) gallons per inch pipe diameter per mile per day, based on a minimum two (2) hour test having a minimum of two (2) feet of positive head above the crown of the pipe. Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed
- 6. Forcemain sanitary sewers constructed within a public wellfield protection area shall be ductile iron, C-900 PVC, HDPE or reinforced
- The maximum allowable exfiltration/leakage rate of forcemain sanitary sewers shall be:
  a) Ductile Iron, C-900 PVC, HDPE and PVC Pipe. The allowable leakage rate specified in American Water Works Association Standard (AWWAS) C600-82 at a test pressure of 100 psi for a duration of not less than two (2) hours.
- Reinforced Concrete Pressure Pipe. Half (1/2) the allowable leakage rate specified in AWWA C600-82 at a test pressure of 100 psi for a
- duration of not less than two (2) hours.

  c) Any observed leaks or any obviously defective joints or pipes shall be replaced even when the total leakage is below that allowed.
- 8. The contractor shall verify nature, depth, and character of existing underground utilities prior to start of construction.
- In no case shall a contractor install utility pipes, conduits, cables, etc. in the same trench above an existing water or sewer pipe except
- If any area of the work site is found to contain buried solid waste and/or ground or ground water contamination, the following shall apply:

  a) All work in the area shall follow all applicable safety requirements (e.g., OSHA, etc.) and notification must be provided to the appropriate
- agencies. Immediately notify the Environmental Monitoring and Restoration Division (EMRD). The EMRD can be contacted at (305) 372-6700. If contaminated soils and/or buried solid waste material is excavated during construction, then they require proper handling and disposal in accordance with the local, state and federal regulations. Be advised that the landfill owner/operator is the final authority on disposal and may have requirements beyond those provided by herein, if disposal within a Maim-Dade County med landfill (Class I landfill) is appropriate and selected, please contact the Miami-Dade County Department of Solid Waste Management at (305) 594-6666
- The reuse of contaminated soils that are not returned to the original excavation requires prior approval of a Soil Management Plan from the Environmental Monitoring and Restoration Division. The EMRD can be contacted at (305) 372-6700.
- 11. Pumps must comply with the National Electrical Code (NEC) requirements for Class I, Group D, Division 1 locations (Explosion Proof).

Revision



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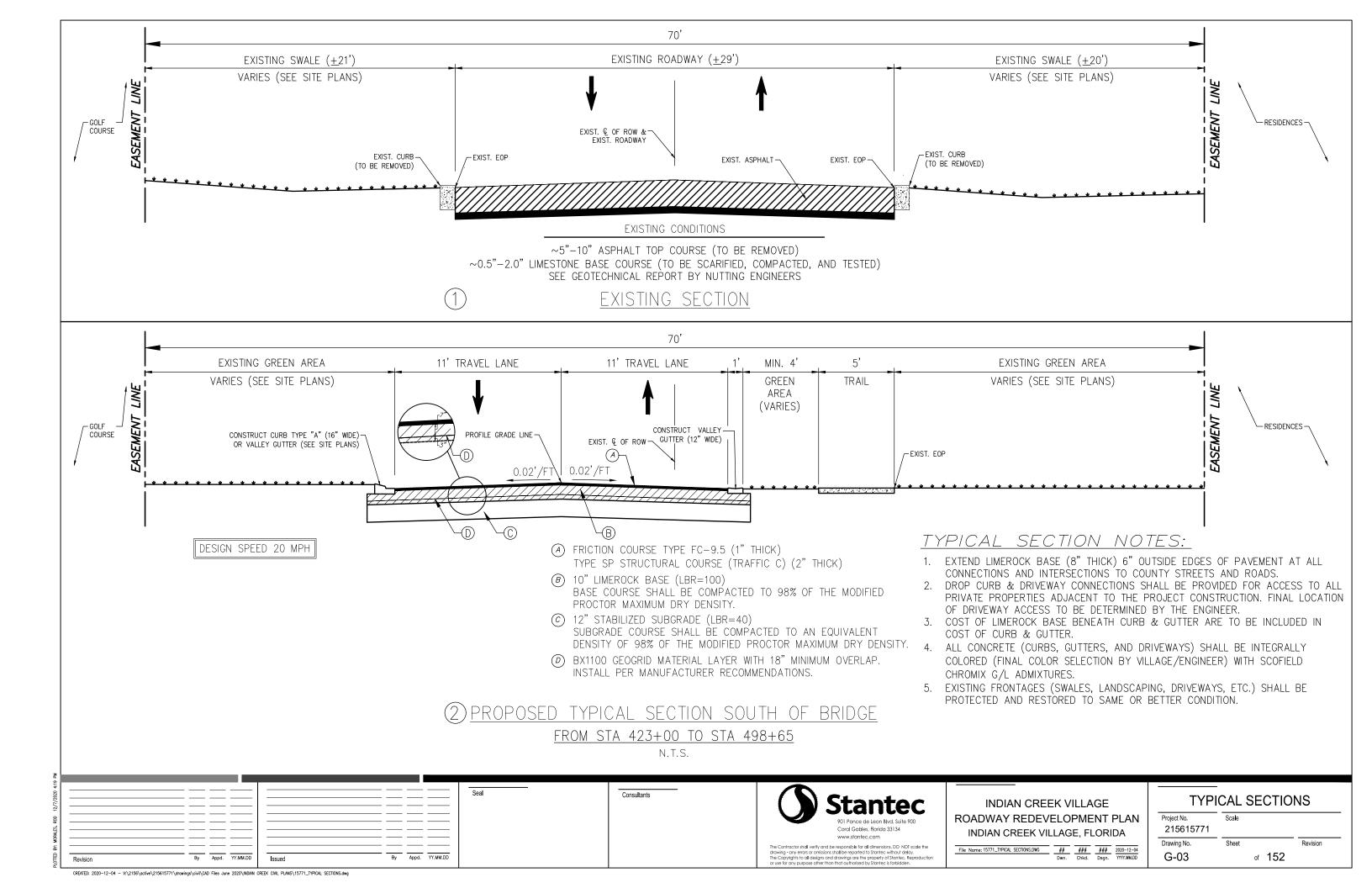
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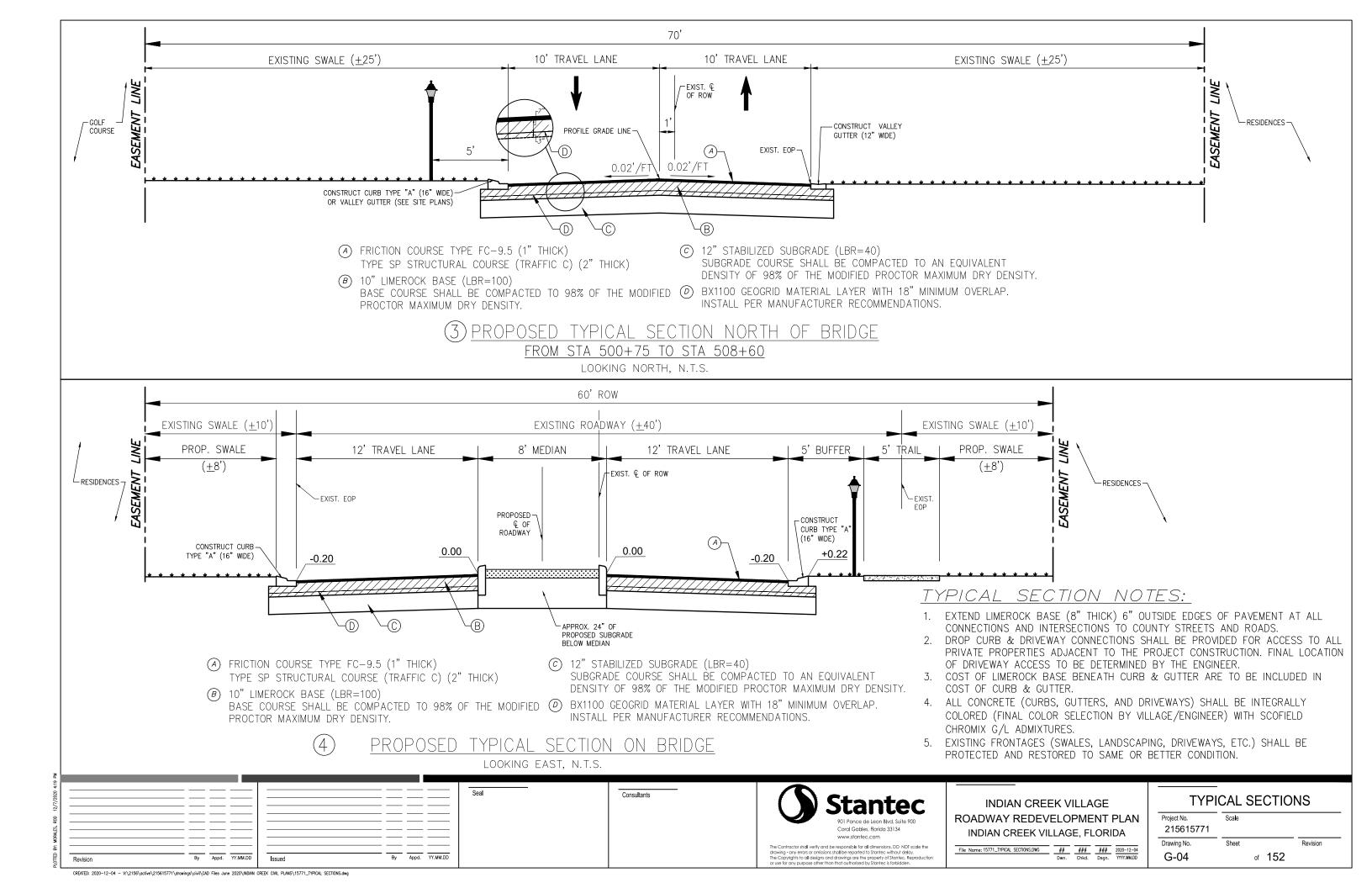
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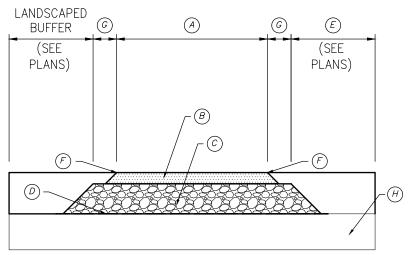
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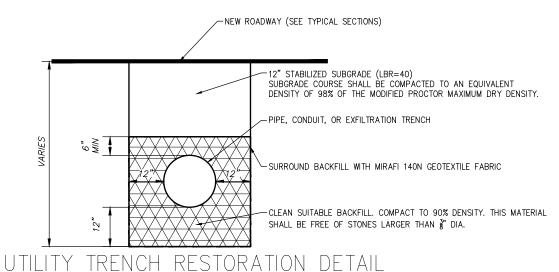




# PROPOSED TRAIL PATH DETAIL

#### N.T.S.

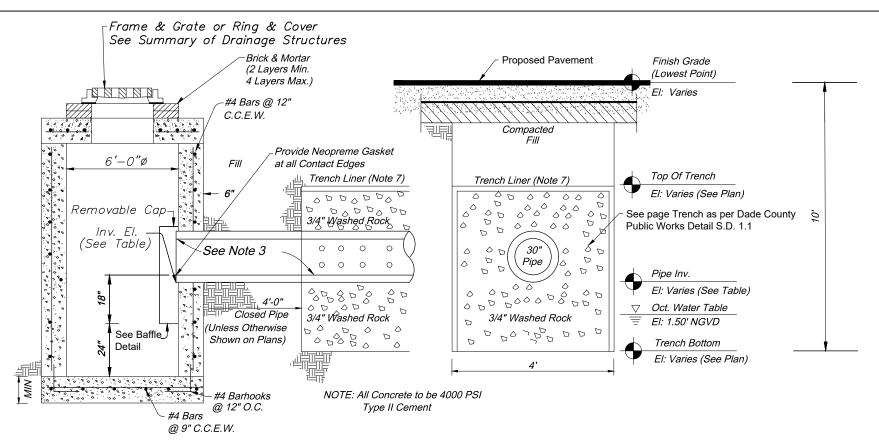
- 5' WIDE RUBBERWAY PERVIOUS RUBBER PAVEMENT RR6000 (COLOR TO BE SELECTED BY VILLAGE/ENGINEER) (TO USE ALL VIRGIN RUBBER)
- $\overline{(B)}$  1.5" NOMINAL PAVING THICKNESS
- © 4" 95% COMPACTION AASHTO #3 CRUSHED STONE
- (D) MIRAFI 140N GEOTEXTILE FABRIC BETWEEN CRUSHED STONE AND SUBGRADE
- (E) EXISTING DRIVEWAY OR IMPROVED FRONTAGE TO BE PROTECTED & RESTORED TO SAME OR BETTER CONDITION
- (F) 45° TURNDOWN EDGE
- (G) EXTEND STONE 4" BEYOND PAVING
- (H) 12" STABILIZED SUBGRADE (LBR=40)
  SUBGRADE COURSE SHALL BE COMPACTED TO AN
  EQUIVALENT DENSITY OF 98% OF THE MODIFIED PROCTOR
  MAXIMUM DRY DENSITY.



N.T.S.

By Appd. YY.MM.DD

Seal



## SECTION

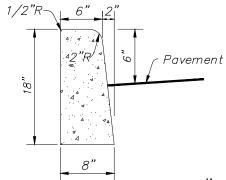
#### **NOTES**

Consultants

- U.S. Precast Corp. 6'-0" Ø Catch Basin(Unless Otherwise Specified)
- 2. Concrete = 4000 P.S.I. at 28-Days, Type II Cement
- 3. Trench Pipe Shall be 30" Perforated HDPE Pipe
- Pipes Shall Terminate 2 Feet from End of Trench or Connect to Additional Catch Basin As Required.
- 5. Cover Pipe Ends With No. 10 Galvanized or Aluminum, Screen, Opening No Larger Then 1/2"x1/2".
- . Ballast Rock Shall be from Fresh Water Washed Free of Deleterious Matter.
- . Sides, Bottom and Top of Trench to be Lined with Mirafi 700X Filter Fabric or Equal. Overlap Trench lining material a Minimum of Three (3) Feet at Top.

# 48" ø type "p" catch basin or mh with exfiltration trench detail

N.T.S.



#### NOTES:

- 1. Provide 1/4" Expansion Joints between each 50' section & Saw—Cut Contraction Joints at 10' intervals (Max.)
- 2. Subgrade Shall Be Compacted To a 95% Density AASHTO T-180C
- 3. Curb Shall Be Constructed in 50' Maximum Sections.

TYPE "D" CURB

N.T.S.

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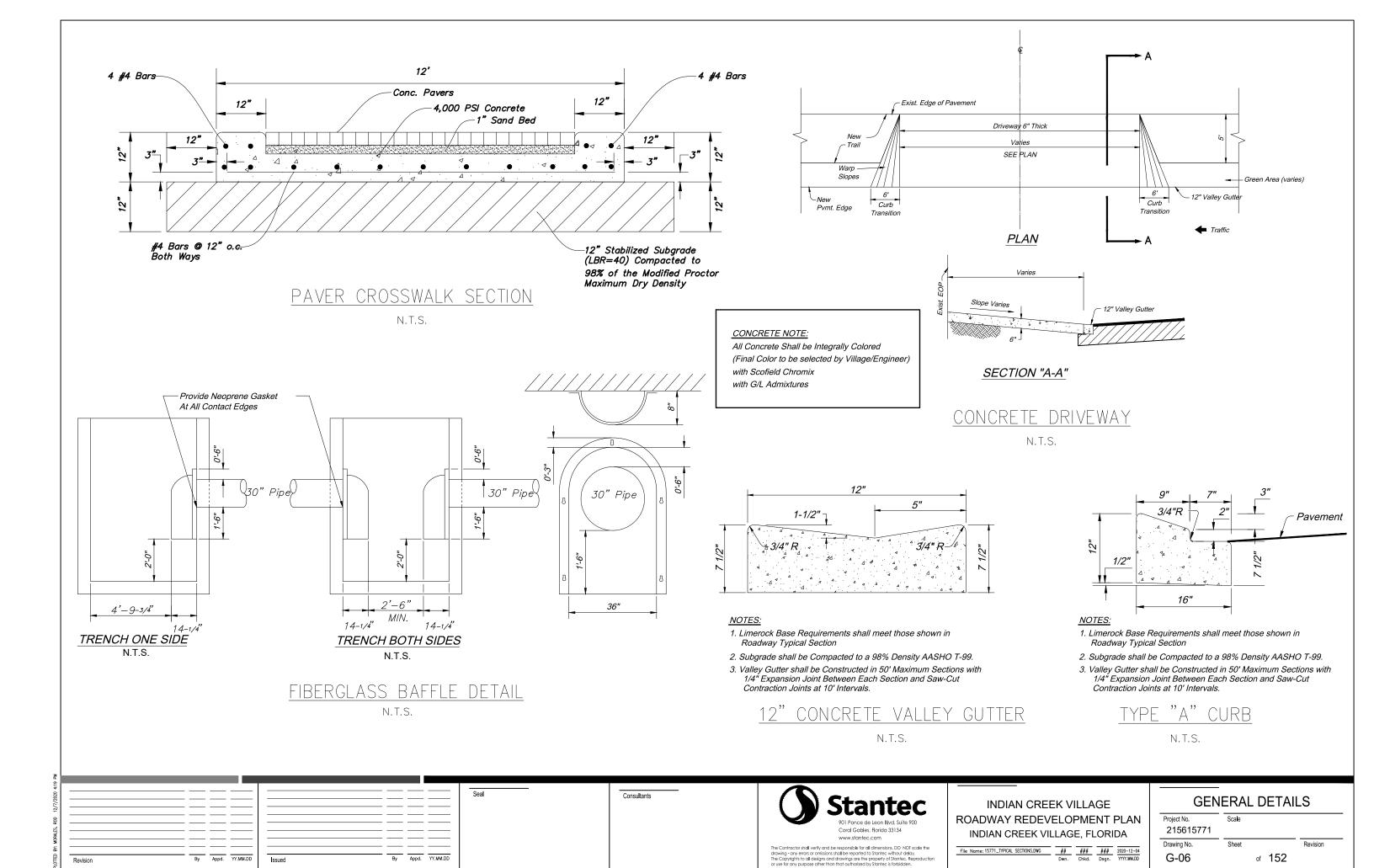
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Revision





INDIAN CREEK VILLAGE

ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FLORIDA

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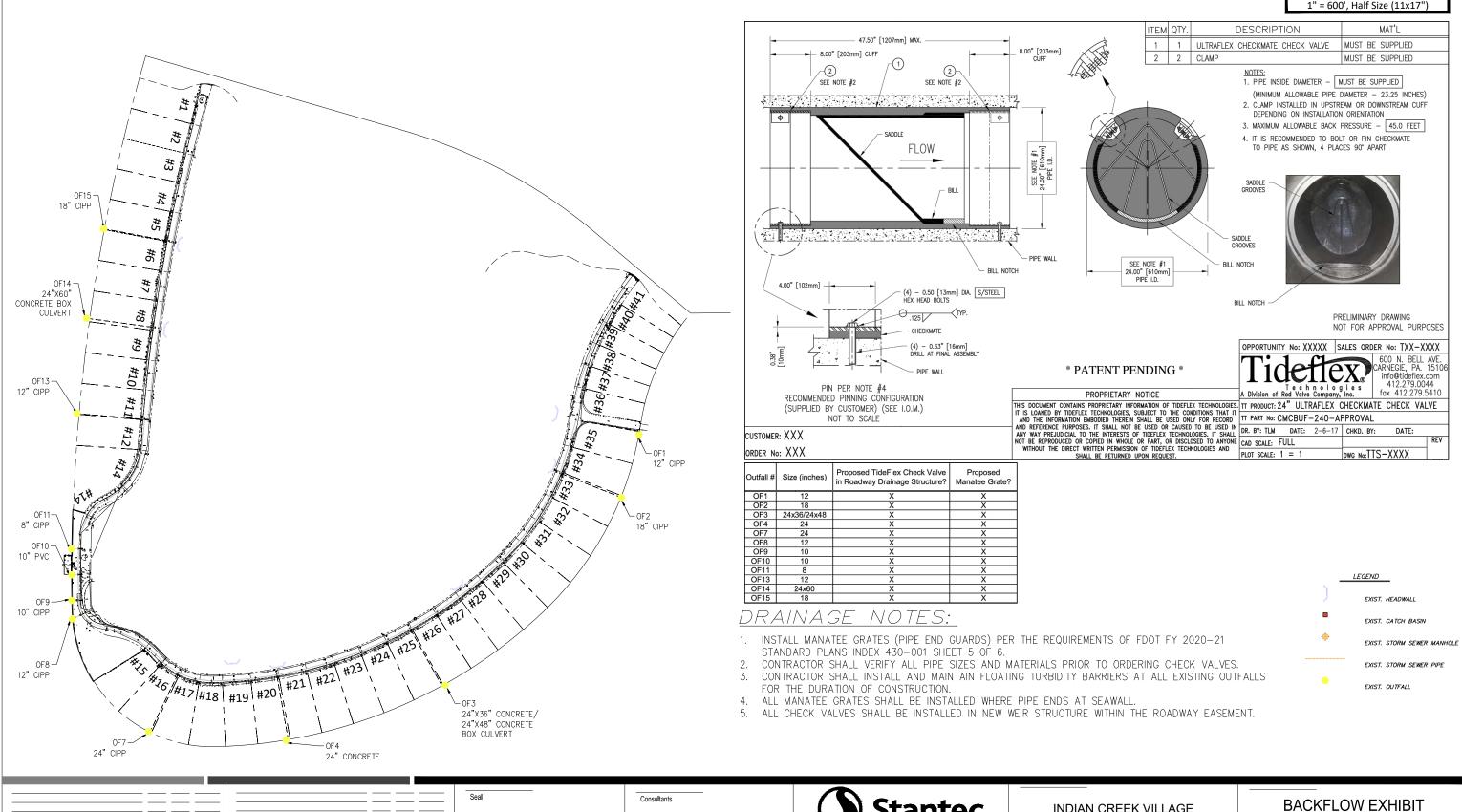
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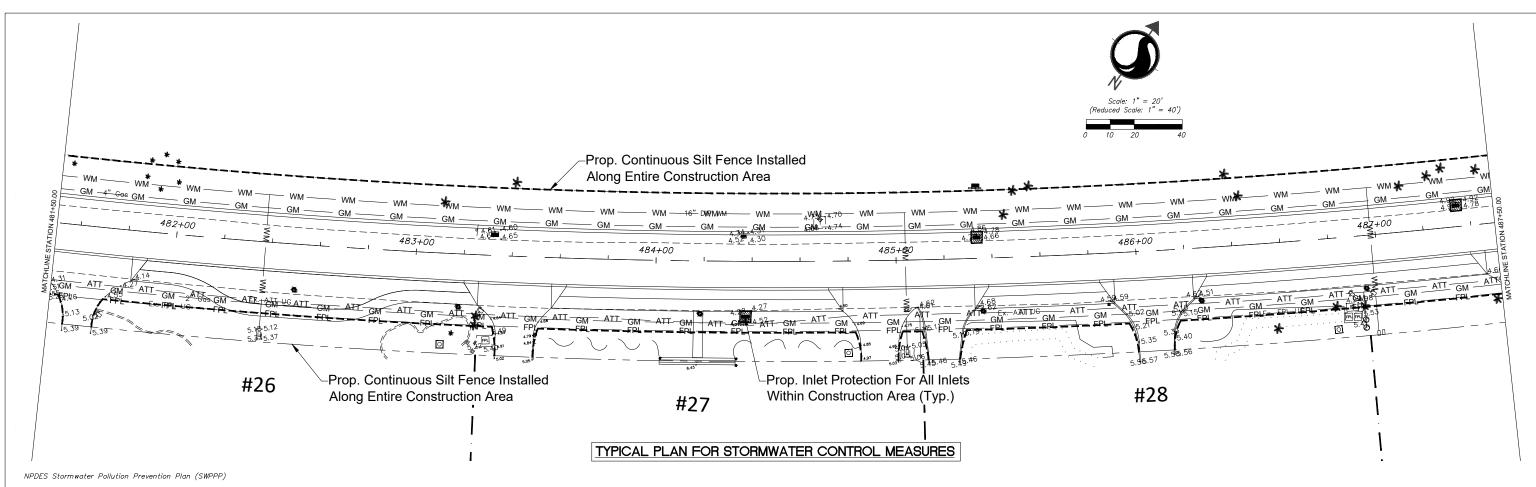
Scale: 1" = 300', Full Size (24"x36" 1" = 600', Half Size (11x17")



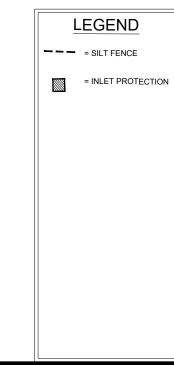
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- The Contractor Is Required To Adhere To The Requirement Of The National Pollution Discharge Elimination System (NPDES). The Contractor Shall Institute Best Management Practices (BMPS) To Ensure Compliance With The NPDES Program And To Minimize The Impact To Public Stormwater Facilities. A Notice Of Intent (NOI) Shall Be Filed Prior To Beginning Construction Activities.
- 2. Prior To Construction, A Silt Fence In Accordance With FDOT Index 102 (Latest Version) Type III Silt Fence Will Be Erected Along Of The Perimeter Of The Construction Site As Shown.
- 3. All Existing And Proposed Catch Basins Will Have Their Inlets Protected By The Installation Of Filter Fabric Into The Frame And Grate.
- 4. This Silt Fencing And Filter Fabric Will Remain In Place During The Entire Duration Of Construction.
- 5. Contractor Will Brace All Existing Landscaping To Remain Prior To Beginning Any Work And Will Ensure Their Stabilization Throughout The Entire Construction Process. Existing Sod Disturbed By Construction That Is Not Affected By Proposed Grading Will Be Restored To Its Original State Upon Completion Of Construction. Sodded Slopes Steeper Than 4 Horizontal To 1 Vertical Will Be Pegged.
- 6. All Waste Generated From The Construction Shall Be Discarded In Accordance With All Applicable State, Local, And Federal Regulations. Contractor Is To Obtain All Applicable Codes And Become Familiar With State, Local And Federal Regulations Prior To Beginning Construction. Regulations Can Be Found, But Not Limited To, Department Of Environmental Resource Management And Department Of Environmental Protection.
- 7. To Ensure That Off-site Vehicle Tracking Of Sediments And The Generation Of Dust Is Minimized, Contractor Is To Put Into Practice The Methods Detailed In FDOT Index 106 (Latest Version).
- 8. Dust Generated From Construction Will Be Minimized
- 9. At Any Time During Construction That The Silt Fencing Is Disturbed, The Silt Fencing Will Be Restored To Its Original State Within 24 Hours. At No Time During Construction Shall Work Be Performed Without The Integrity Of The Silt Fencing Secured.
- 10. A Qualified Inspector, Provided By The Operator, Shall Inspect All Points Of Discharge Into Surface Water. The Inspection Will Occur At Least Once Every Seven Calendar Days And Within 24 Hours Of The End Of A Storm That Is 0.5 Inches Or Greater. Inspection Includes The Written Recording Of The Condition Of All Discharge Points, Integrity Of Silt Fencing, Daily Dust Control Measures, Vehicular Traffic And Construction Material Storage And Disposal. Written Record Of All Inspections Will Be Stored By The Operator During Construction.
- 11. The Inspection Report Will Include, But Is Not Limited To, The Following Information: Name And Qualification Of Personnel Making The Inspection, Date Of Inspection, Rainfall Data, Major Observations Relating To The SWPPP, Actions Taken By Contractor And Any Incident Of Noncompliance With Permit. Where An Inspection Does Not Identify Any Incident Of Noncompliance, The Report Shall Contain A Certification That The Facility Is In Compliance With The SWPPP And The Permit.
- 12. The Permittee Shall Retain A Copy Of The SWPPP And All Reports, Records And Documentation Required By The Permit At The Construction Site, Or An Appropriate Alternative Location As Specified In The Notice Of Intent, From The Date Of Project I nitiation To The Date Of Final Stabilization. The Permittee Shall Retain Copies Of SWPPP And All Reports Required By This Permit, And Records Of All Data Used To Complete The Notice Of Intent To Be Covered By The Permit, For A Period Of At Least Three (3) Years From The Date That The Site Is Finally Stabilized.



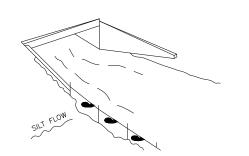
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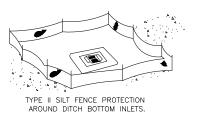


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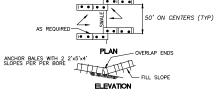




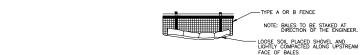


NOTE: SPACING FOR TYPE III FENCE TO BE IN ACCORDANCE WITH CHAPTER I.

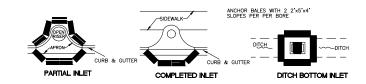
TYPE III SILT FENCE



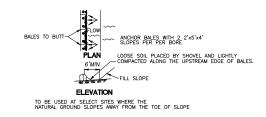
TO BE USED AT SELECT SITES WHERE THE NATURAL GROUND SLOPES AWAY FROM THE TOE OF SLOPE



#### BALES BACKED BY FENCE



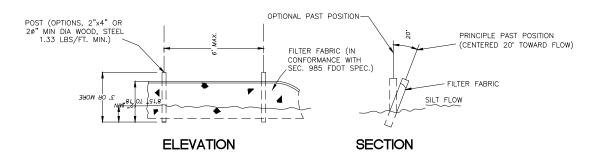
#### PROTECTION AROUND INLETS OR SIMILAR STRUCTURES



#### BARRIER FOR FILL SLOPE

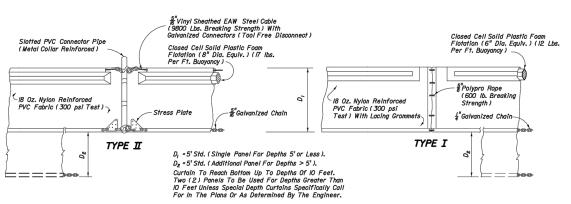
#### EROSION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES

# SILT FENCE APPLICATIONS



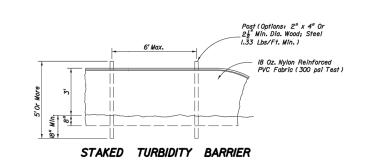
DO NOT DEPLOY IN A MANNER THAT SILT FENCES WILL ACT AS A DAM ACROSS PERMANENT FLOWING WATERCOURSES. SILT FENCES ARE TO BE USED AT UPLAND LOCATIONS AND TURBIDITY BARRIERS USED AT PERMANENT BODIES OF WATER.

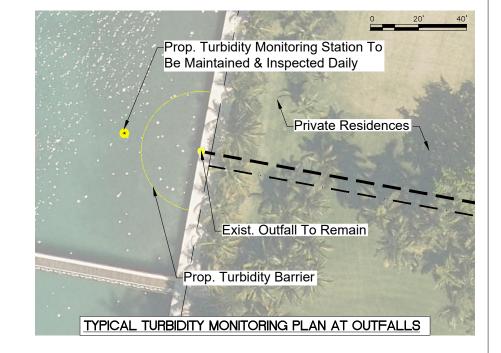
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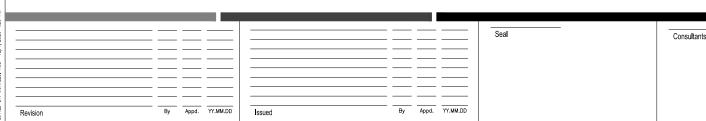


IO Feet Unless Special Depth Curtains Specifically Call For In The Plans Or As Determined By The Engineer. NOTICE: COMPONENTS OF TYPES I AND II MAY BE SIMILAR OR IDENTICAL TO PROPRIETARY DESIGNS. ANY INFRINGEMENT ON THE PROPRIETARY RIGHTS OF THE DESIGNER SHALL BE THE SOLE RESPONSIBILITY OF THE USER, SUBSTITUTIONS FOR TYPES I AND II SHALL BE AS APPROVED BY THE ENGINEER.

#### FLOATING TURBIDITY BARRIERS







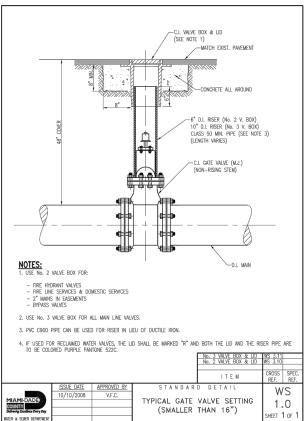


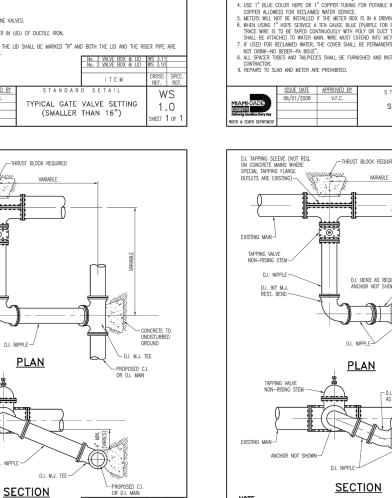
The Contractor shall verify and be responsible for all dimensions. DO NOI scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec's forbiddening and the standard property of Stantec's production or use for any purpose other than that authorized by Stantec's forbiddening and standard property of the standard property

INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, ELORIDA

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File	Name: 15771_SWPPP.DWG	RM	СМН		2020-12
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SI	WPPP DET	ΓAILS
Project No. 215615771	Scale	
Drawing No.	Sheet	Revision
G-09	of	152





ITEM

TYPICAL CONNECTION

TO EXISTING MAIN

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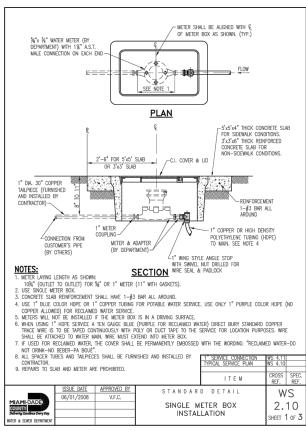
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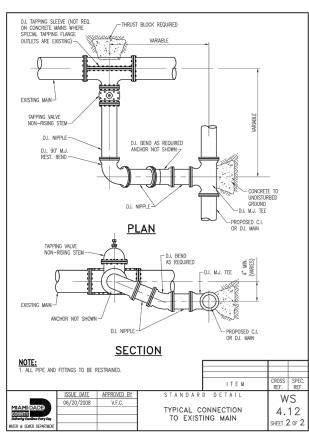
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HEFT 1 OF 2

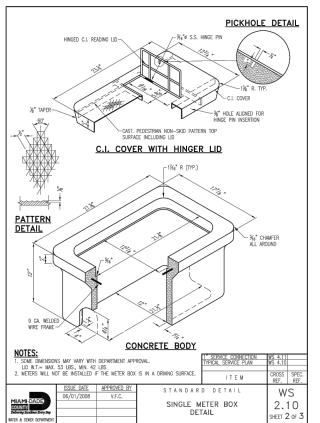
By Appd. YY.MM.DD

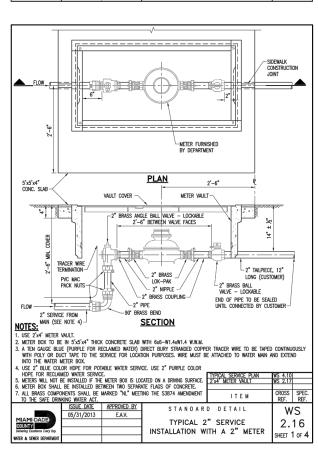
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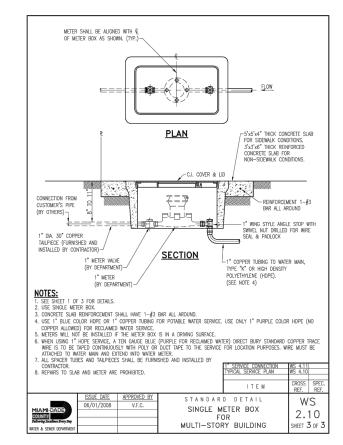


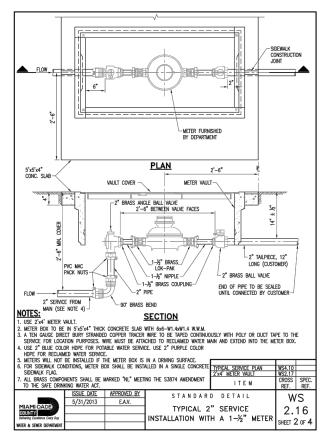


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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN

Project No. Scale 215615771 INDIAN CREEK VILLAGE, FLORIDA Drawing No. G-10 of 152

WATER & SEWER DETAILS

I. TAPPING SLEEVE (NOT

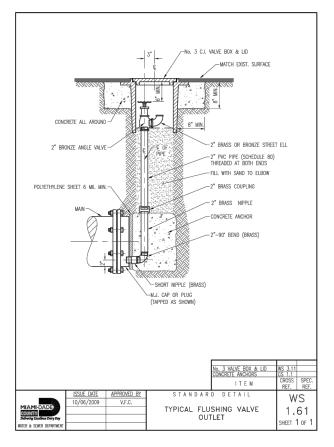
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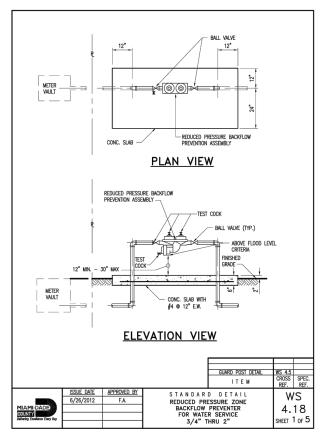
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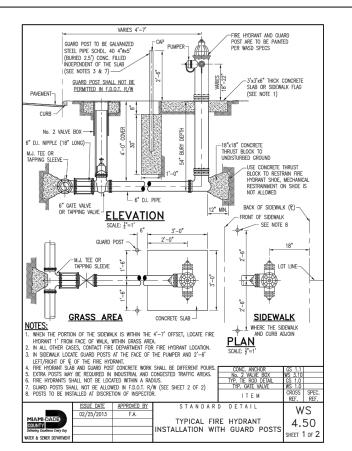
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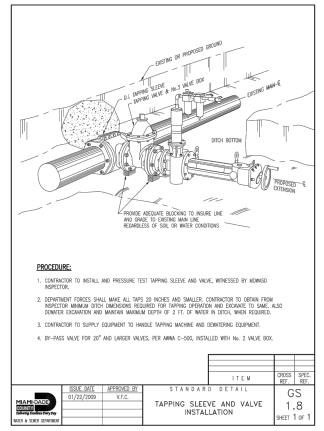
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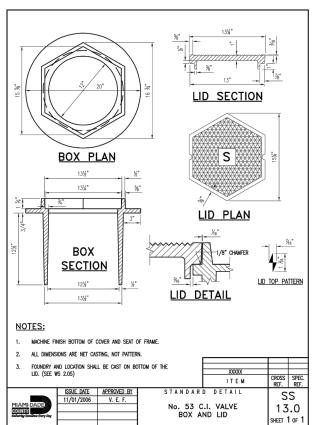
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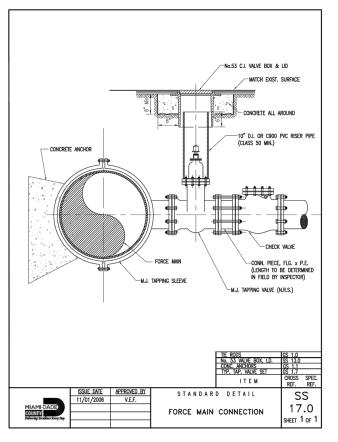






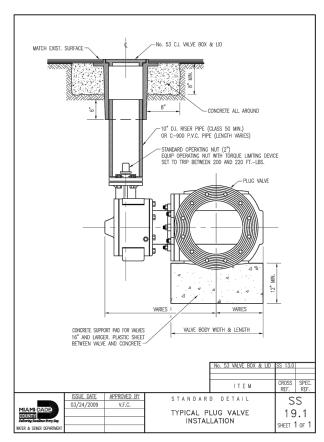


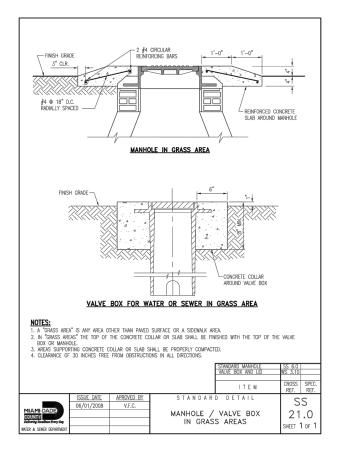


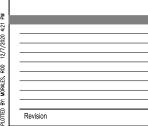


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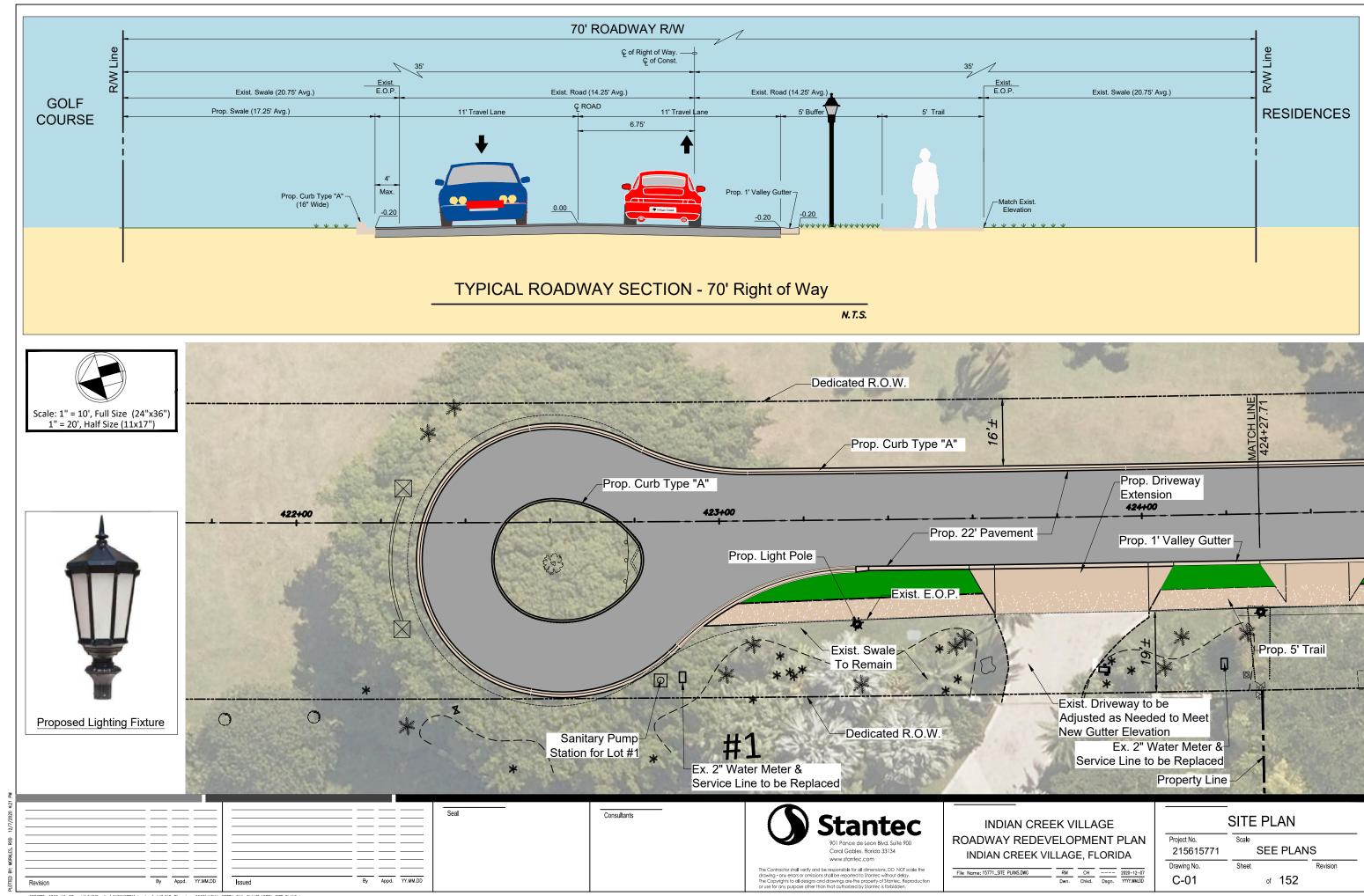


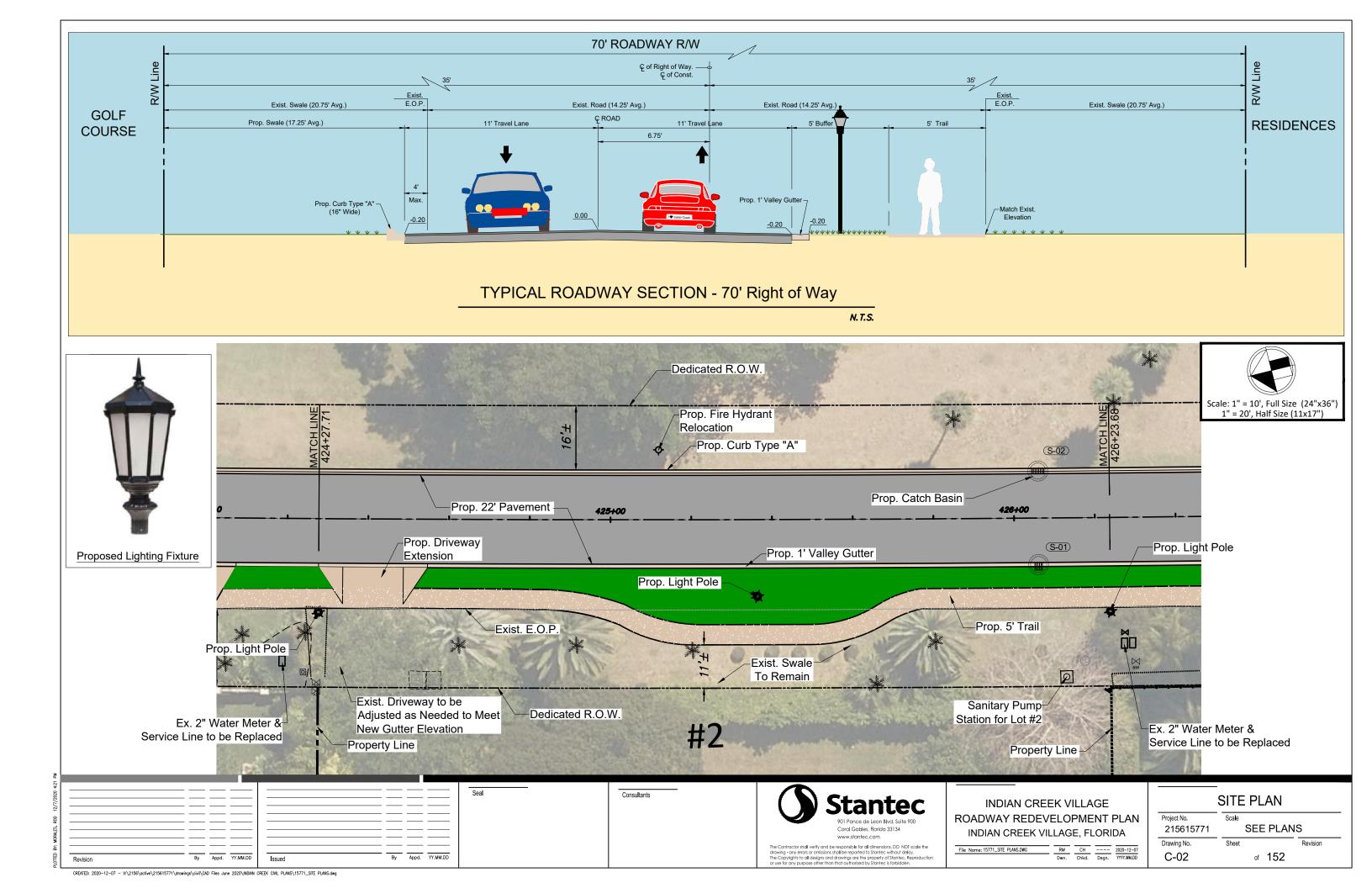


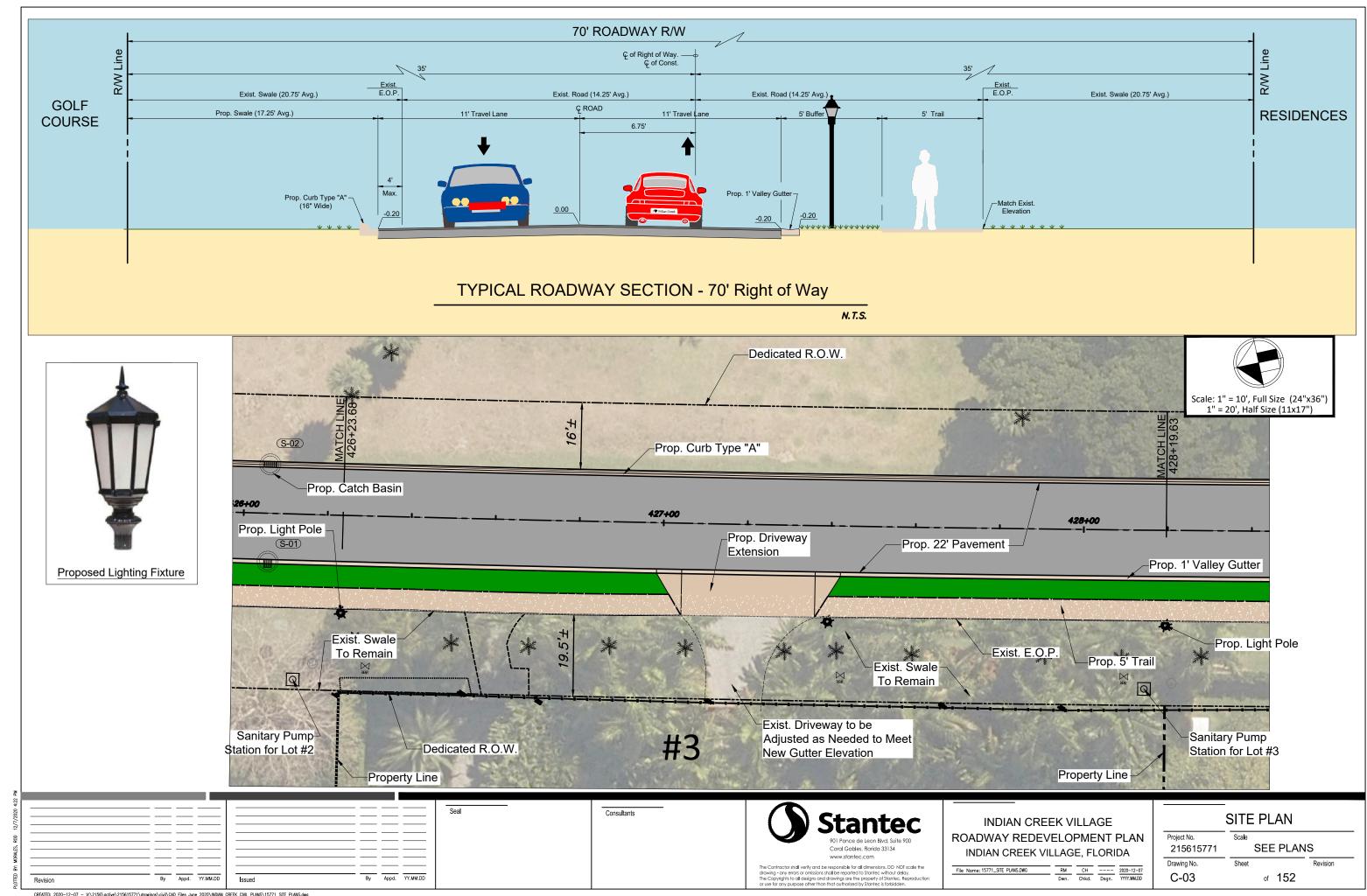


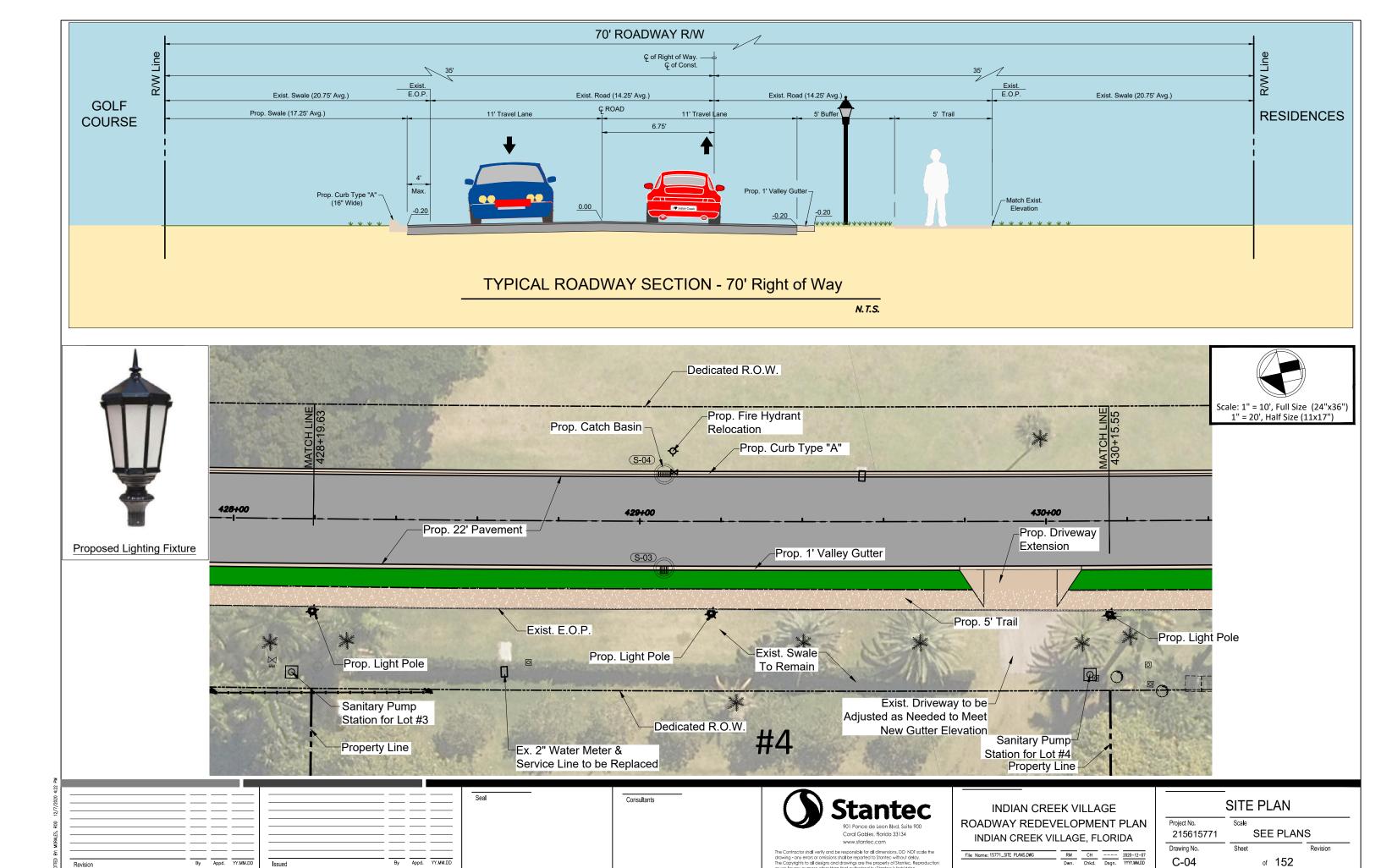
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

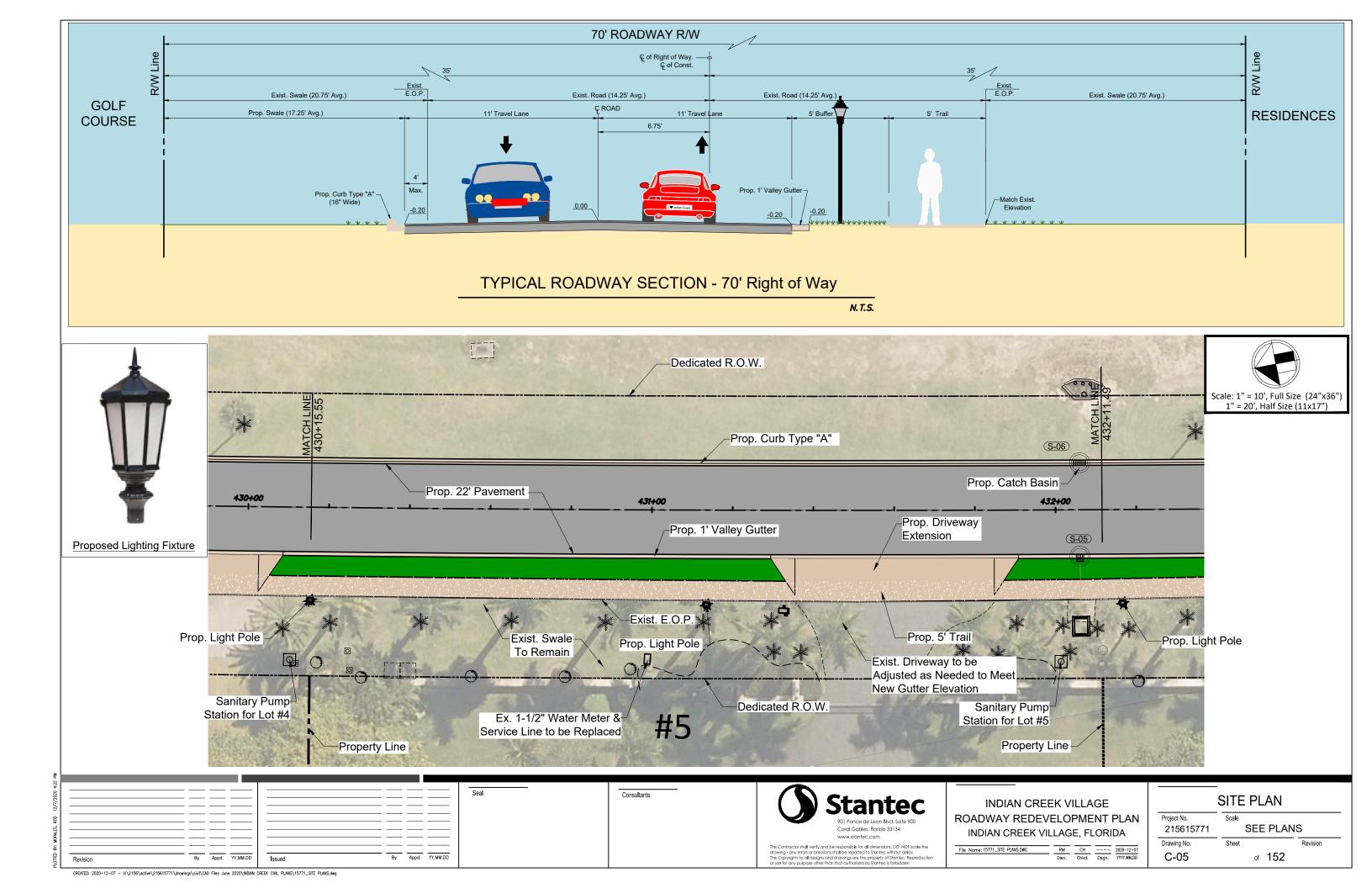
WATER & SEWER DETAILS				
Project No. 215615771	Scale			
Drawing No.	Sheet			Revision
G-11		of	152	

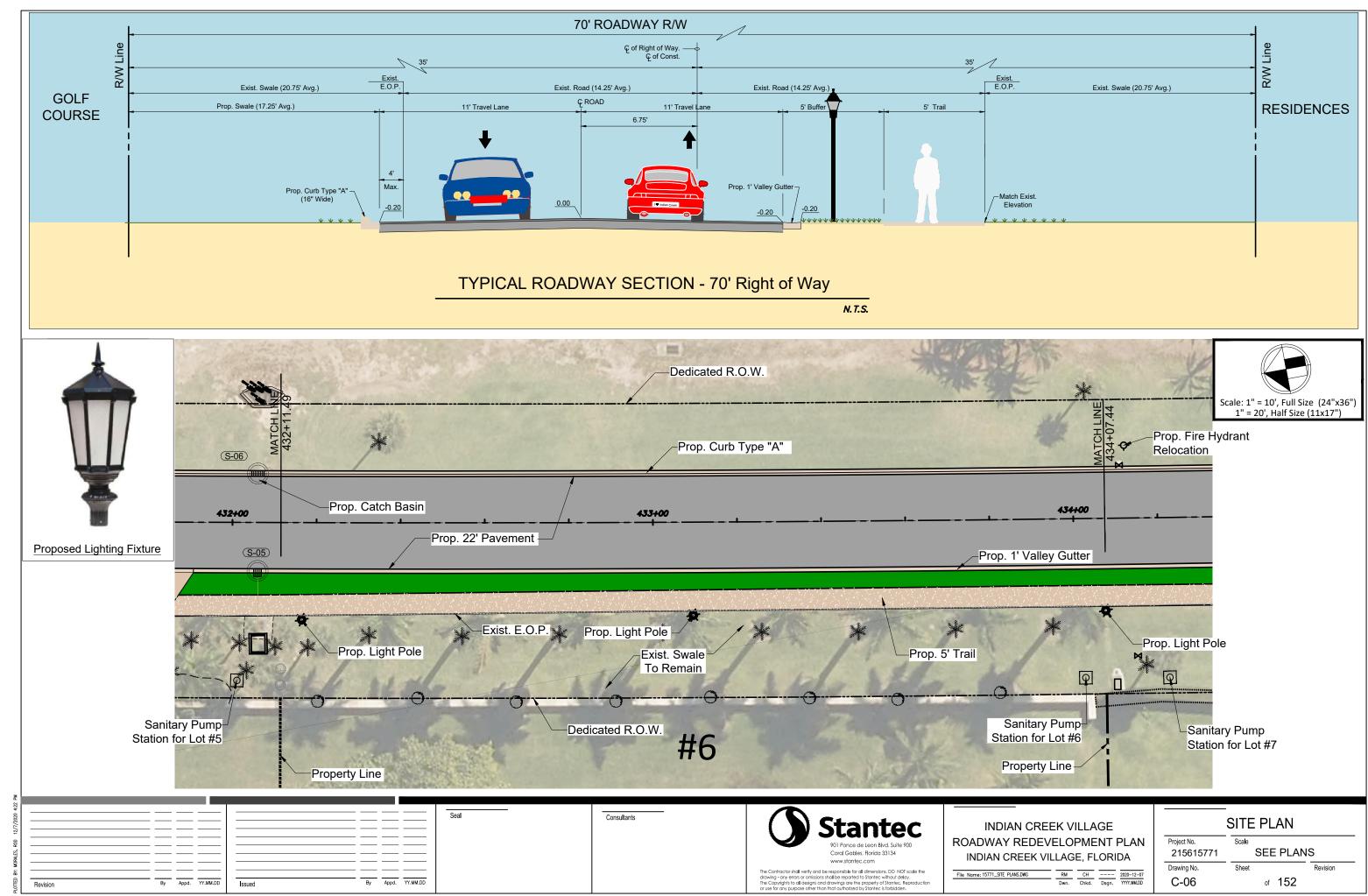


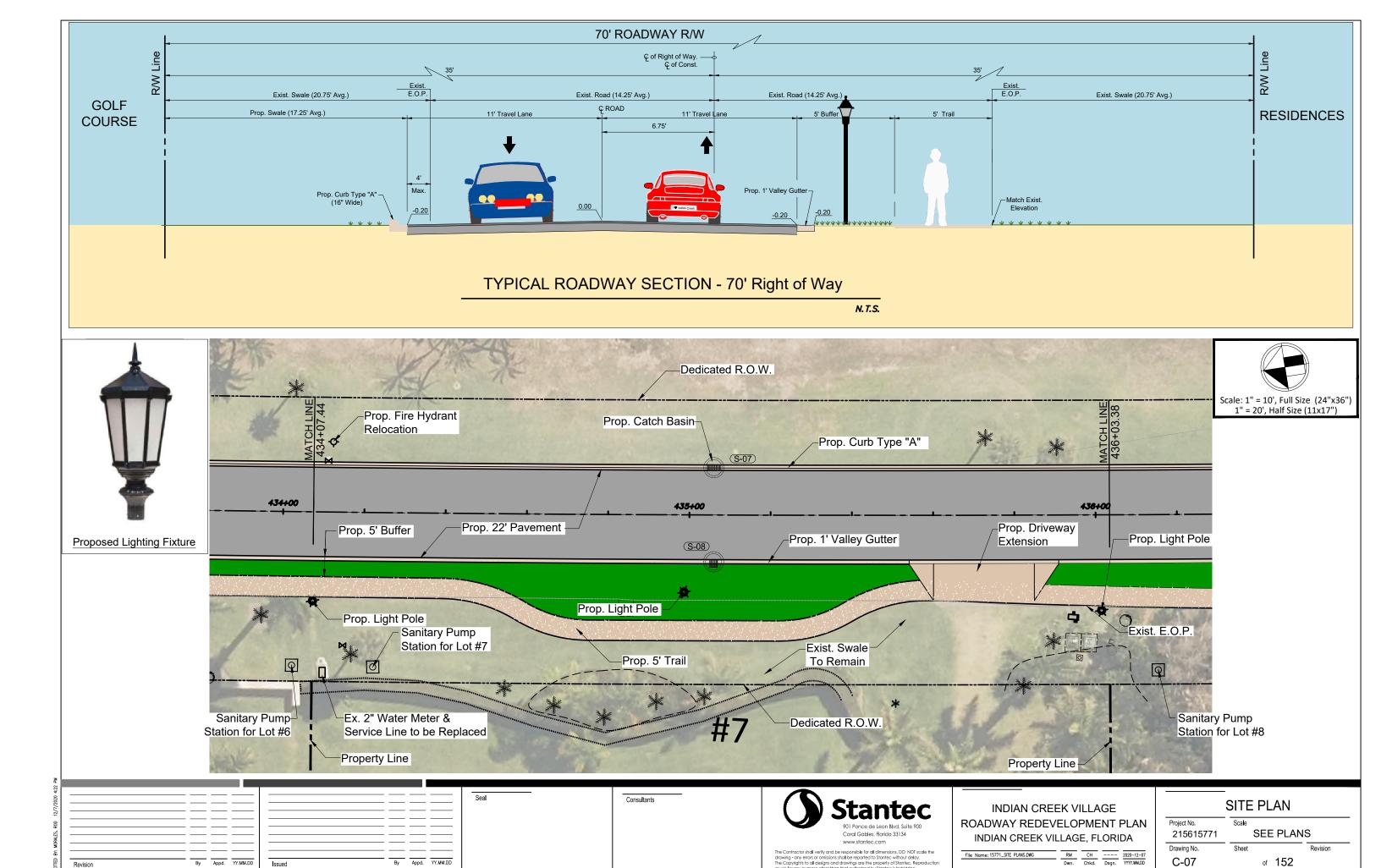


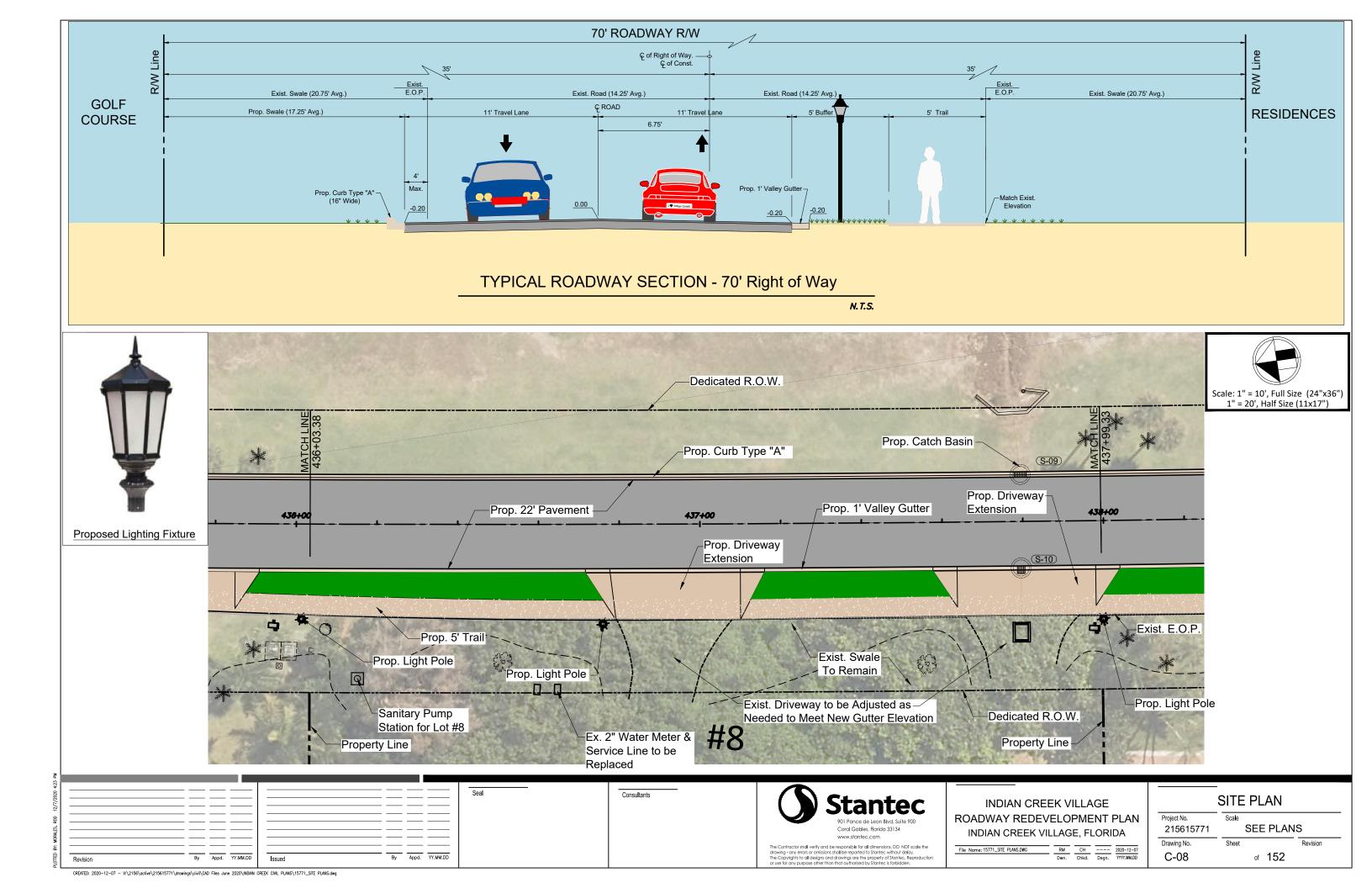


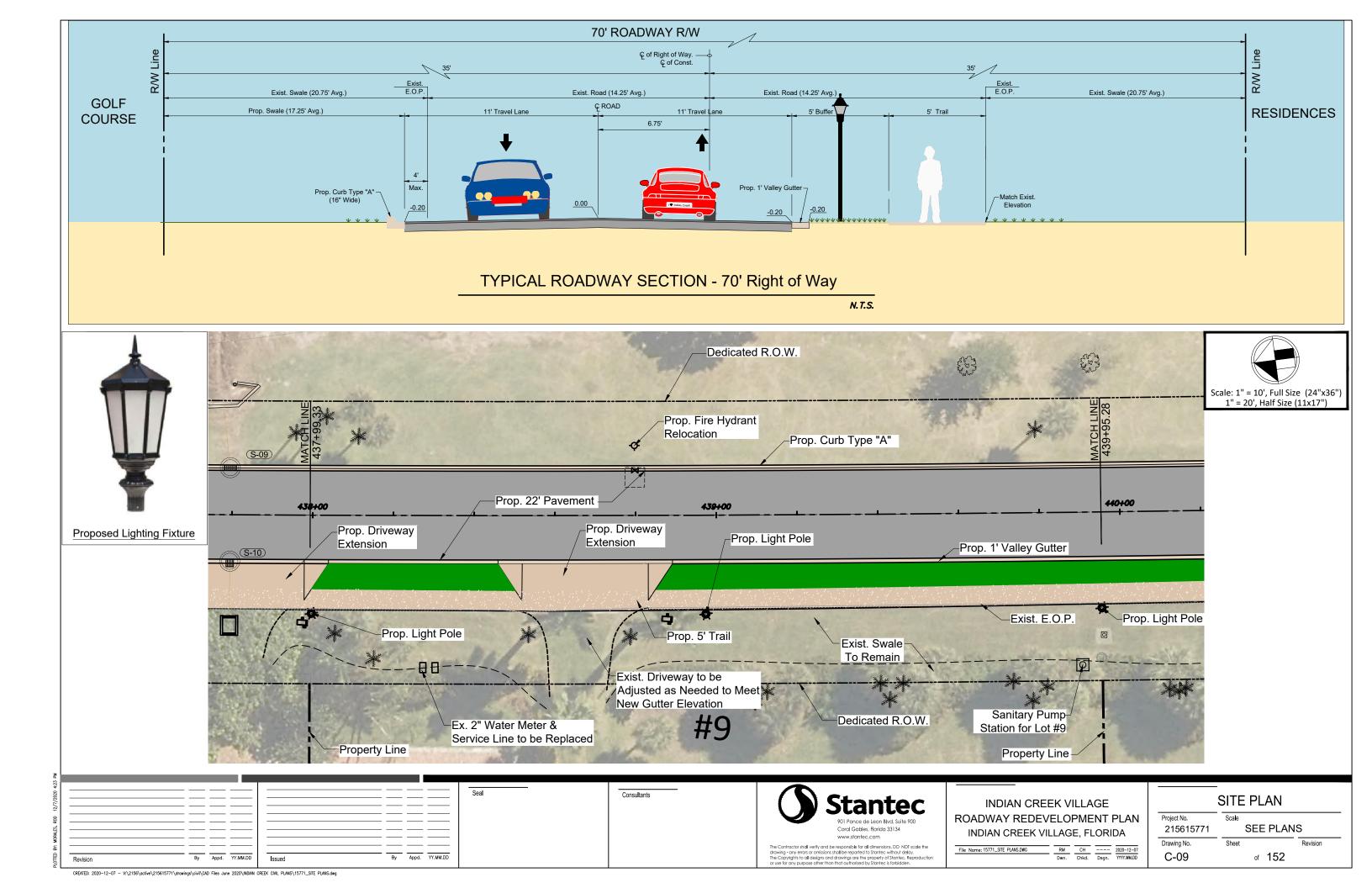


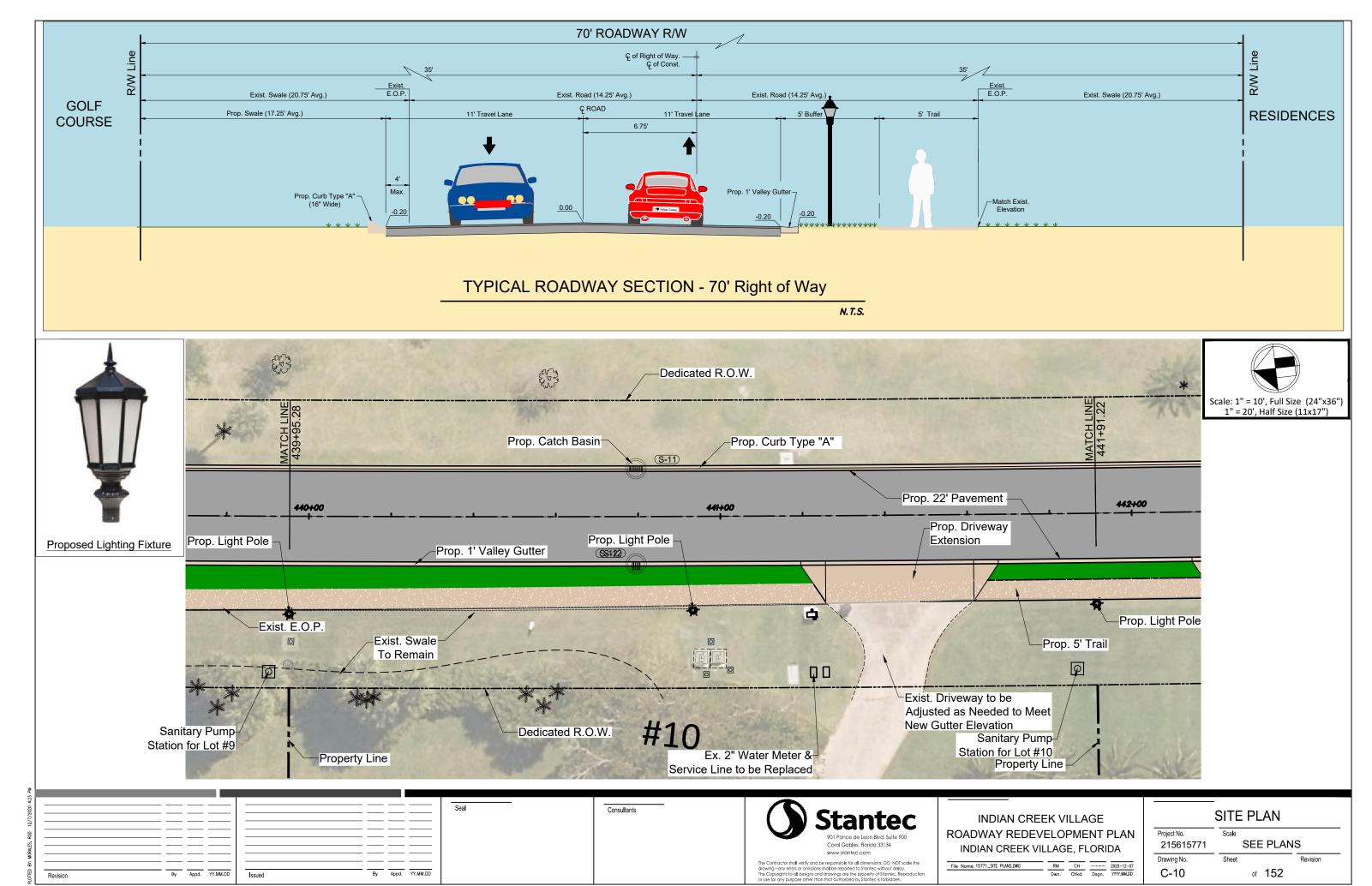


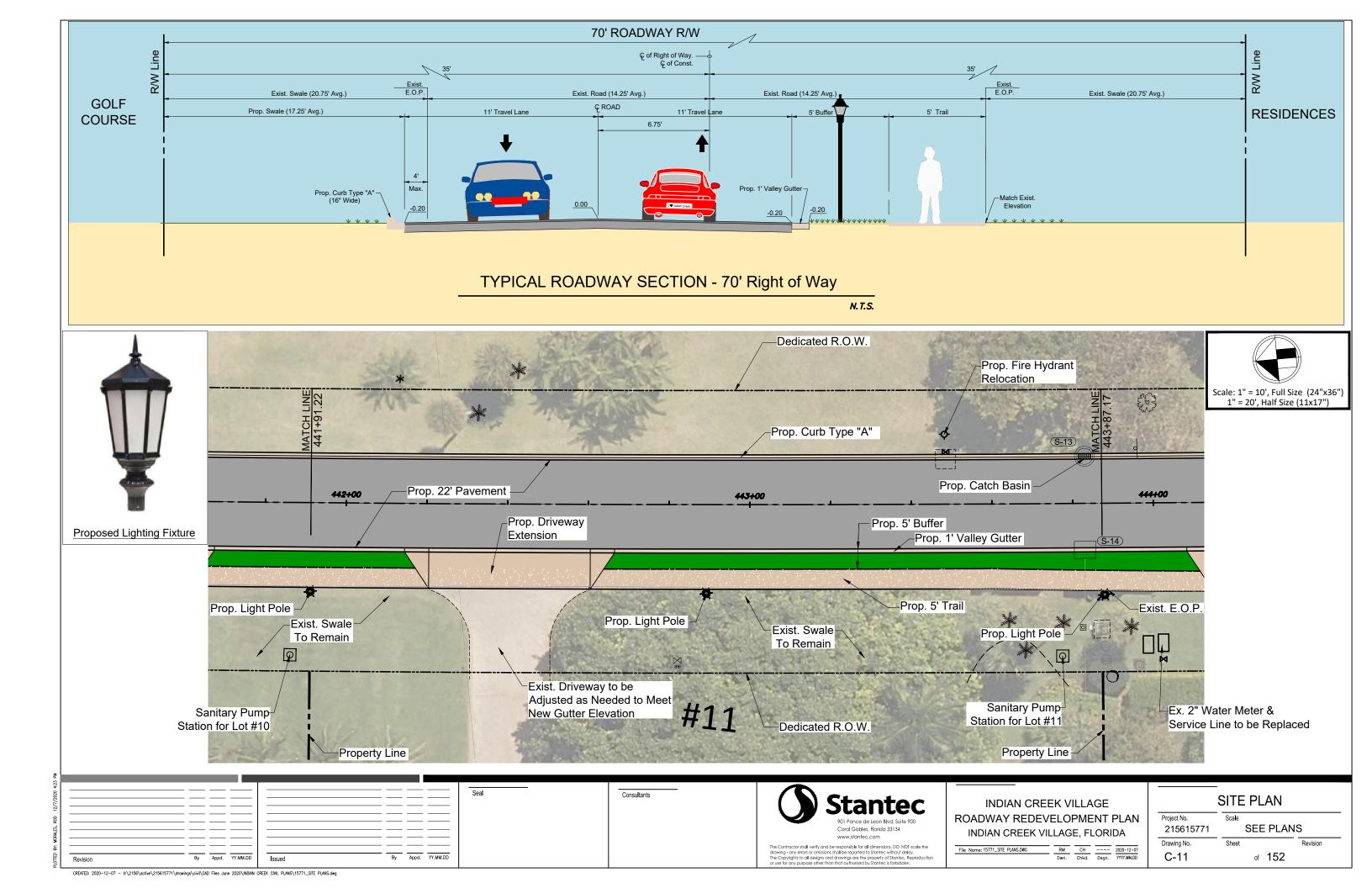


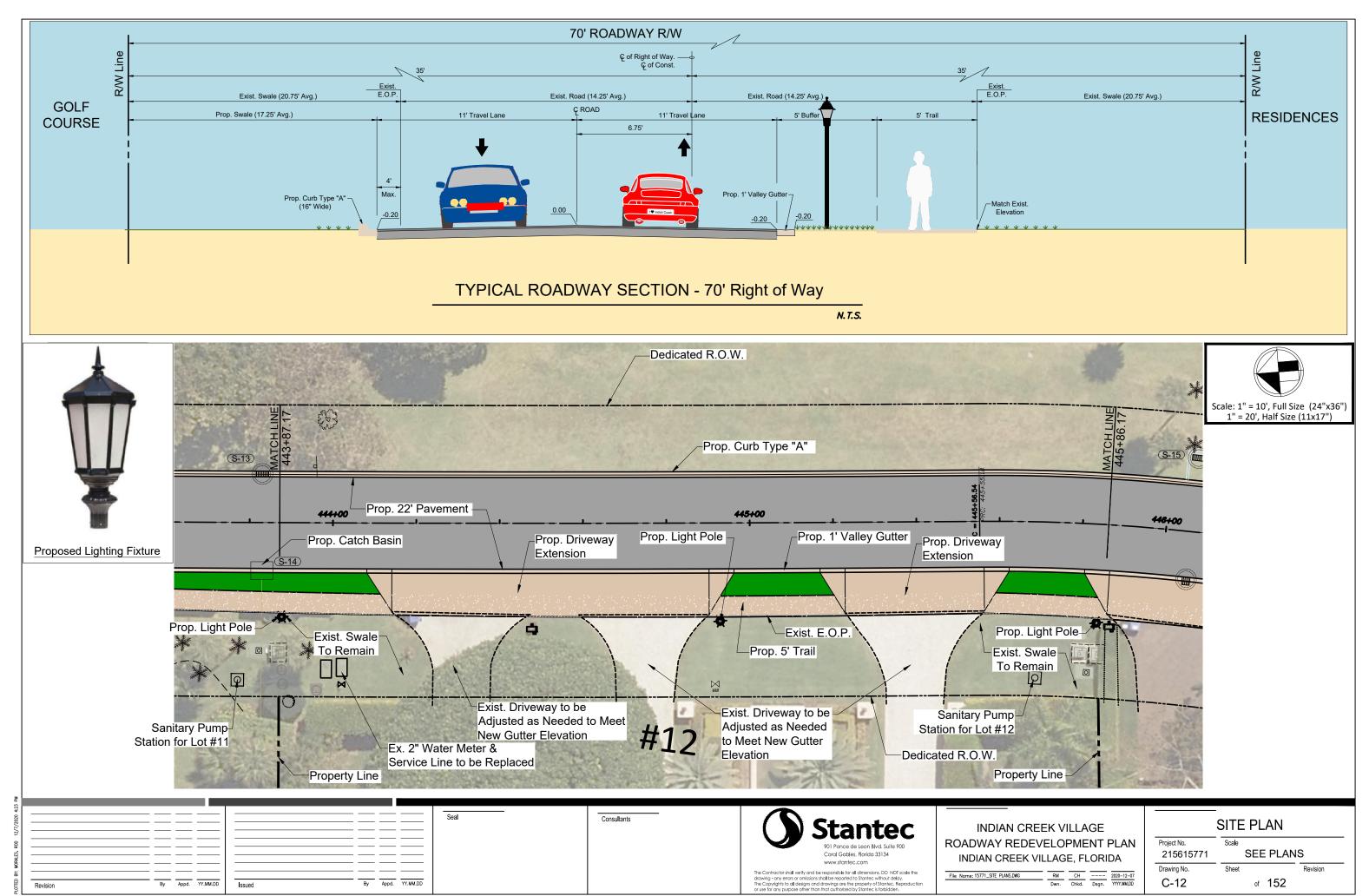


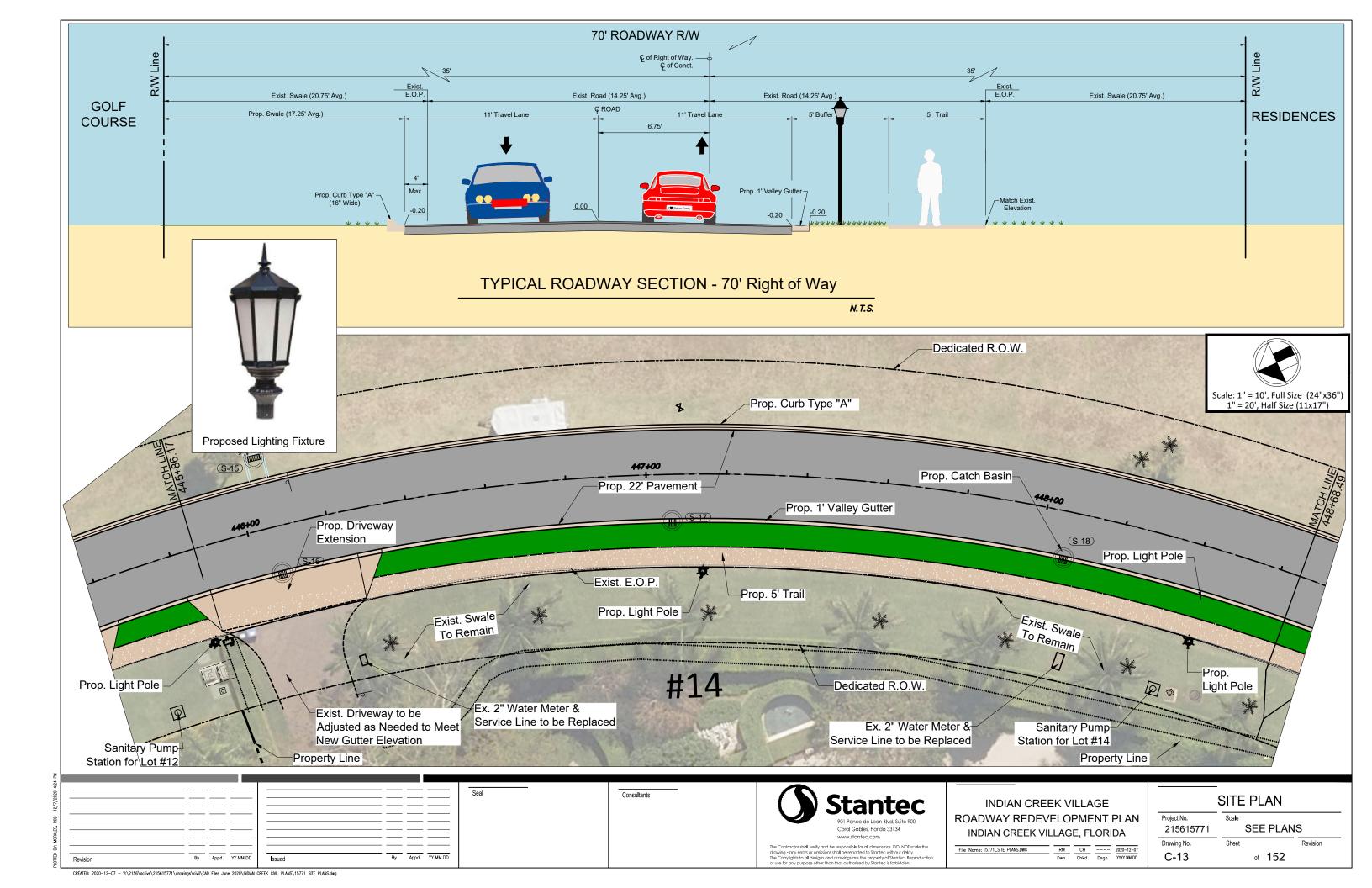


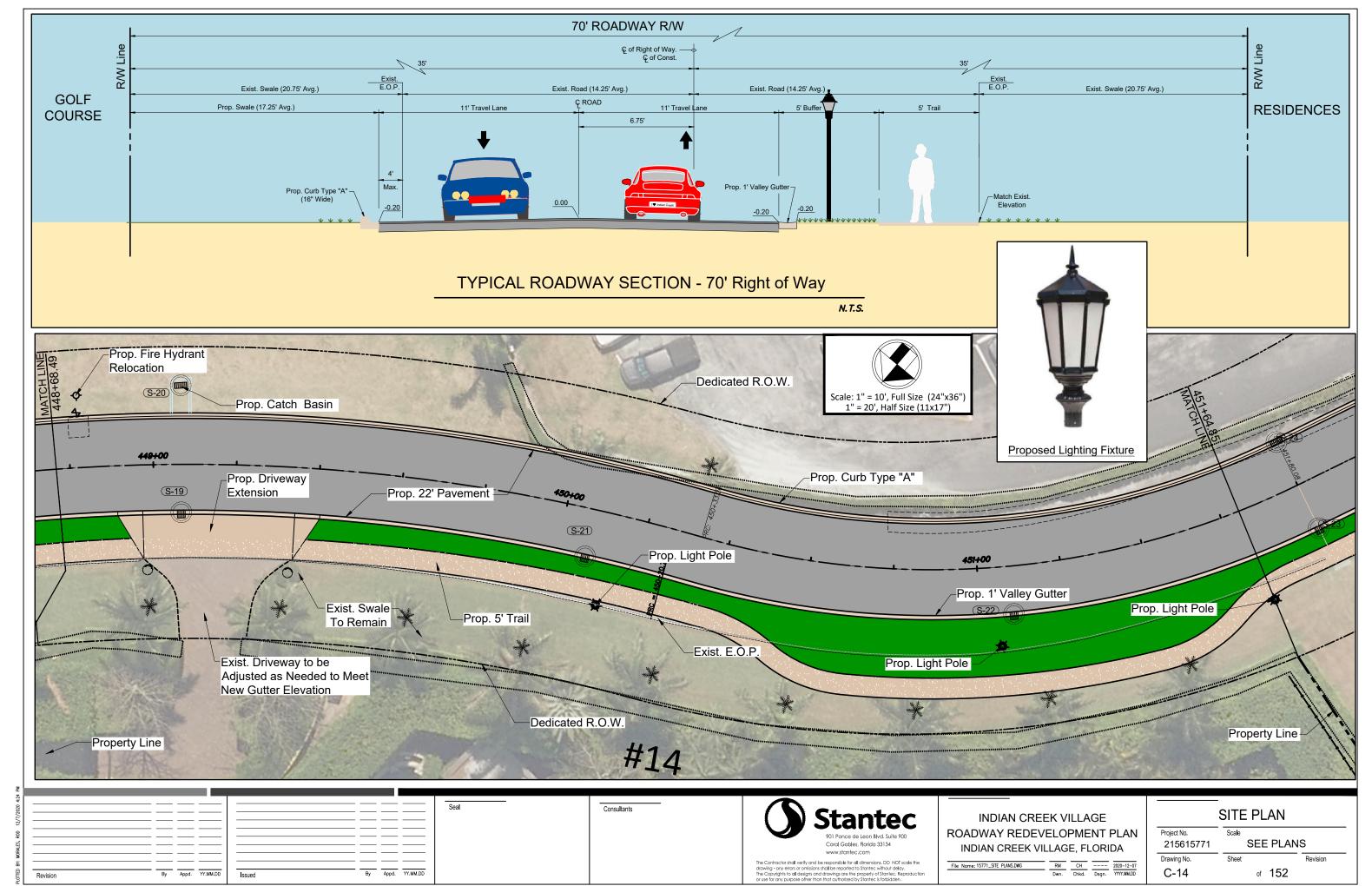


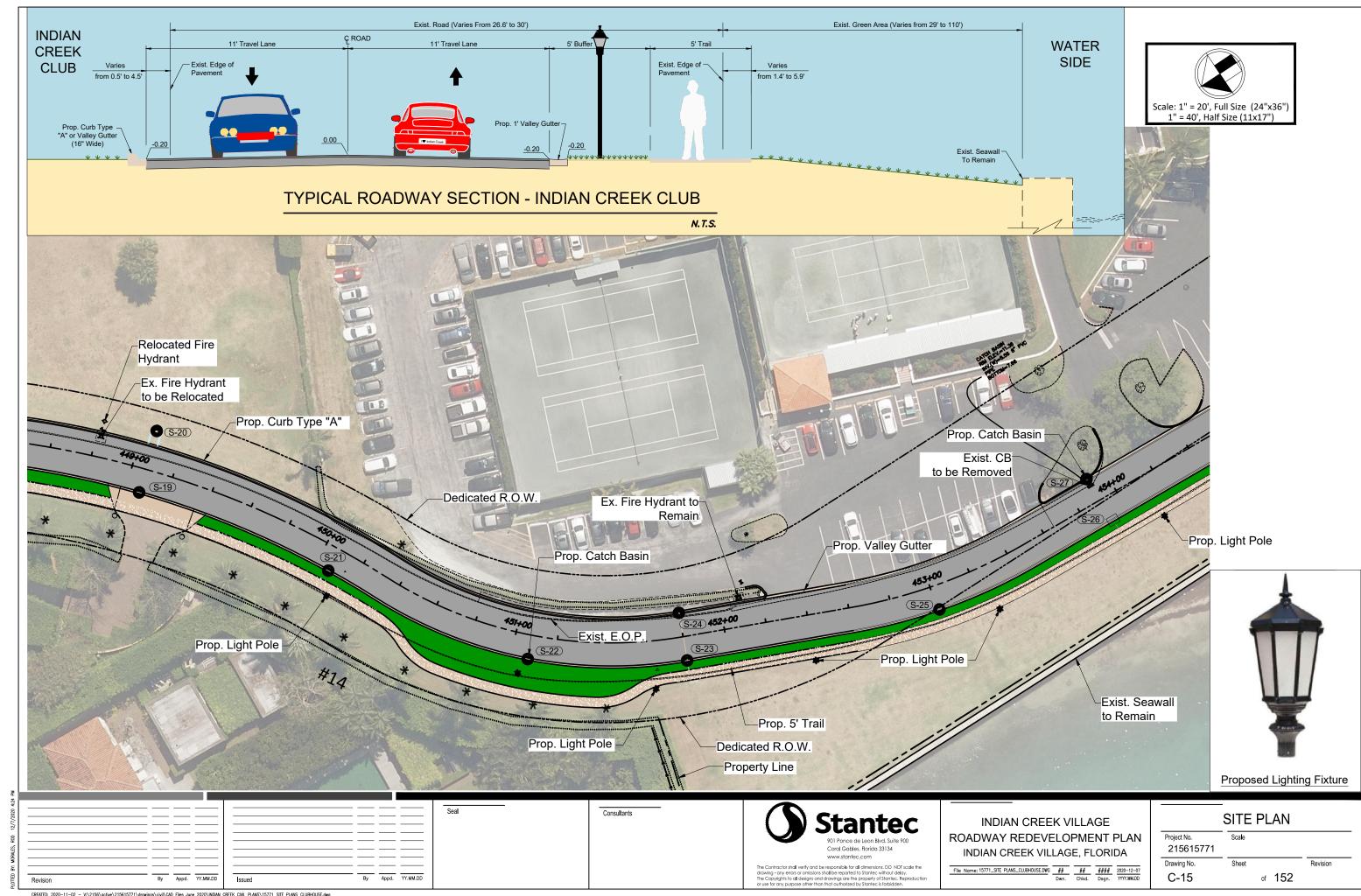




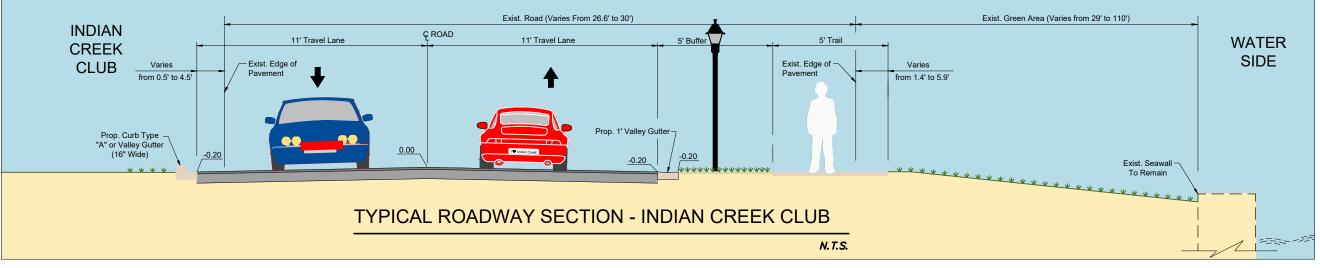


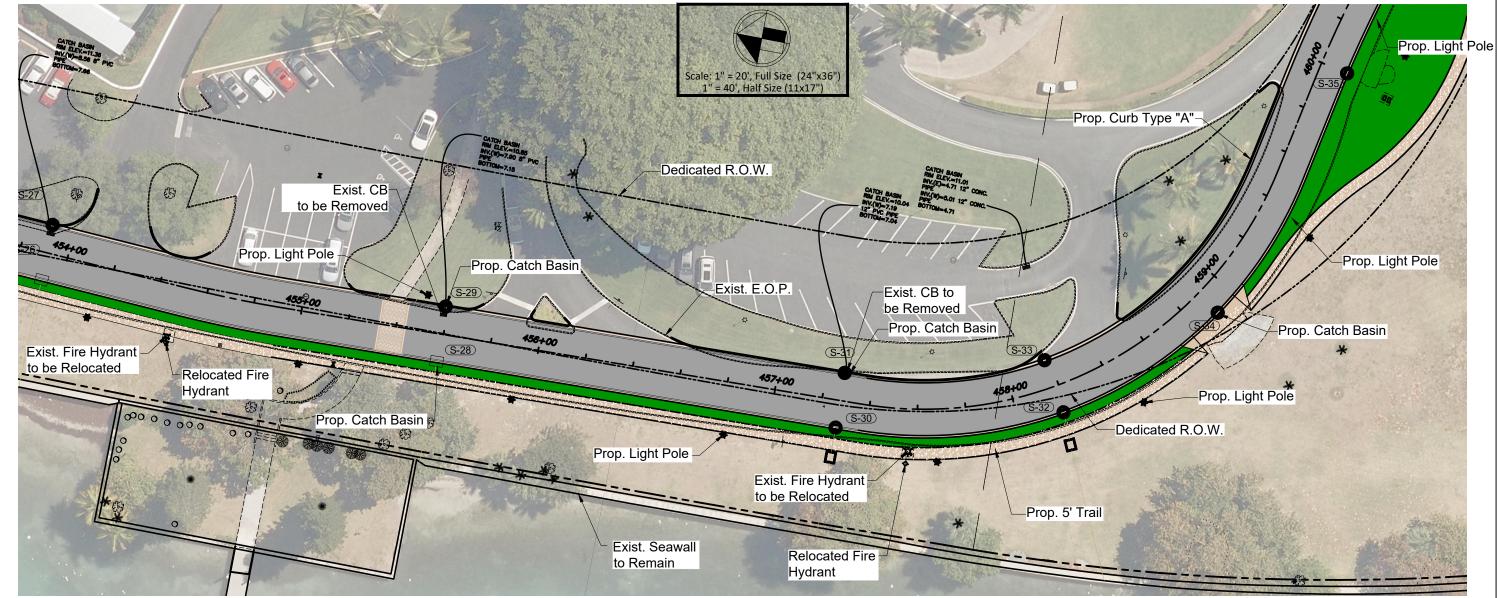








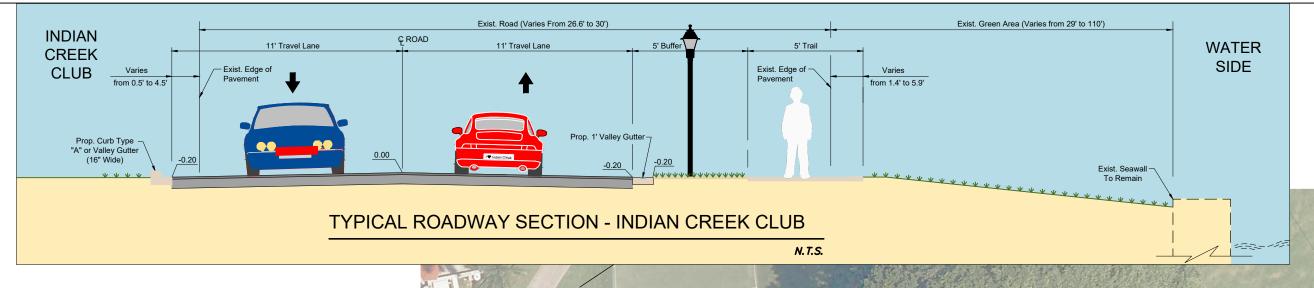




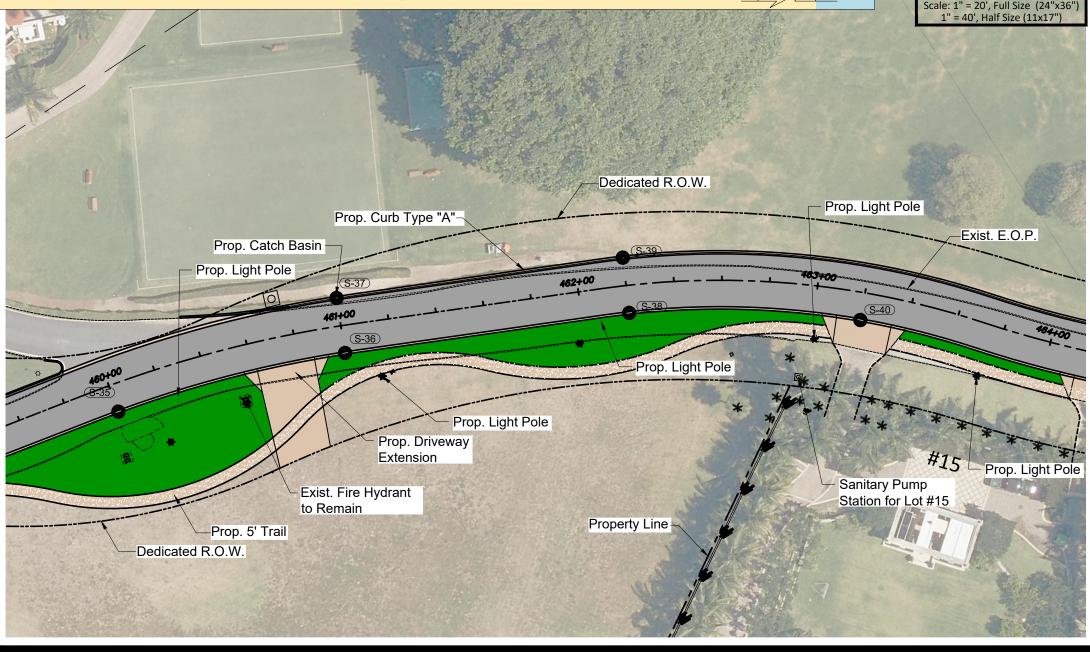
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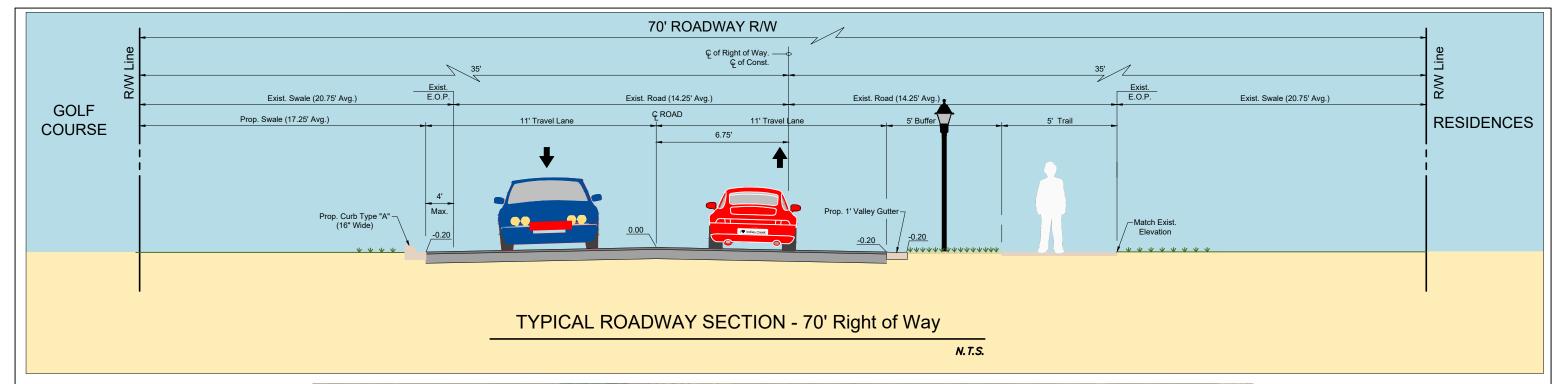
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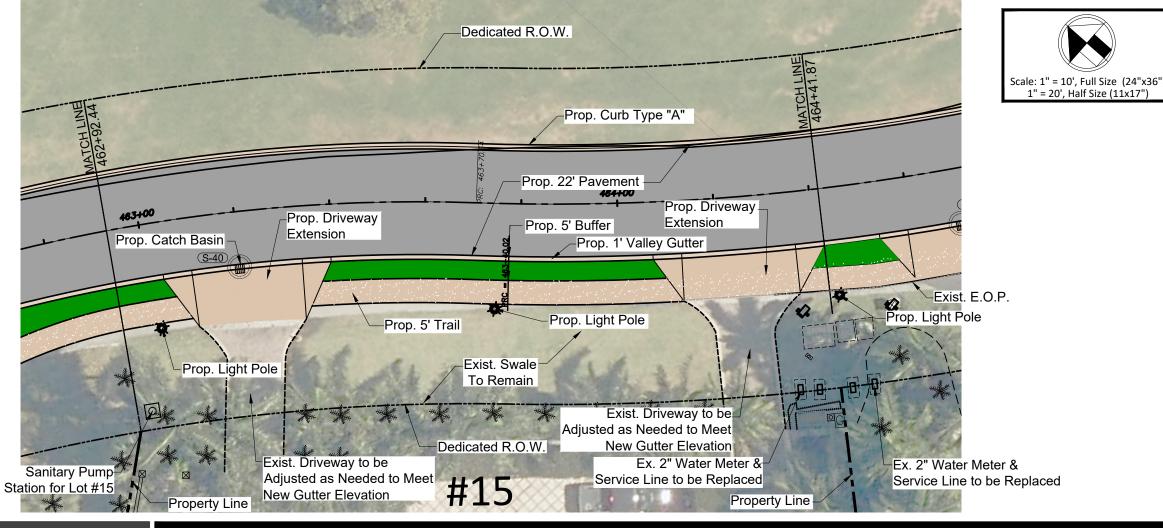












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INDIAN CREEK VILLAGE, ELORIDA

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SITE PLAN

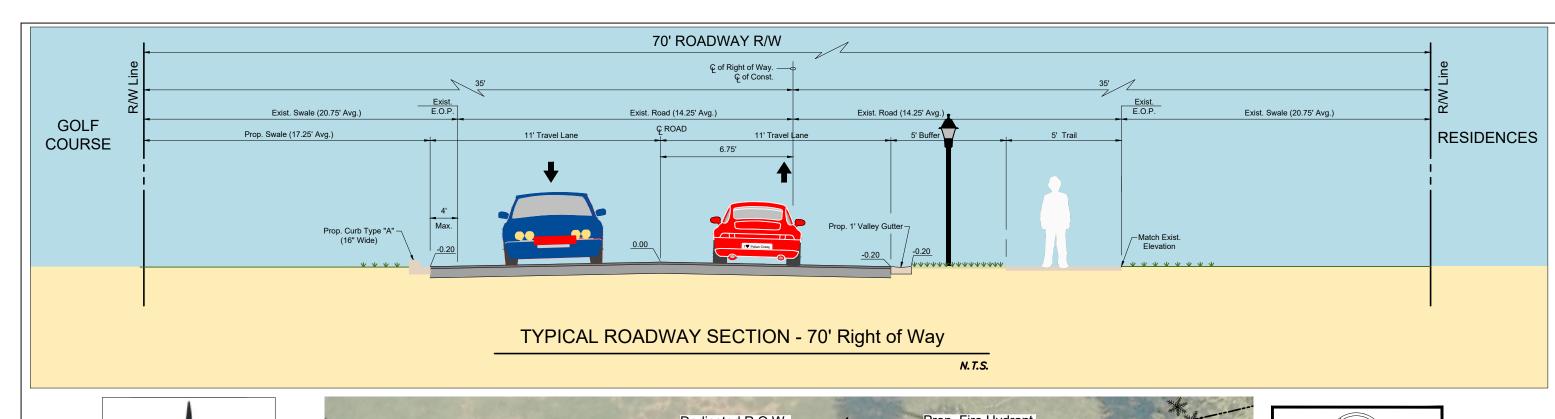
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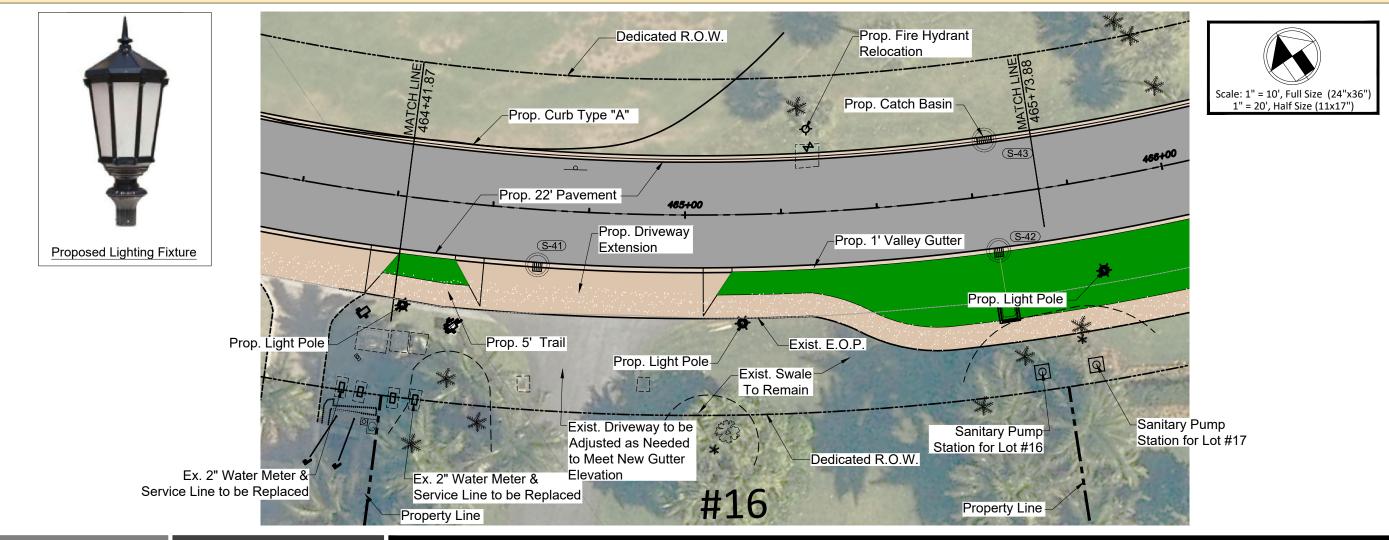
Drawing No. Sheet Revision

C-18 of 152

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SITE PLAN

SEE PLANS

of 152

Scale

Project No.

Drawing No.

215615771

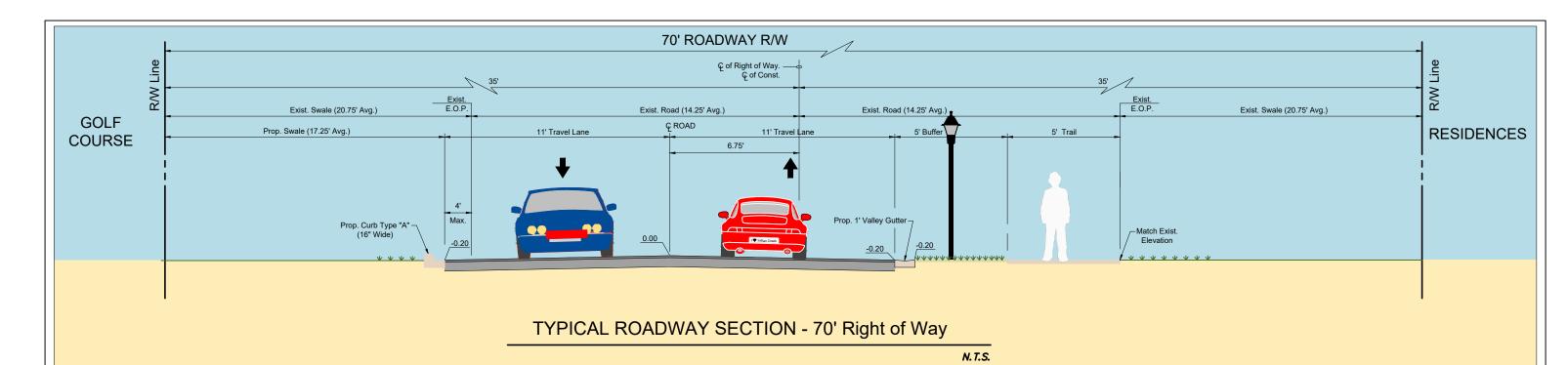
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FLORIDA

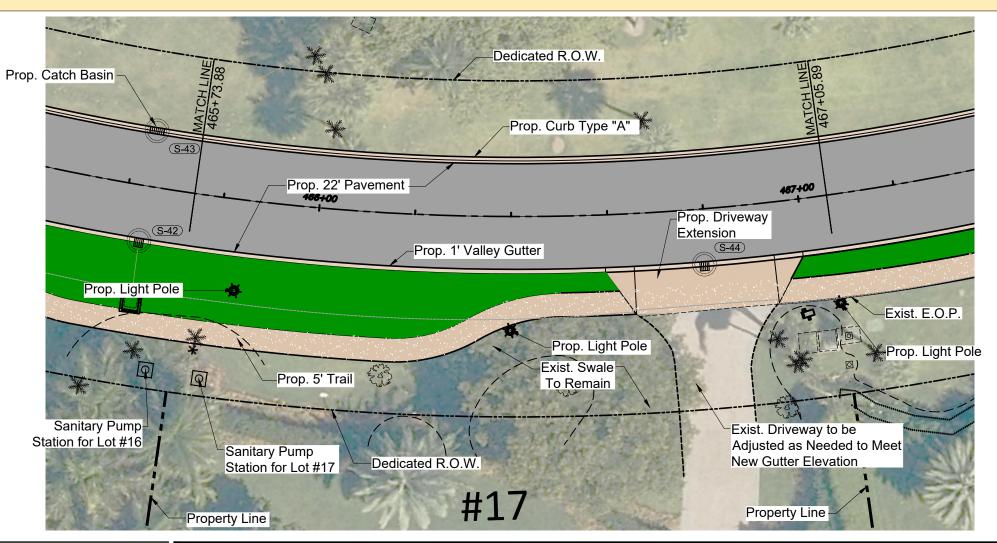
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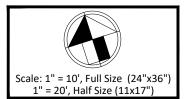
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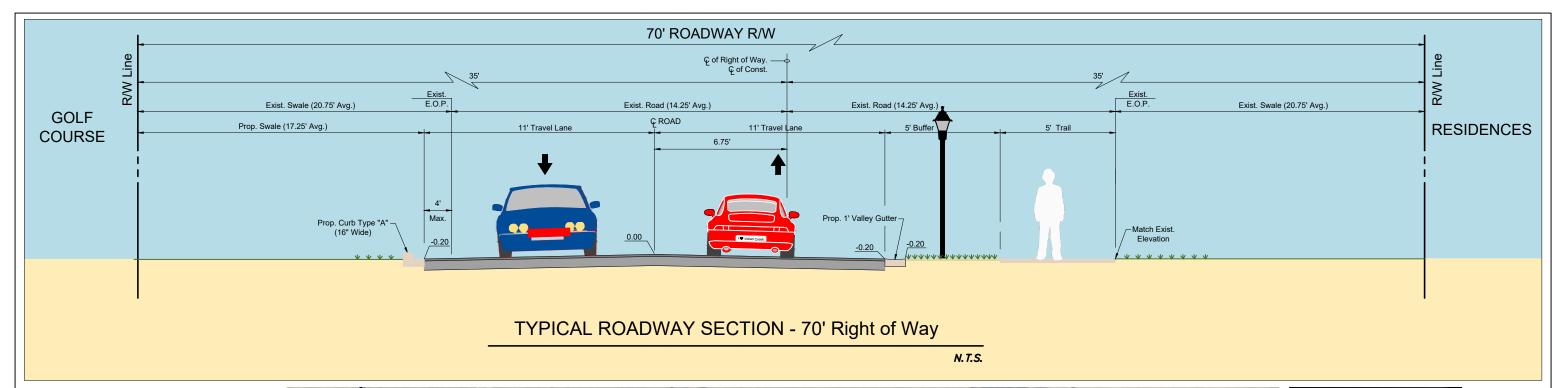
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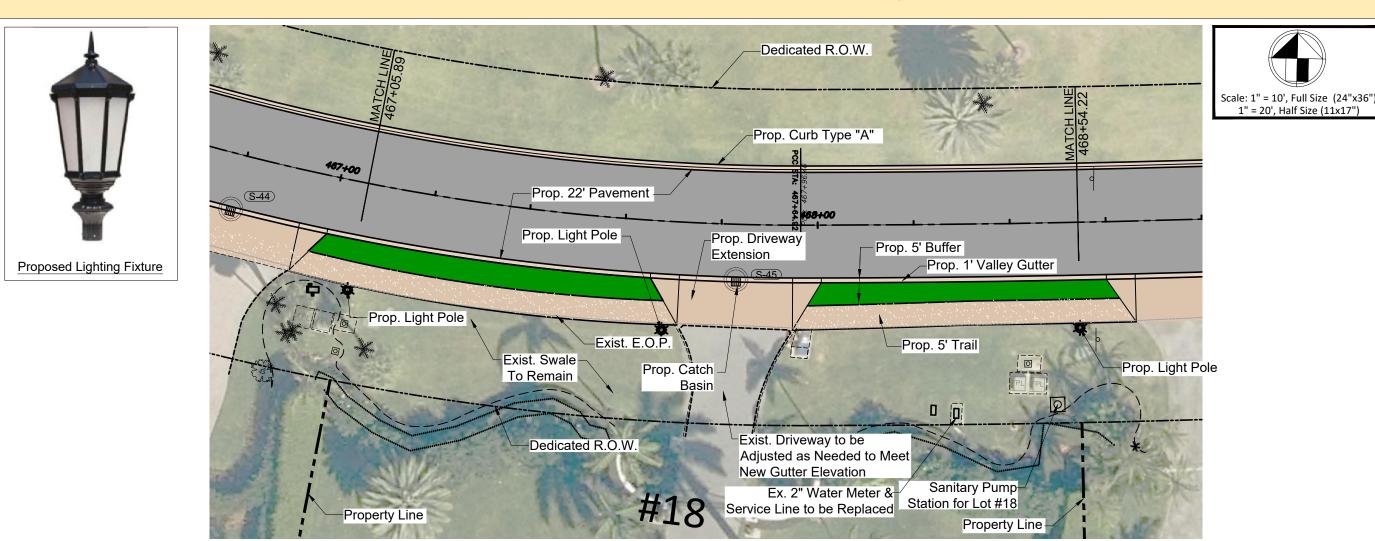
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

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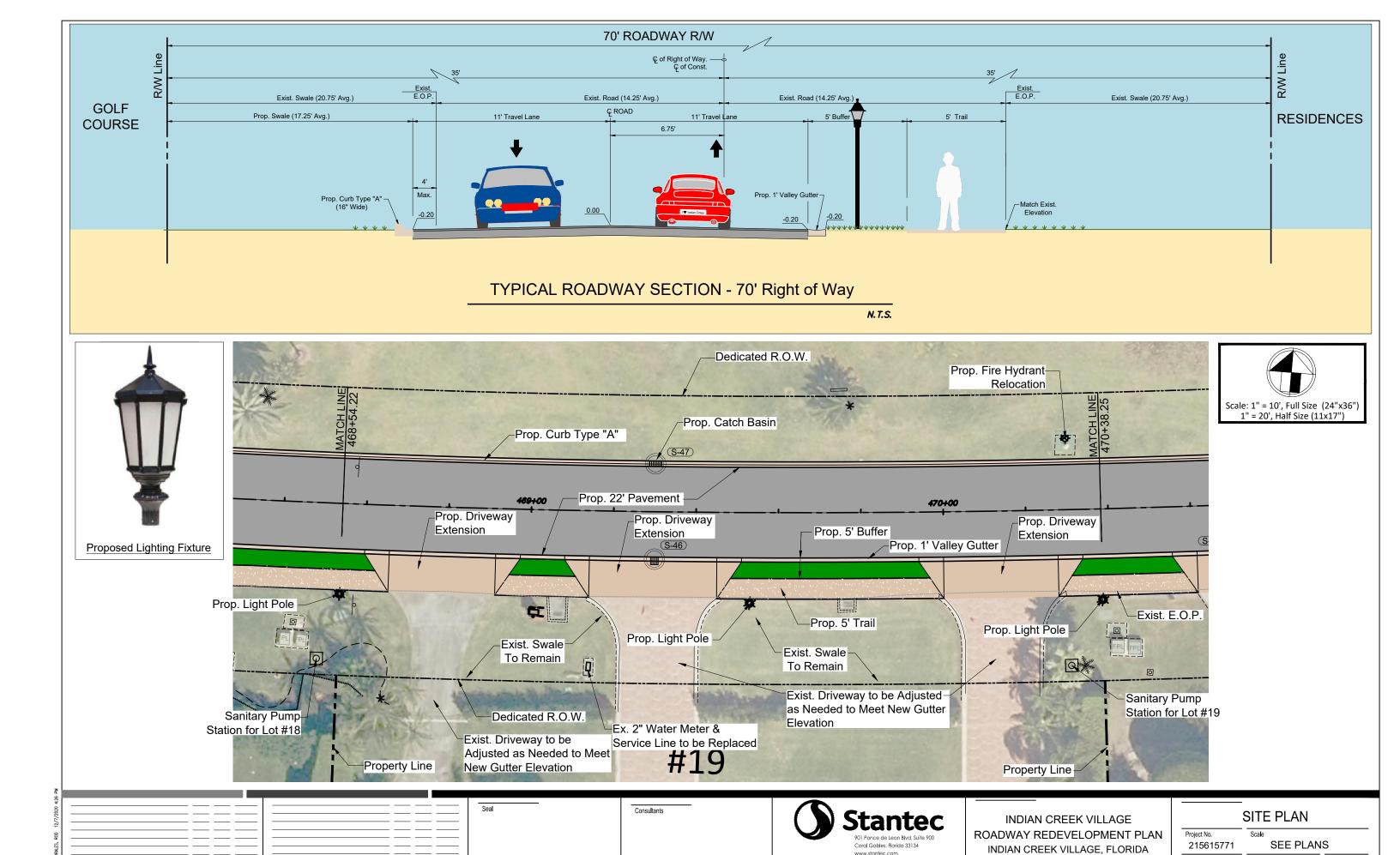


INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

SITE PLAN Project No. 215615771 SEE PLANS Drawing No. C-21 of 152

1" = 20', Half Size (11x17")

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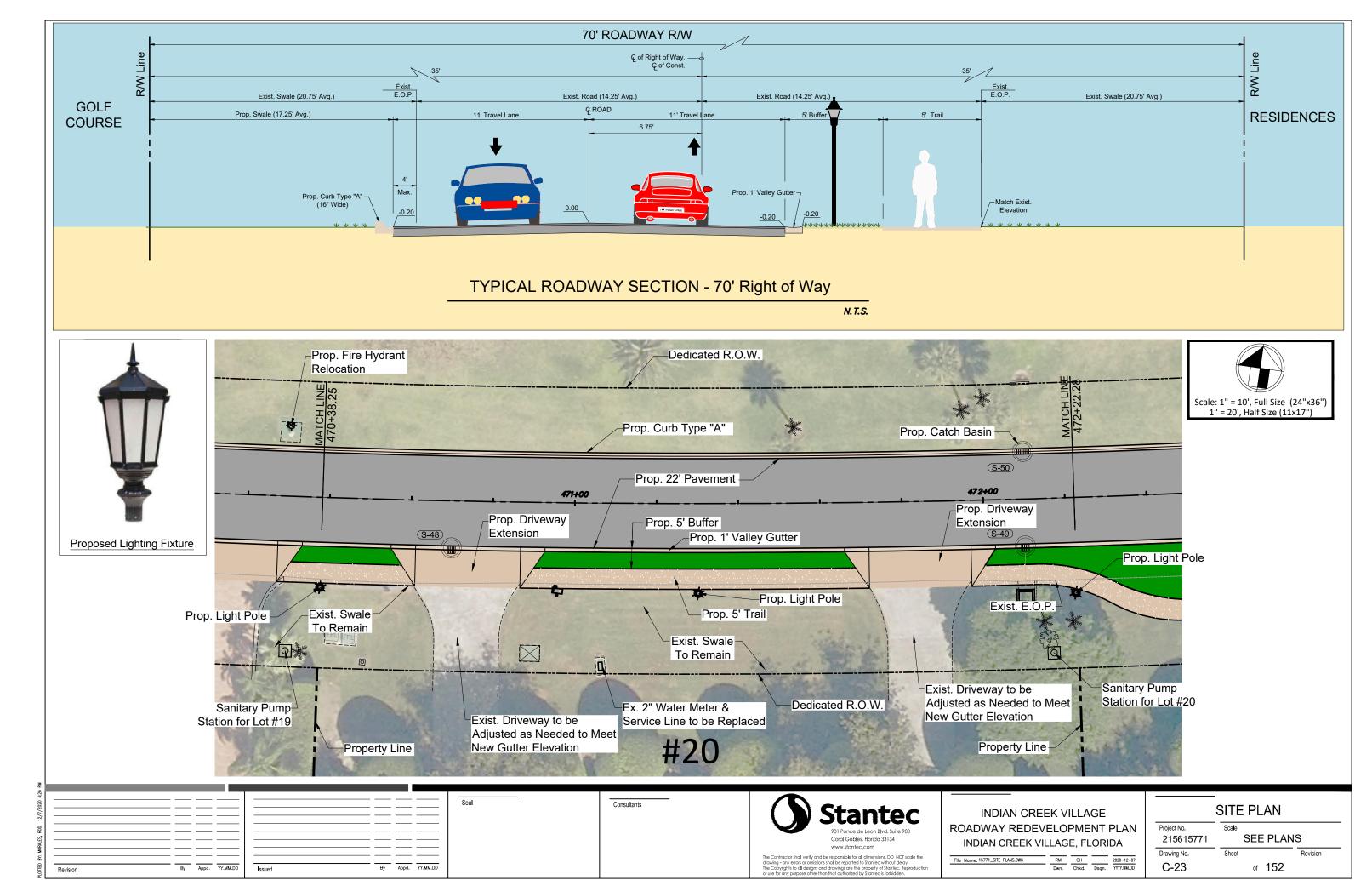


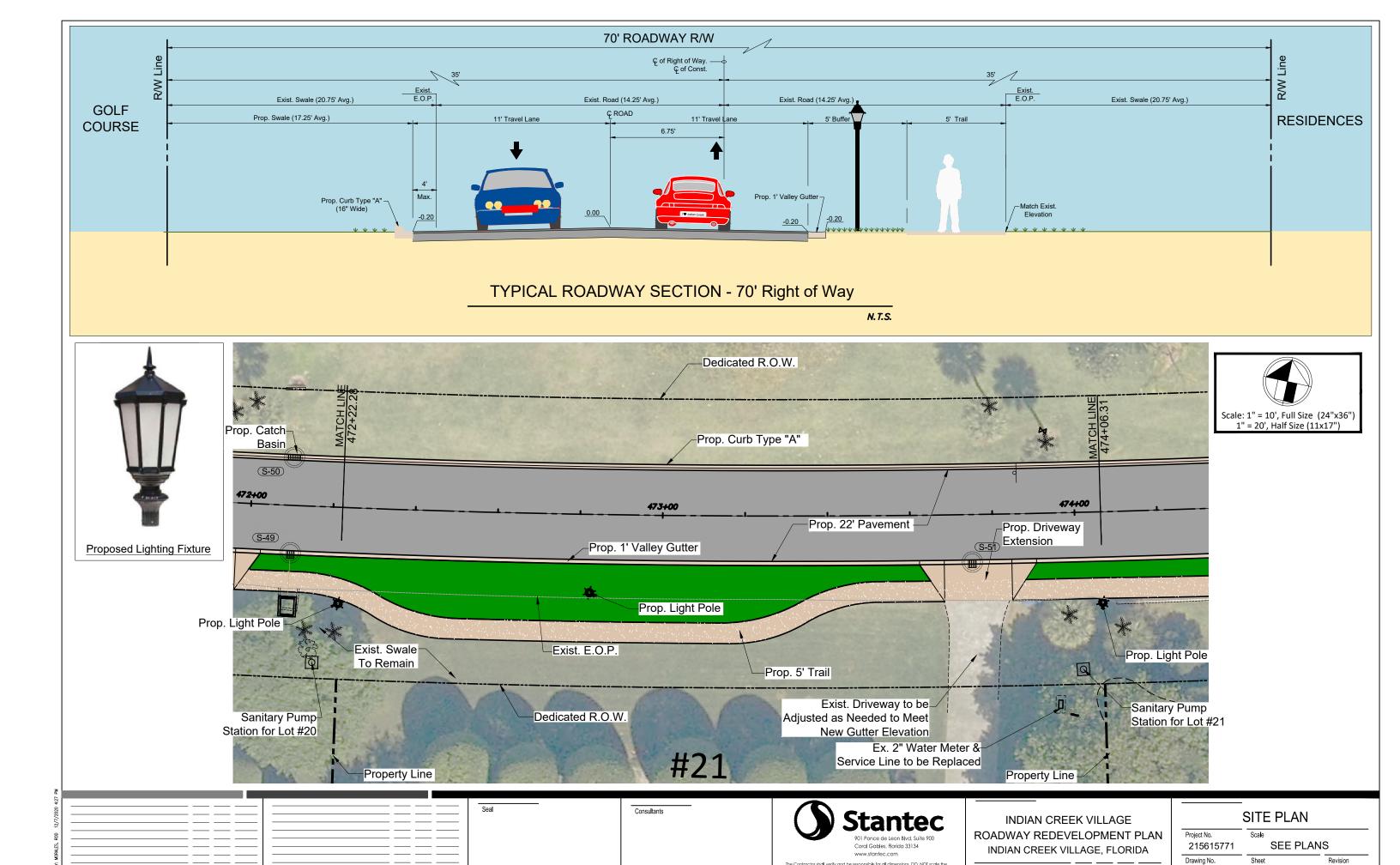
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of 152

Revision

Appd. YY.MM.DD



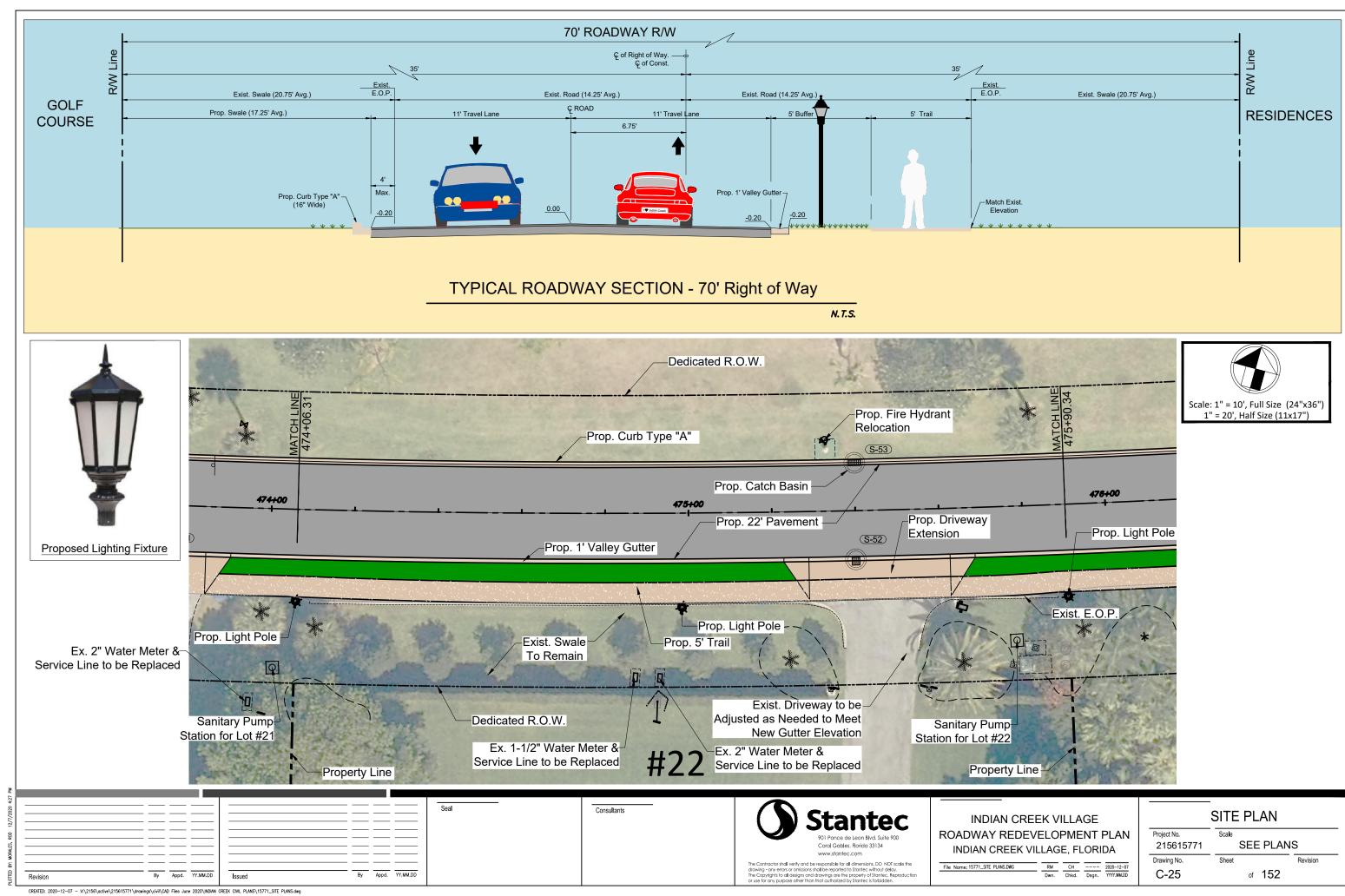


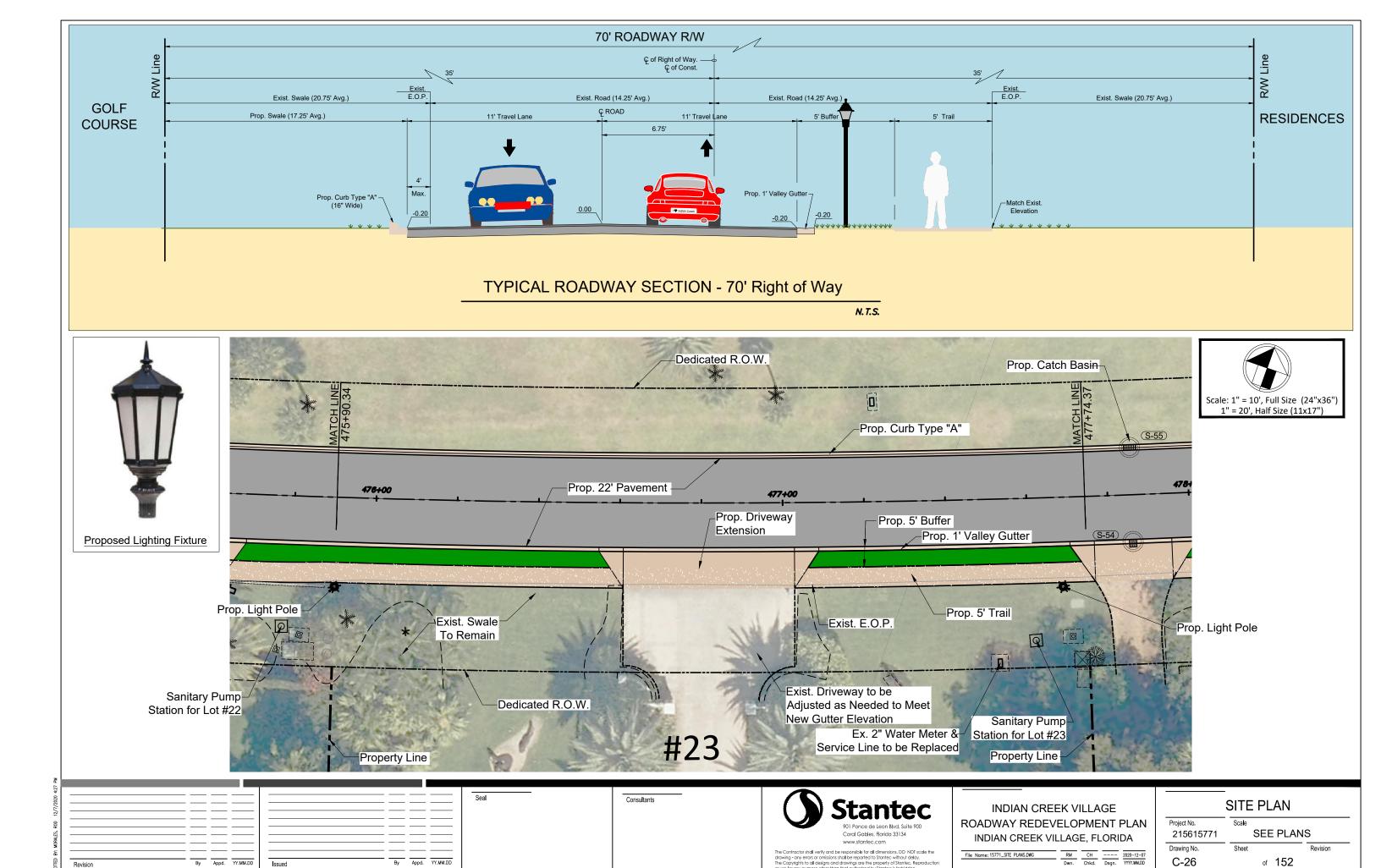
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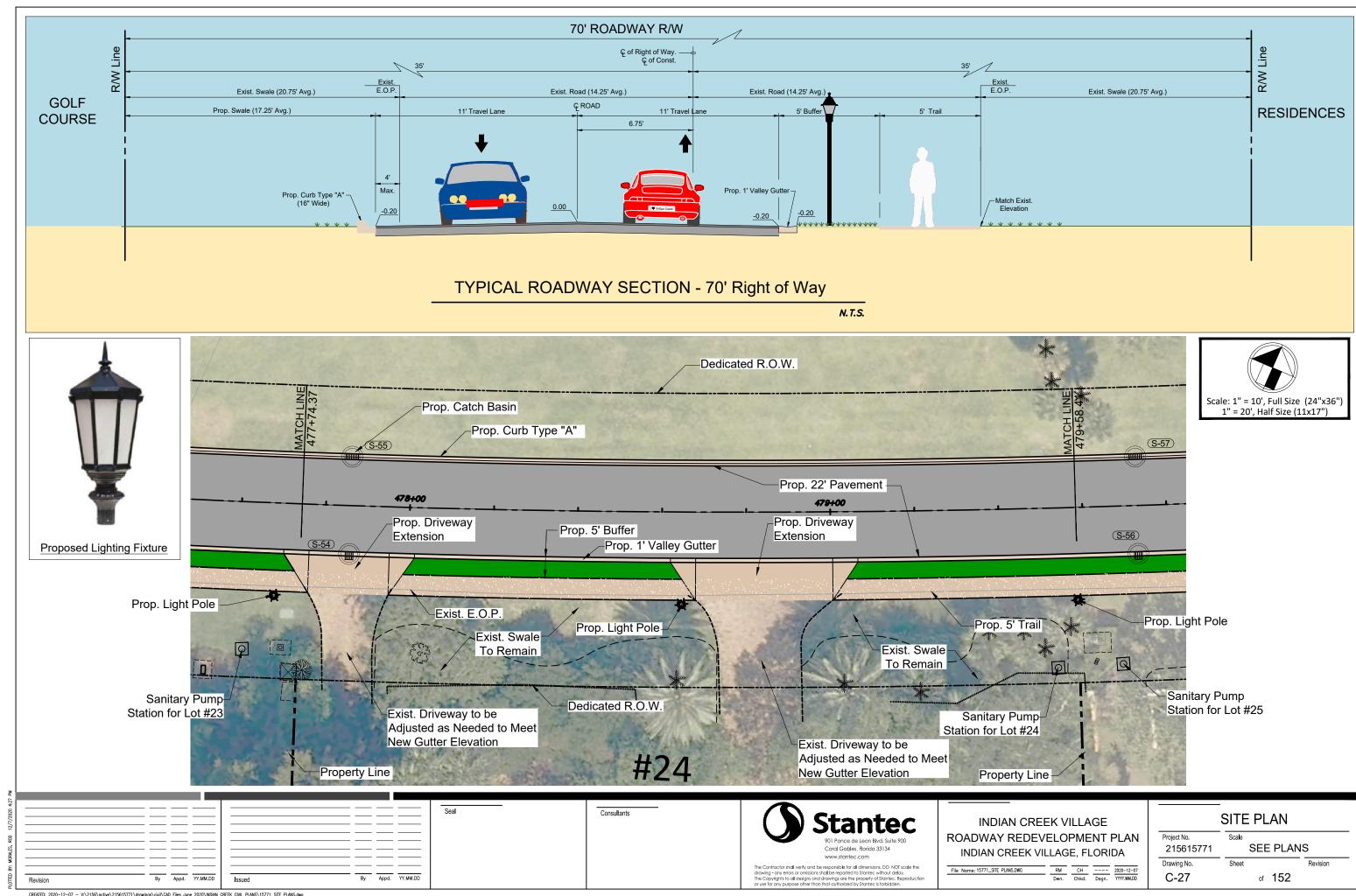
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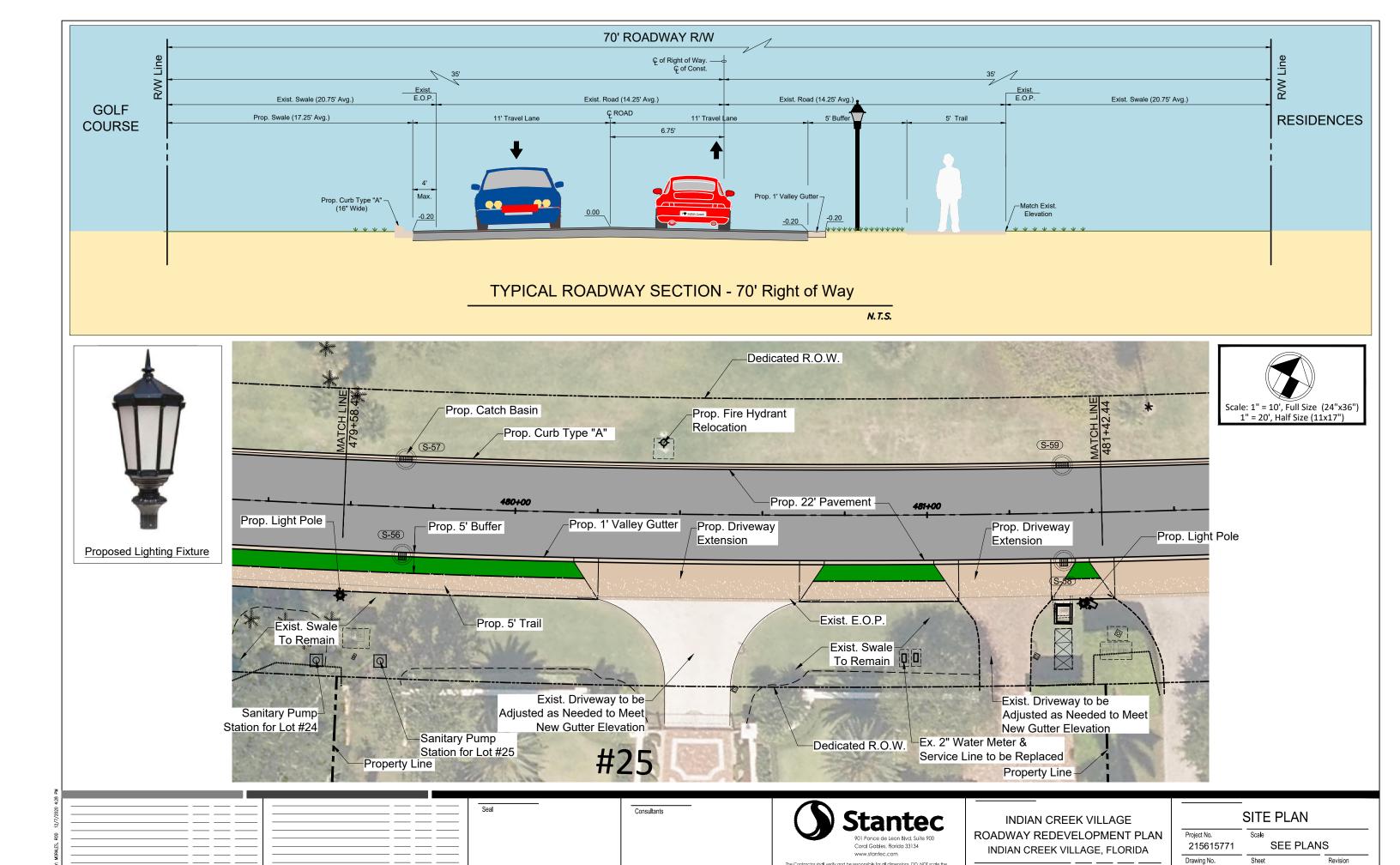
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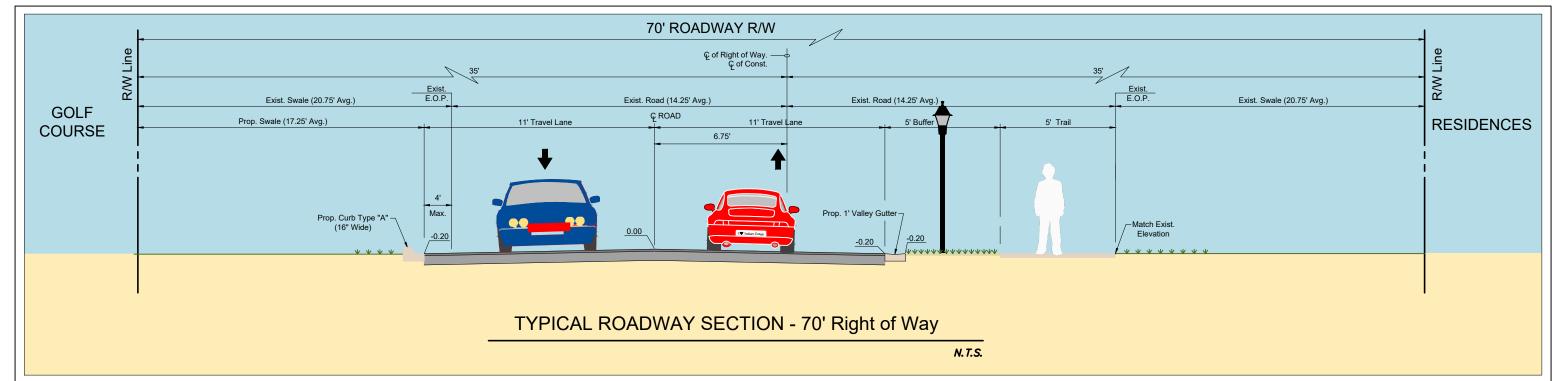


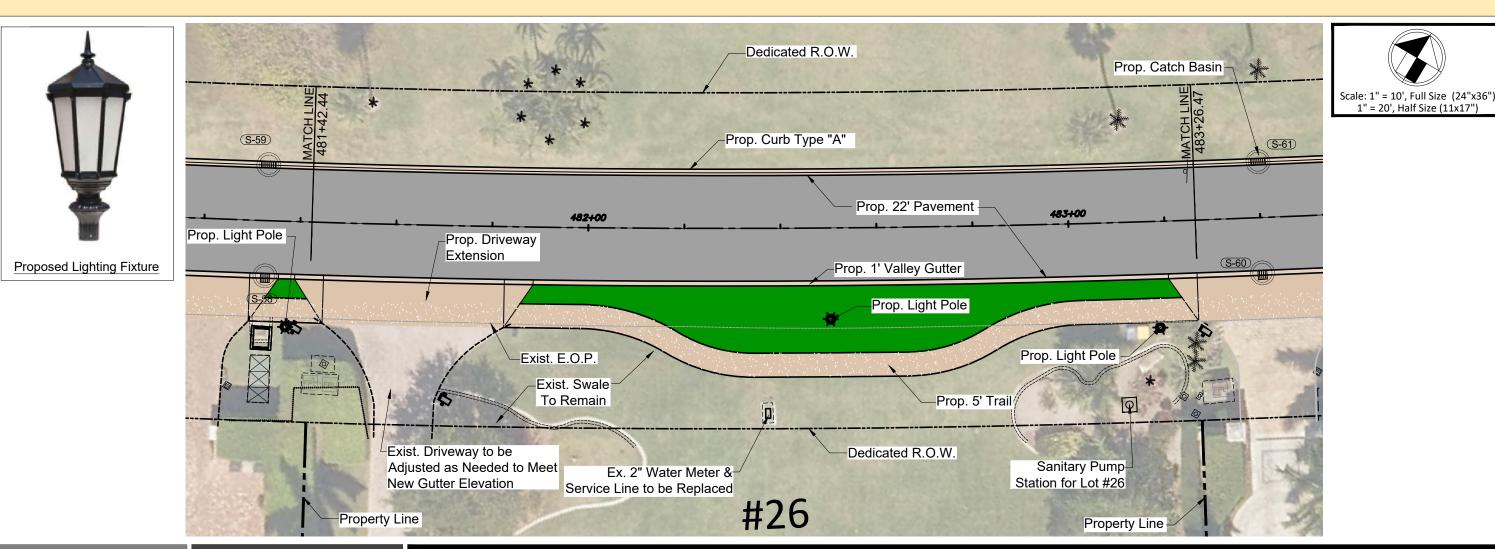


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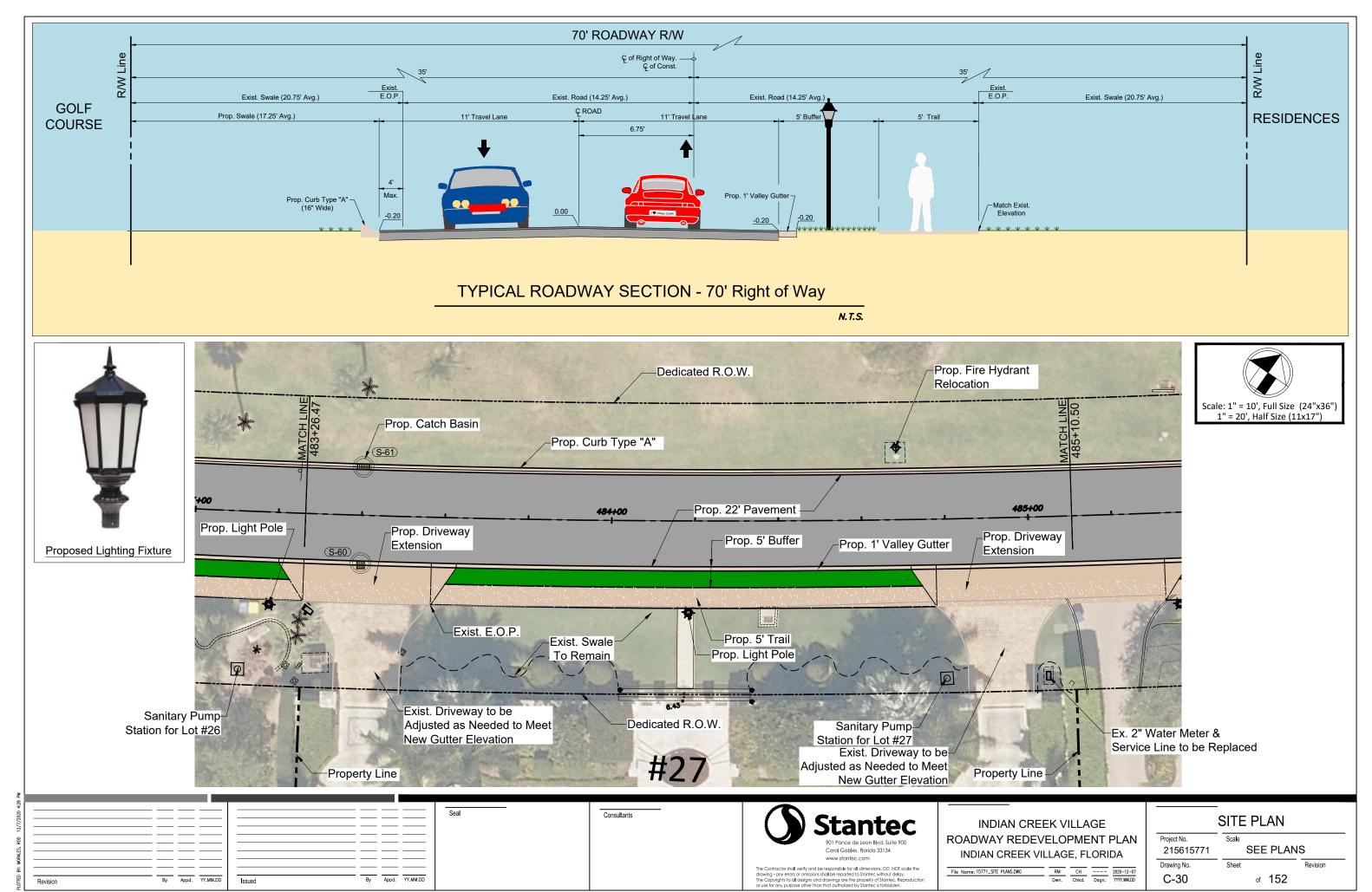


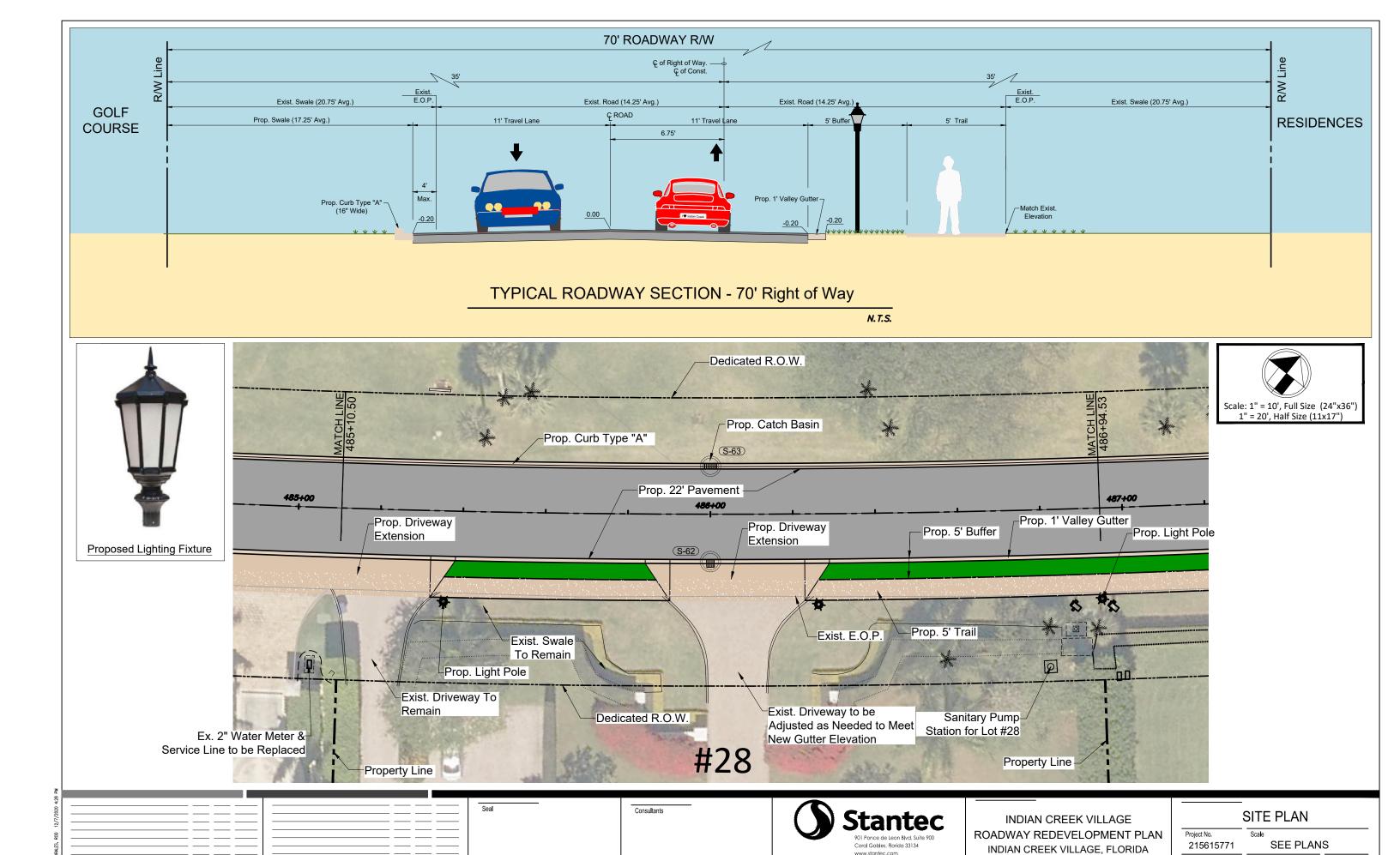
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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

SITE PLAN Project No. 215615771 SEE PLANS Drawing No. C-29 of 152



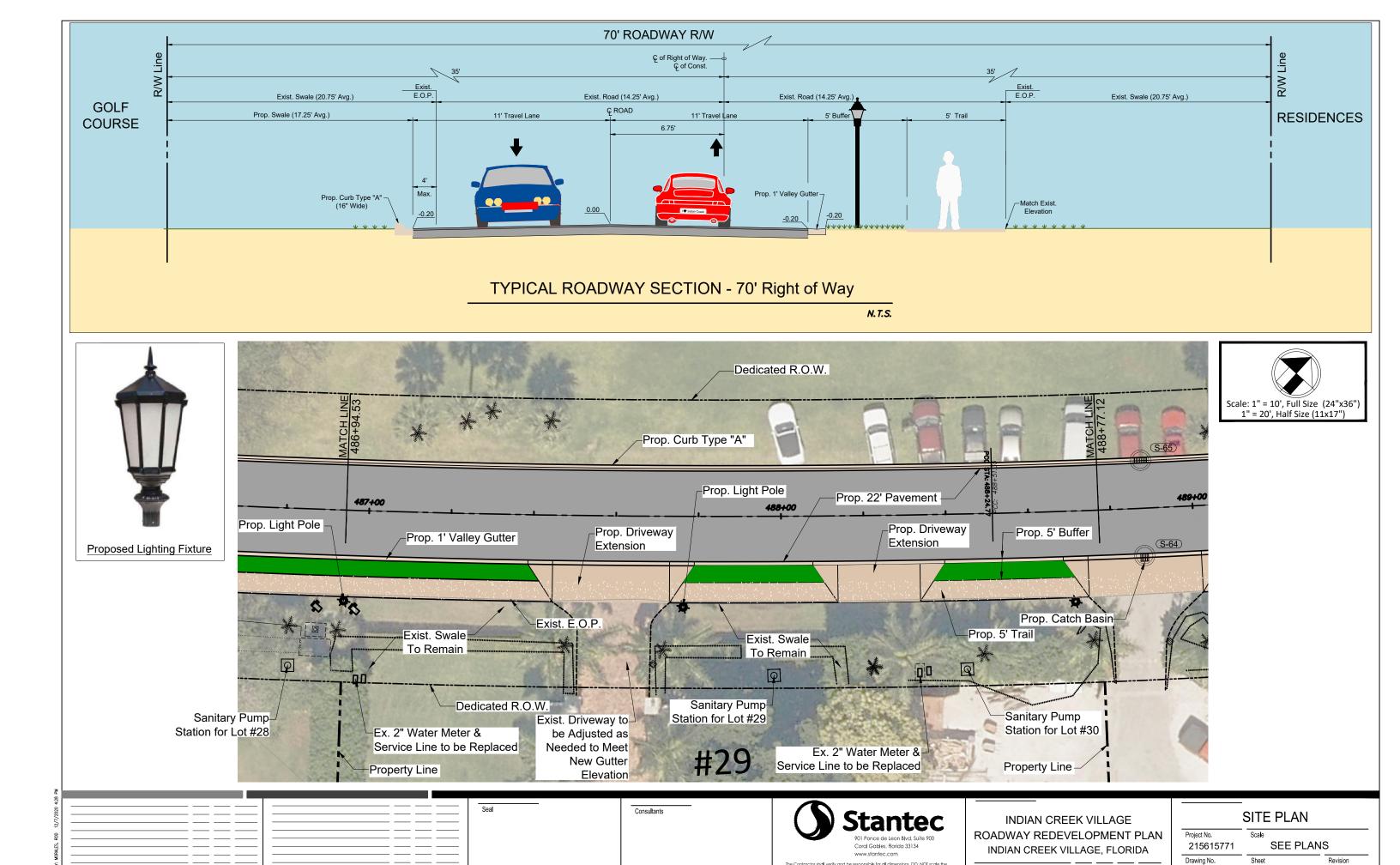


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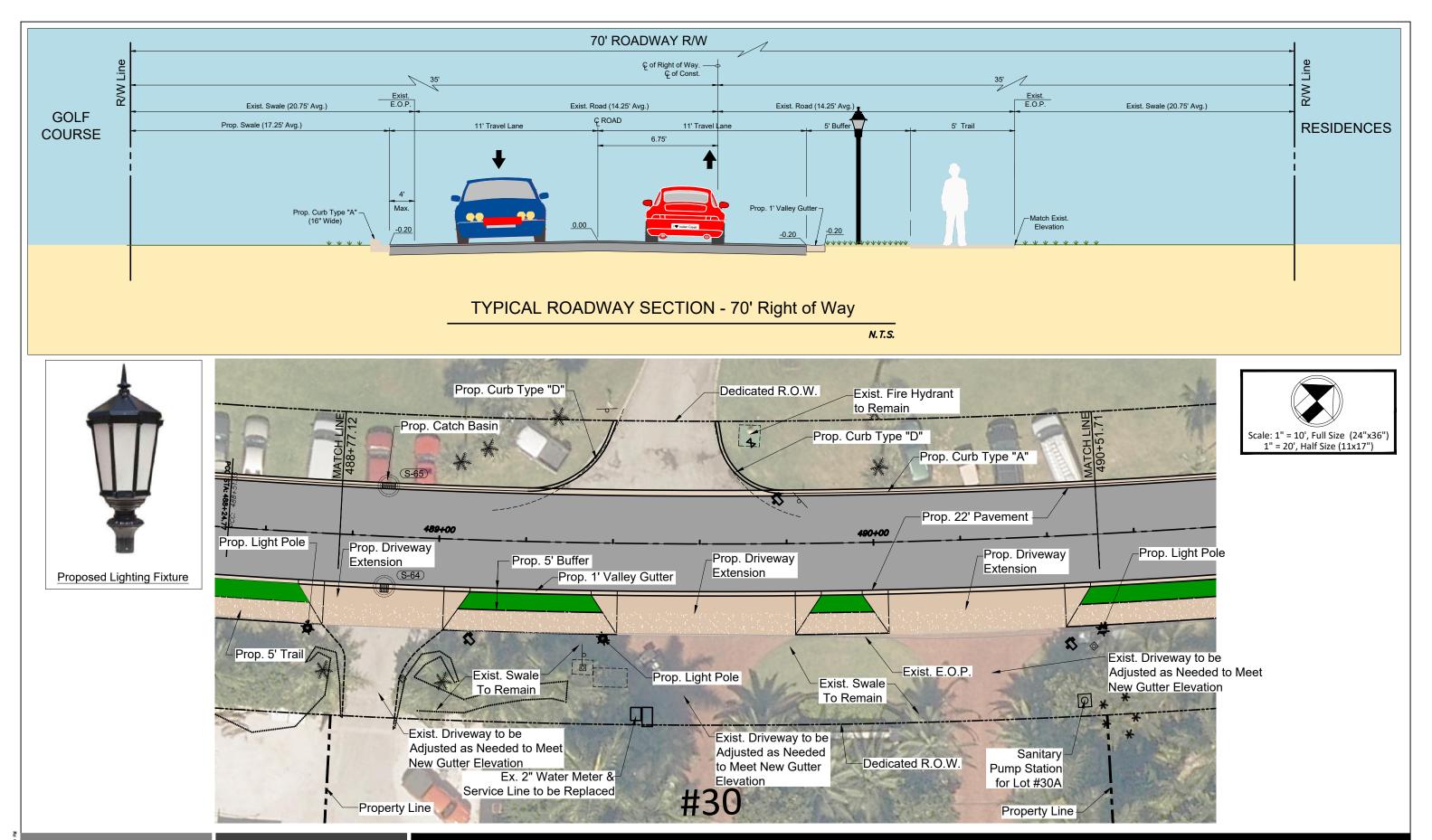
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INDIAN CREEK VILLAGE, FLORIDA

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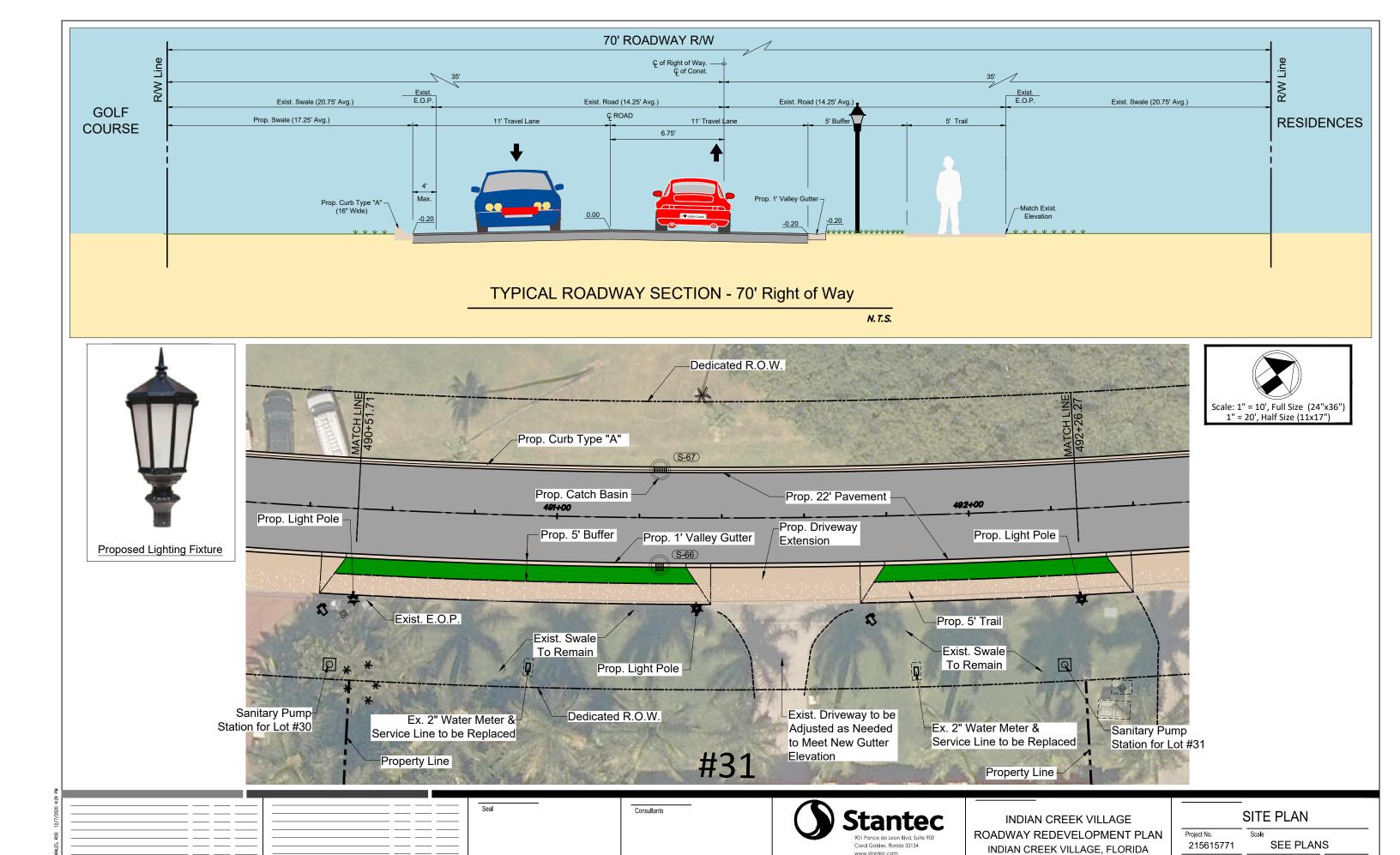
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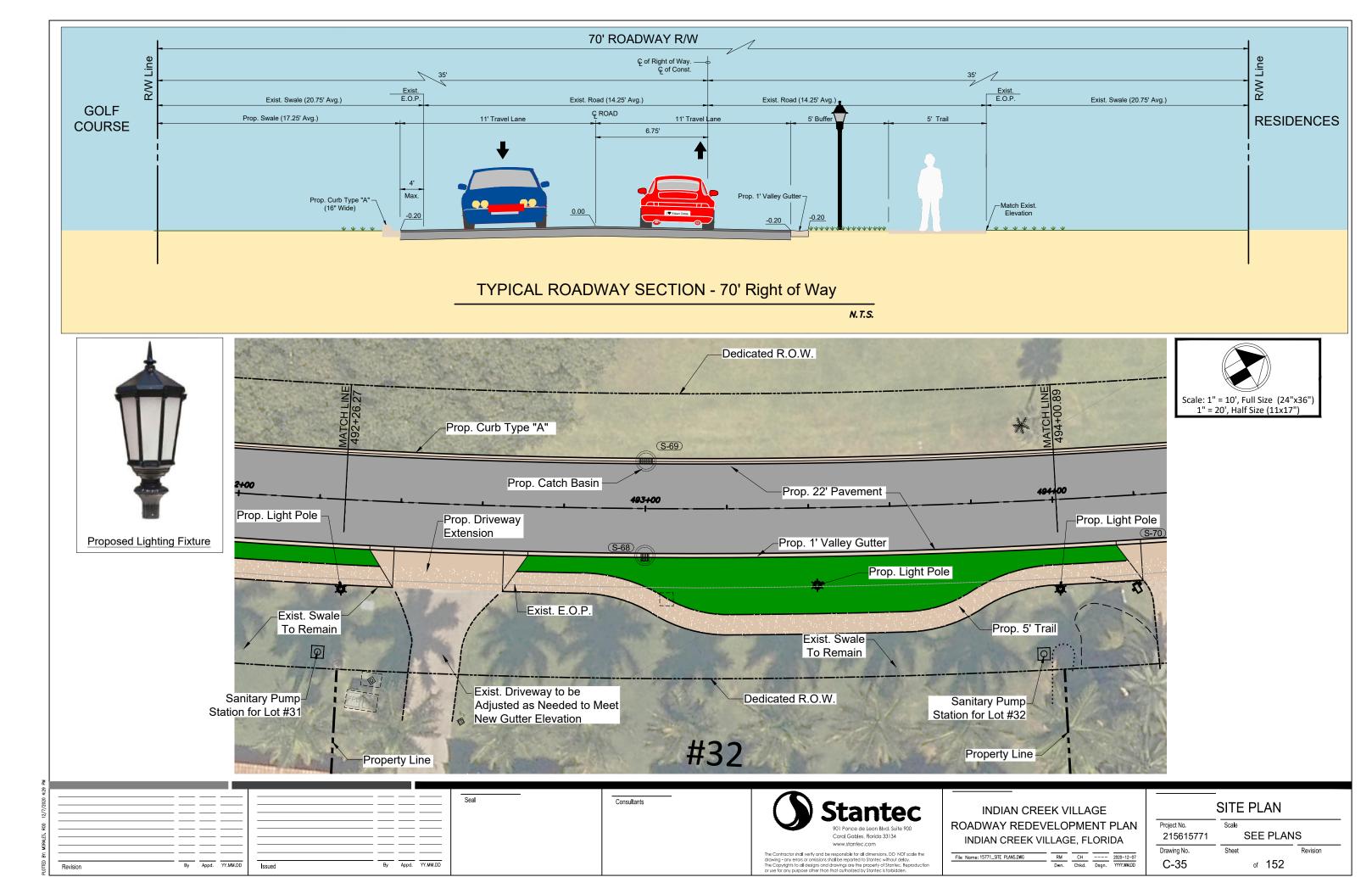
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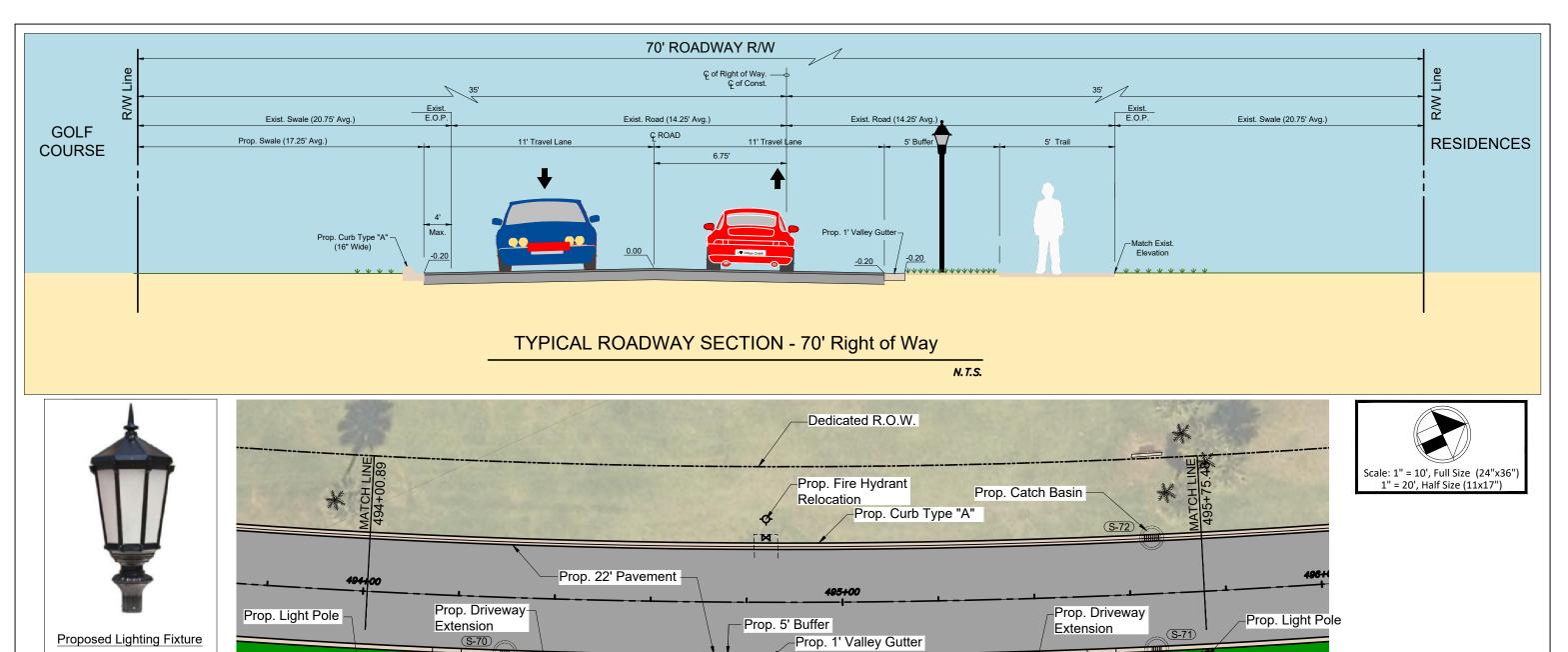
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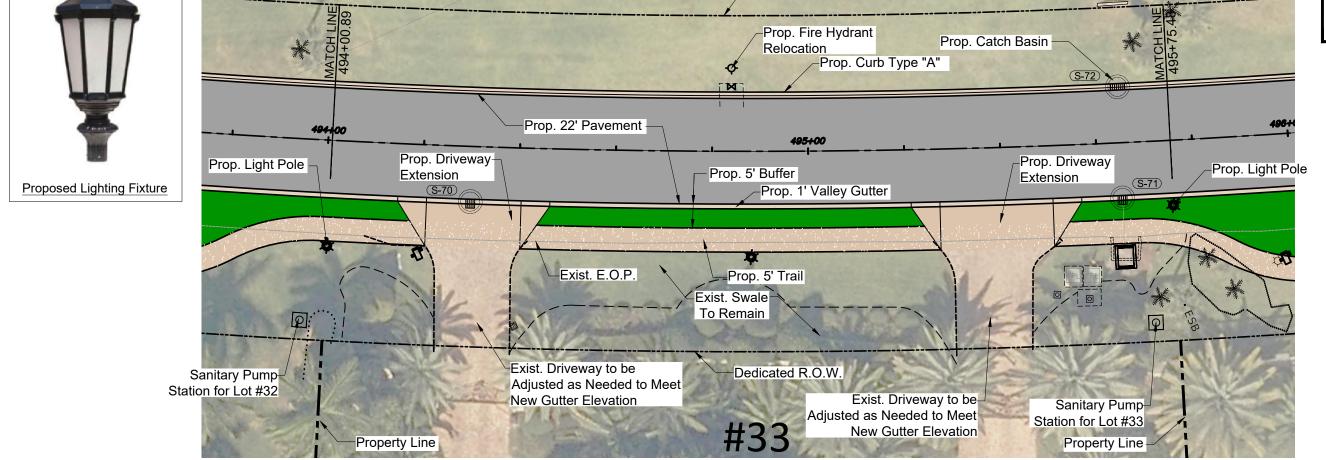
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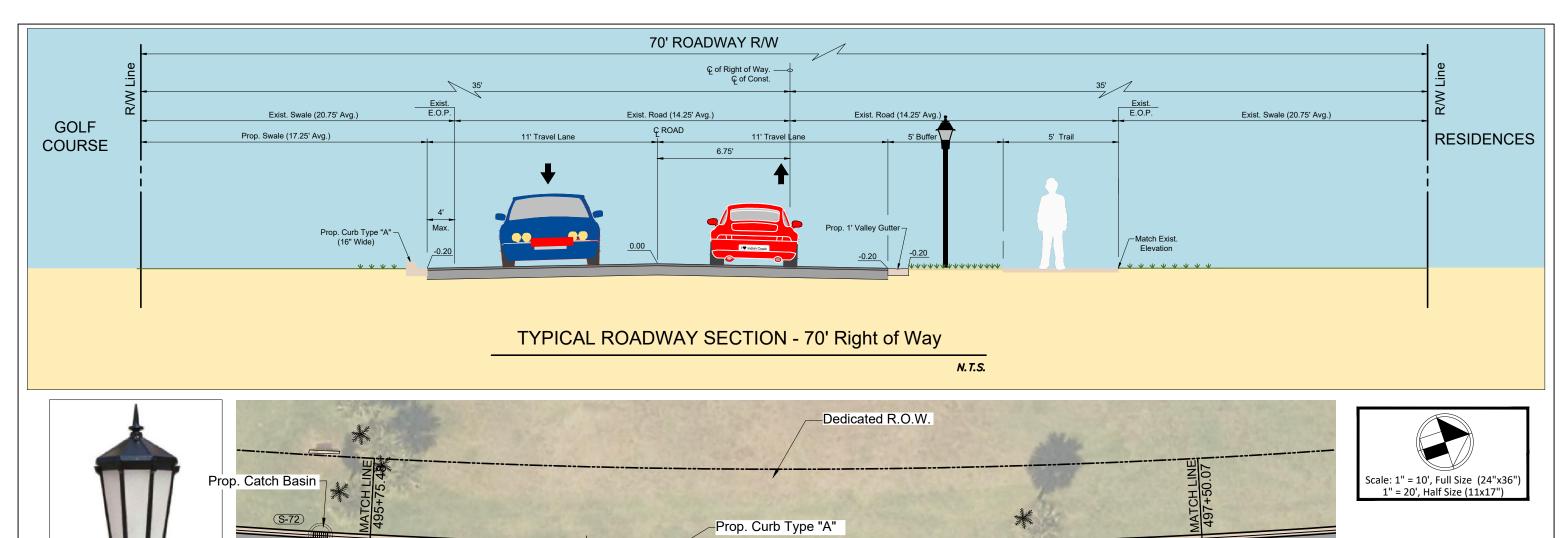
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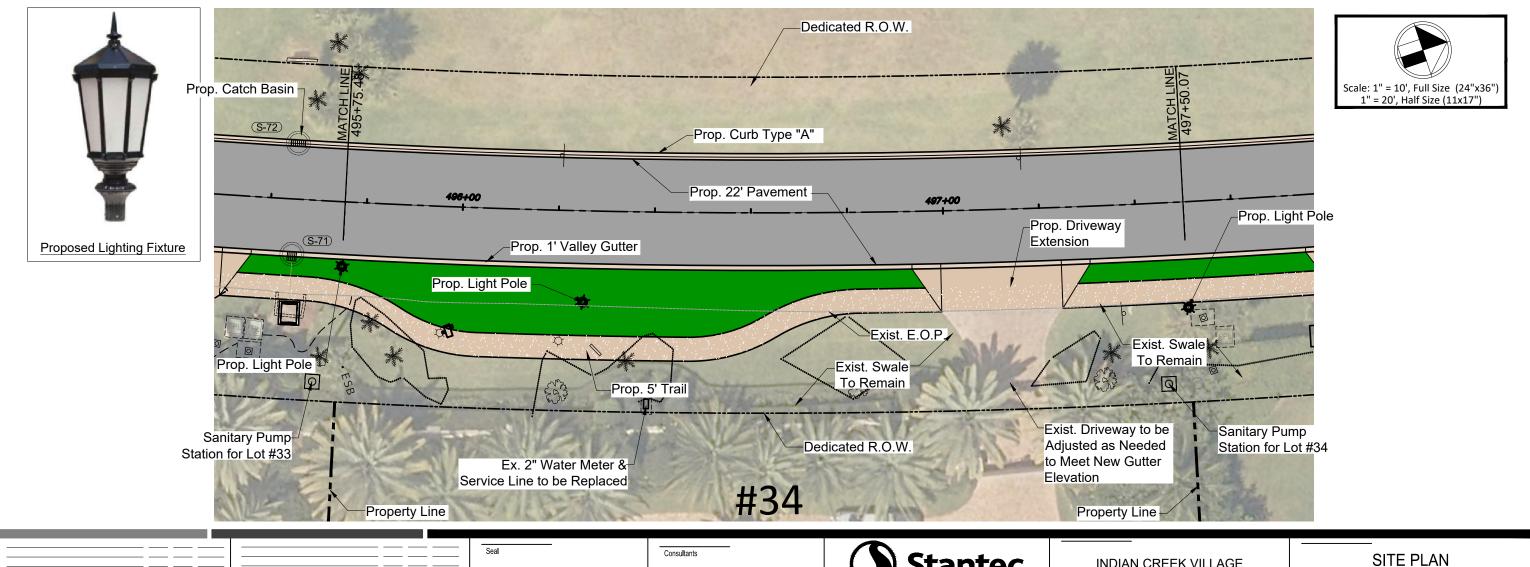
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

| SITE PLAN | Project No. | Scale | 215615771 | SEE PLANS | Revision | C-36 | of 152

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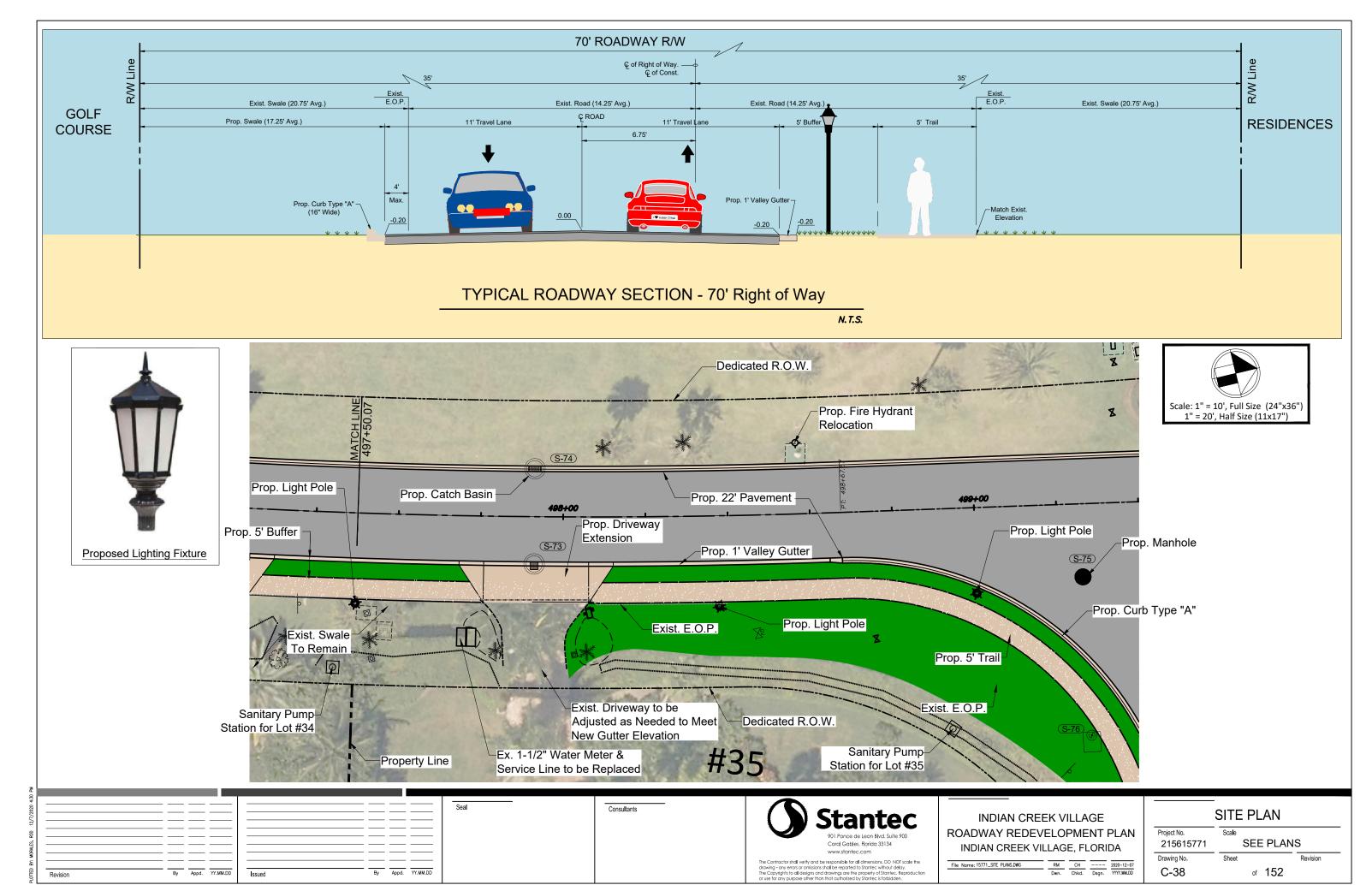
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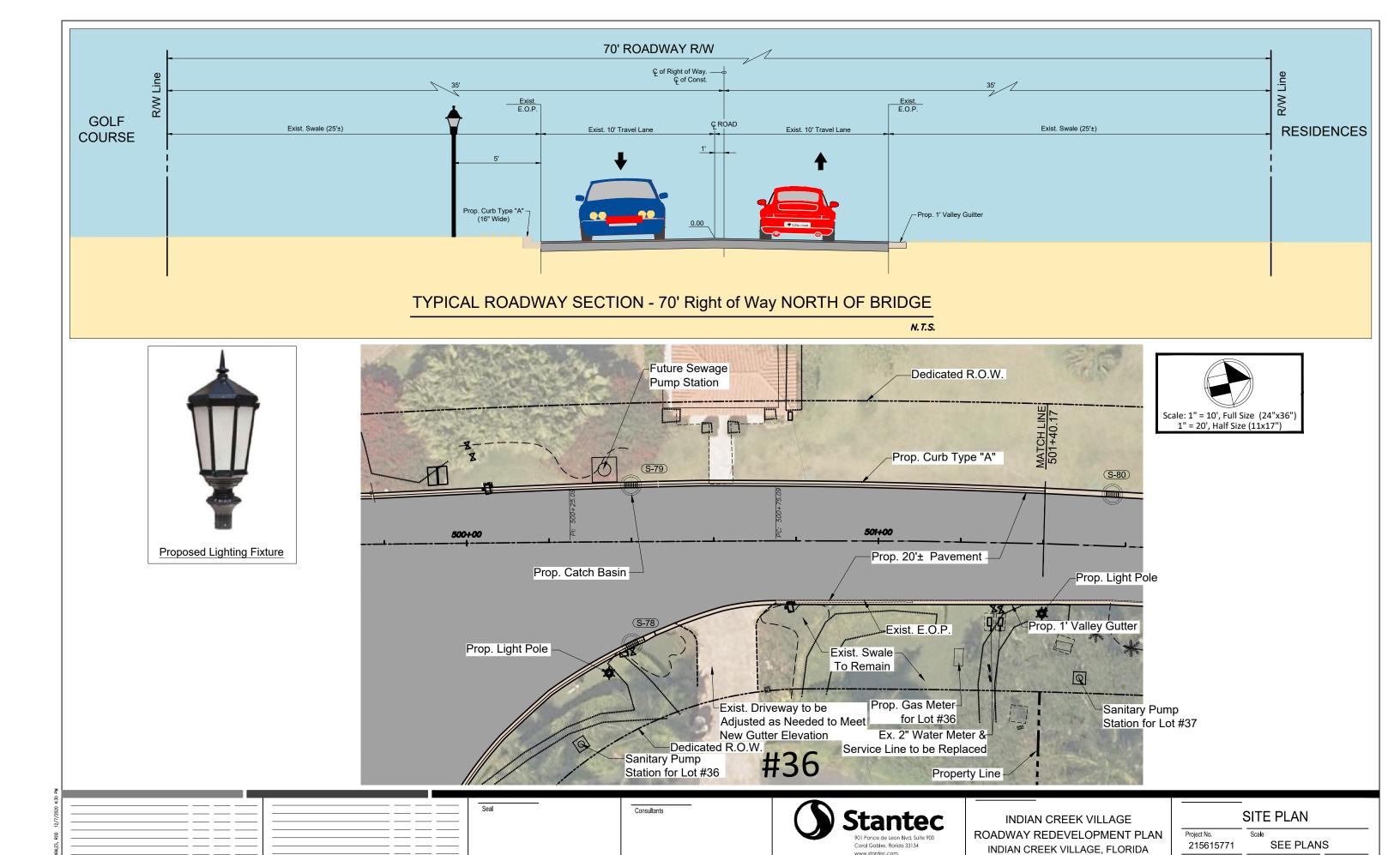
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Project No.
215615771

Drawing No.
215615771

Drawing No.
CC-37



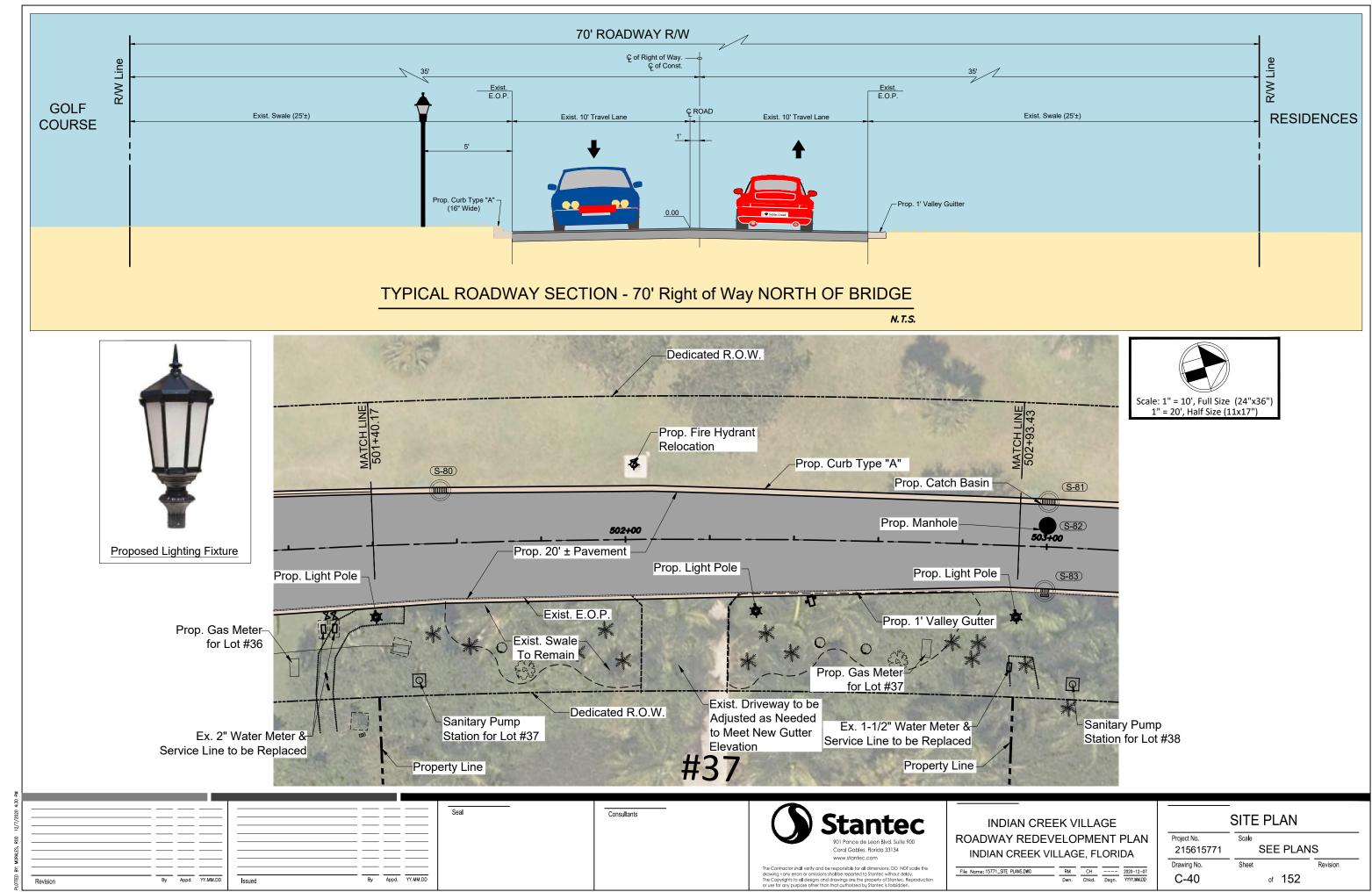


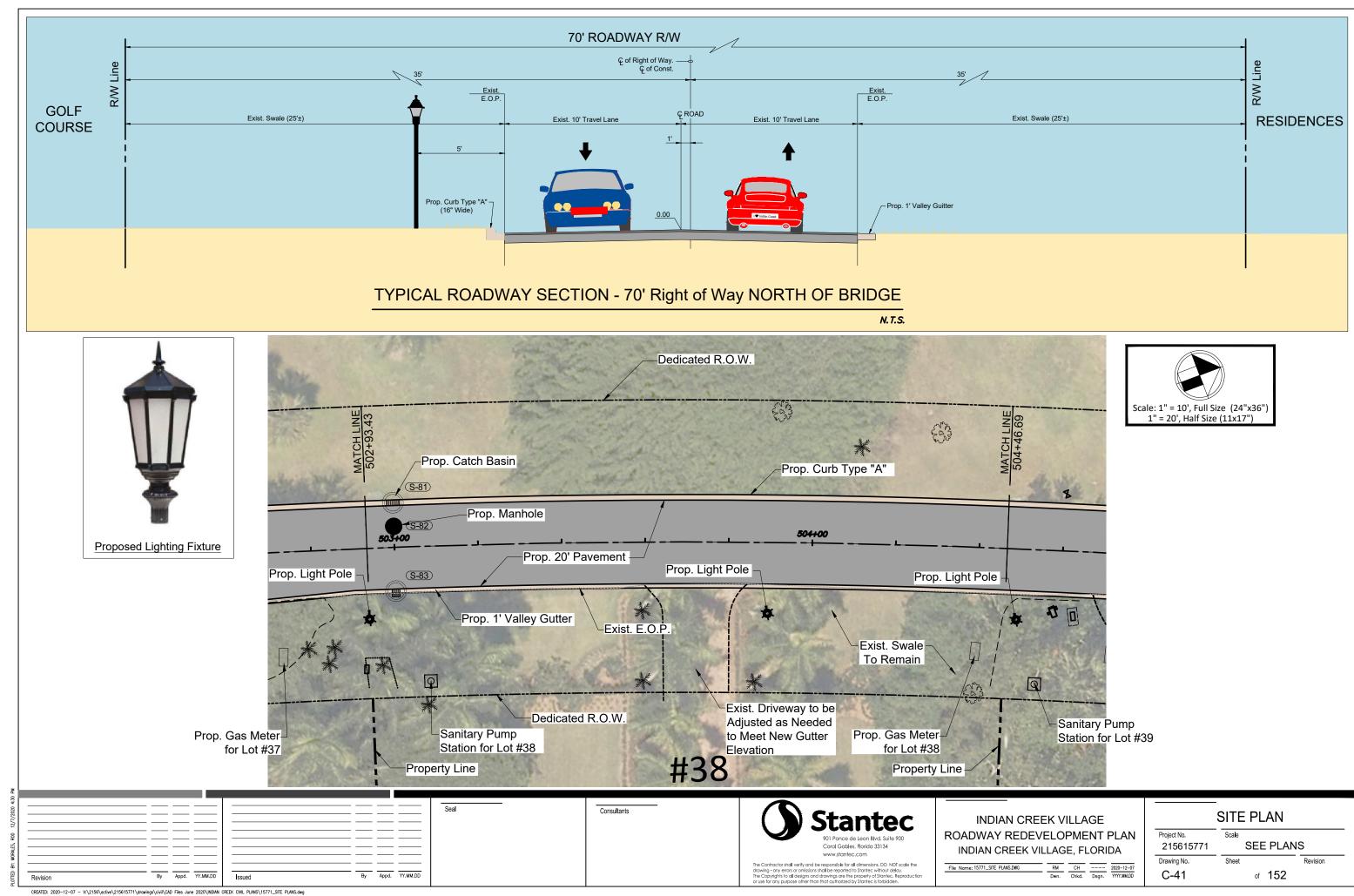
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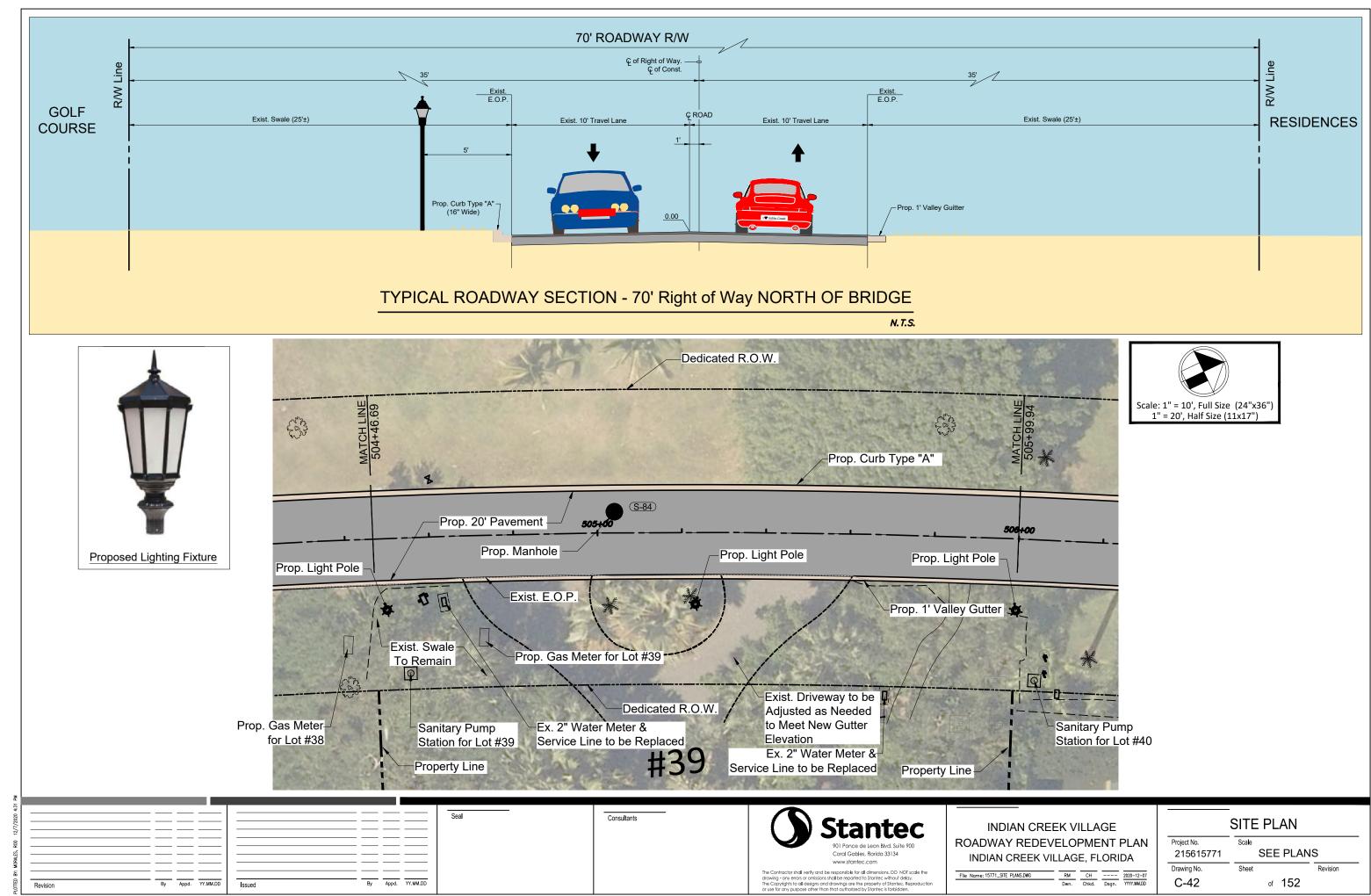
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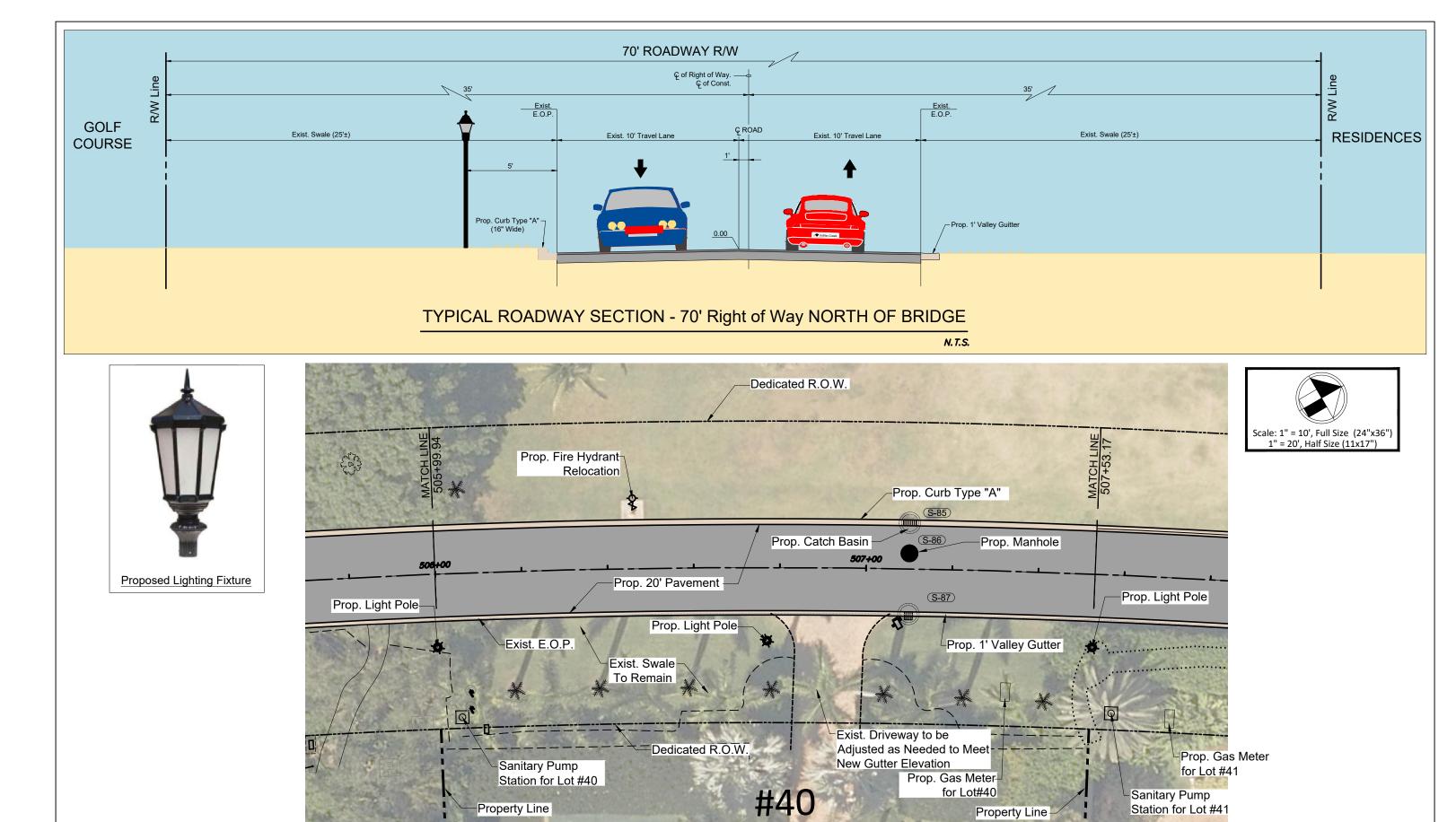
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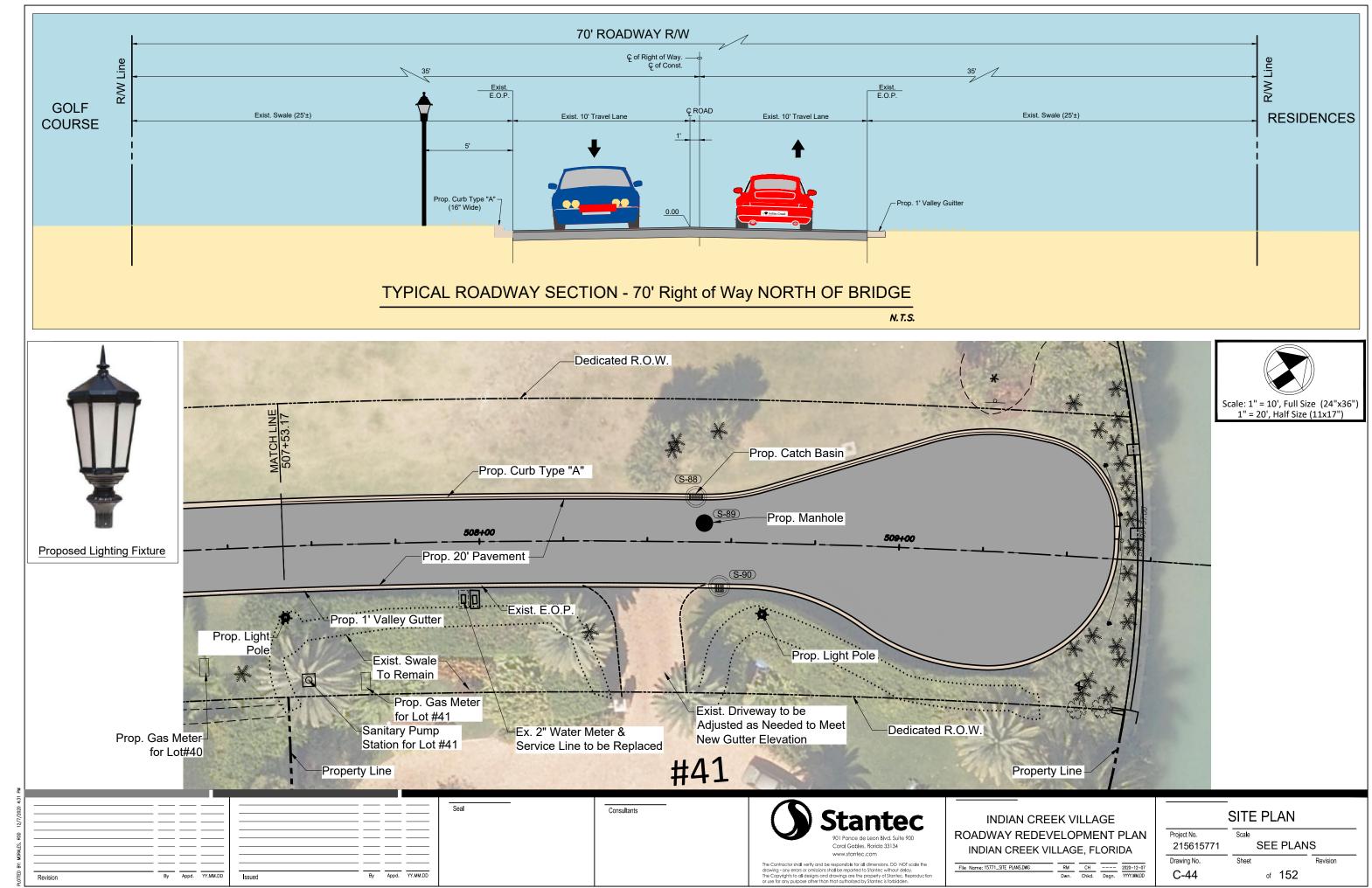
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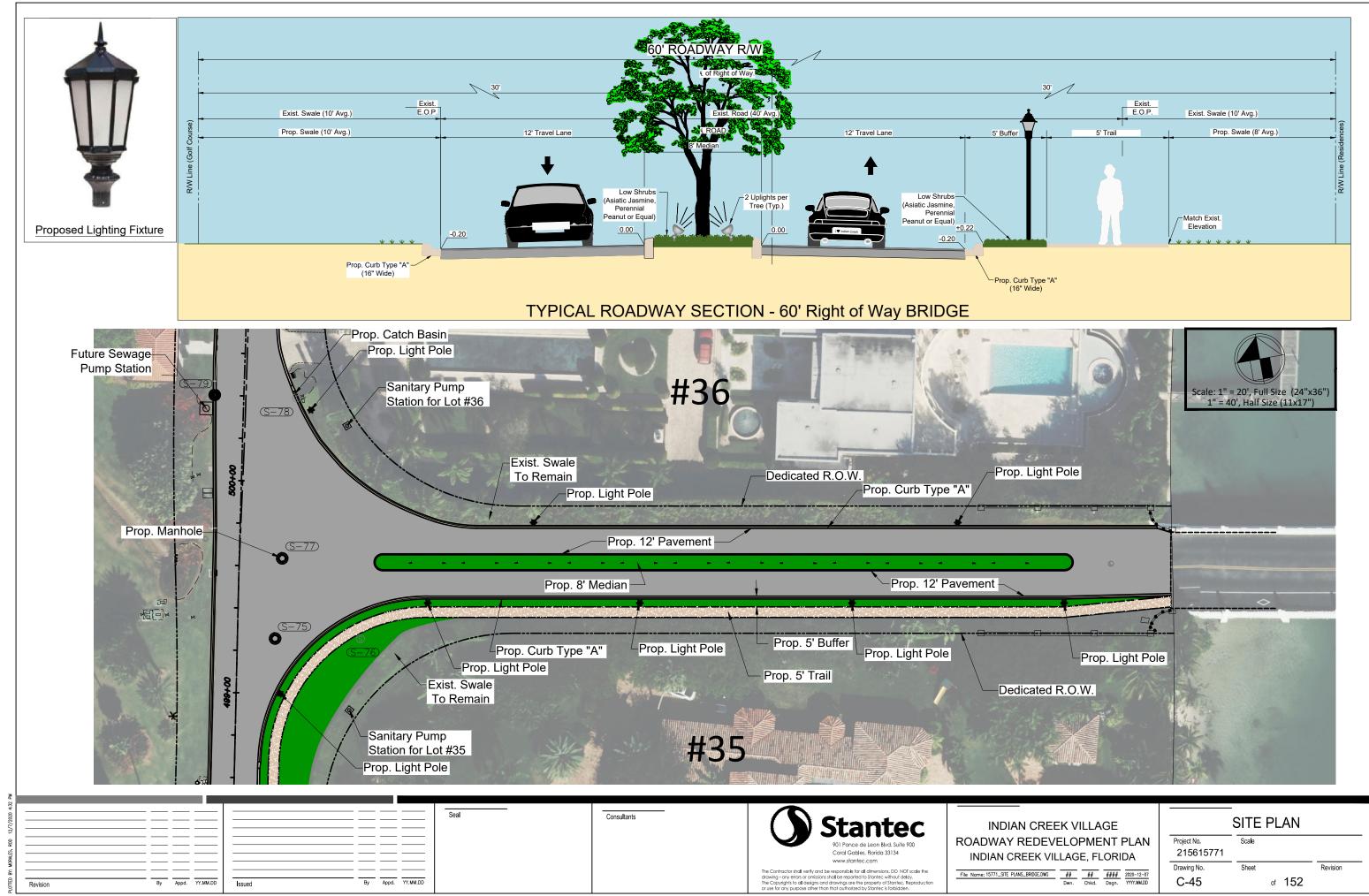
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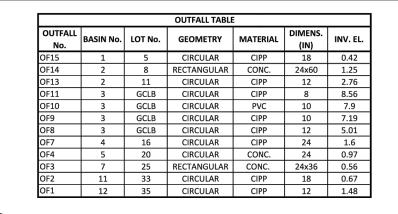
INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, ELORIDA

INDIAN CREEK VILLAGE, FLORIDA

| SITE PLAN | Project No. | Scale | SEE PLANS | | Drawing No. | Sheet | Revision | C-43 | of 152







-4.74

12" CIPP

18" CIPP

5.65



Scale: 1" = 300', Full Size (24"x36") 1" = 600', Half Size (11x17")

**BASIN AREAS** 

TOTAL BASIN AREA: 14.17 acres PERVIOUS AREA: 9.30 acres IMPERVIOUS AREA: 4.87 acres

SUB-BASIN AREAS			STA	to	STA	PERVIOUS AREA	IMPERVIOUS AREA
B1	1.99	acres	422+25		434+85	1.30	0.69
B2	2.75	acres	434+85		452+00	1.79	0.96
В3	0.75	acres	452+00		459+70	0.49	0.26
B4	1.79	acres	459+70		470+75	1.17	0.62
B5	0.48	acres	470+75		473+75	0.31	0.17
B6	0.59	acres	473+75		477+40	0.38	0.20
B7	0.80	acres	477+40		482+37	0.52	0.28
B8	0.37	acres	482+37		484+70	0.24	0.13
B9	0.86	acres	484+70		490+00	0.56	0.30
B10	0.71	acres	490+00		494+40	0.46	0.25
B11	0.39	acres	494+40		496+79	0.25	0.14
B12	0.77	acres	496+79		499+57	0.50	0.27
B13	0.71	acres	499+57		502+00	0.49	0.23
B14	0.64	acres	502+00		506+00	0.44	0.21
B15	0.57	acres	506+00		509+57	0.39	0.18

			WEIR TA	ABLE				WEIR GEOM.	. (ICPR - LINK)
WEIR No.	PROP. STRUCTURE CONNECTION	ASSOCIATED OUTFALL	RIM EL.	WEIR EL.	INFLUENT INV. EL.	OUTFALL INV. EL.	BOTT. EL.	HEIGHT (FT)	WIDTH (FT)
W1	S-05	OF15	5.1	3.7	0.42	0.42	-3.1	0.4	4
W2A	S-10	OF14	5.1	3.7	1.25	1.25	-2.3	0.4	4
W2B	S-14	OF13	7.0	5.6	2.76	2.76	-0.7	0.4	4
W3A	S-26	OF11	11.5	10.1	8.56	8.56	5.1	0.4	4
W3B	S-28	OF10	11.0	9.1	7.90	7.90	4.4	0.9	4
W3C	S-30	OF9	10.5	7.0	7.19	7.19	3.7	2.5	4
W3D	S-32	OF8	10.8	7.0	5.01	5.01	1.5	2.8	4
W4	S-42	OF7	7.0	5.5	1.60	1.60	-1.9	0.5	4
W5	S-49	OF4	5.0	3.6	0.97	0.97	-2.5	0.4	4
W7	S-58	OF3	4.9	3.5	0.56	0.56	-2.9	0.4	4
W11	S-71	OF2	5.2	3.6	0.67	0.67	-2.8	0.6	4
W12	S-75	OF1	5.2	3.6	1.48	1.48	-2.0	0.6	4

WEIR CONN	ECTIVITY	LEGEND		
ROM NODE	TO NODE	0	= EXISTING OUTFALL	
W1_i	W1_ii			
W2A_i	W2A_ii	B8 >>	= SUB-BASIN	
W2B_i	W2B_ii		BOUNDARIES	
W3A_i	W3A_ii		= ELEV 4' TO 5'	
W3B_ii	W3B_ii			
W3C_i	W3C_ii	_	= ELEV 5' TO 6'	
W3D_i	W3D_ii		- LLLV 3 10 0	
W4_i	W4_ii			
W5_i	W5_ii		= ELEV 6 TO 7'	
W7_i	W7_ii			
W11_i	W11_ii		= ELEV 7' TO 8'	
W12_i	W12_ii			
			= ELEV 8' TO 9'	

## BASIN PLAN NOTES:

- ELEVATIONS SHOWN ARE IN NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). (0.00' NAVD88 ≈ 1.50' NGVD29). THIS BASIN PLAN ACCOMPANIES THE DRAINAGE REPORT, WATER QUANTITY CALCULATIONS, AND ICPR SIMULATIONS FOR STAGE
- 3. PROPOSED WEIRS TO BE PLACED ABOVE TOP OF EXFILTRATION TRENCH, TO ALLOW FOR WATER QUALITY TREATMENT.

ii		- LLL V 0 10 7
_ii ii ! ii		= ELEV 7' TO 8'
·_''		= ELEV 8' TO 9'
		= ELEV 9' TO 10'
		= ELEV 10' TO 11'
		= ELEV 11' TO 12'
	3.10	= BASIN LOW POINT
	6.79	= BASIN HIGH POINT
	<b>←</b>	= RUN-OFF FLOW

		Seal Seal	Consultants	( Stantas
				Stantec 901 Ponce de Leon Blvd. Suite 900
				Coral Gables, Florida 33134 www.stantec.com
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24"X36" CONCRETE/ 24"X48" CONCRETE BOX CULVERT

24" CONCRETE

**3**C RO

File Name: 15771\_BASIN\_PLAN.DWG

INDIAN CREEK VILLAGE
OADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

E	BASIN PLAN					
Project No. 215615771	Scale SEE PLANS					
Drawing No.	Sheet	Revision				
C-46	of 15	52				

Note: Golf Club

Private Property

Not Included in B3

18" CIPP

24"X60" CONCRETE BOX CULVERT

0F13 -12" CIPP

> 12.39 0F11-

8" CIPP

10" PVC

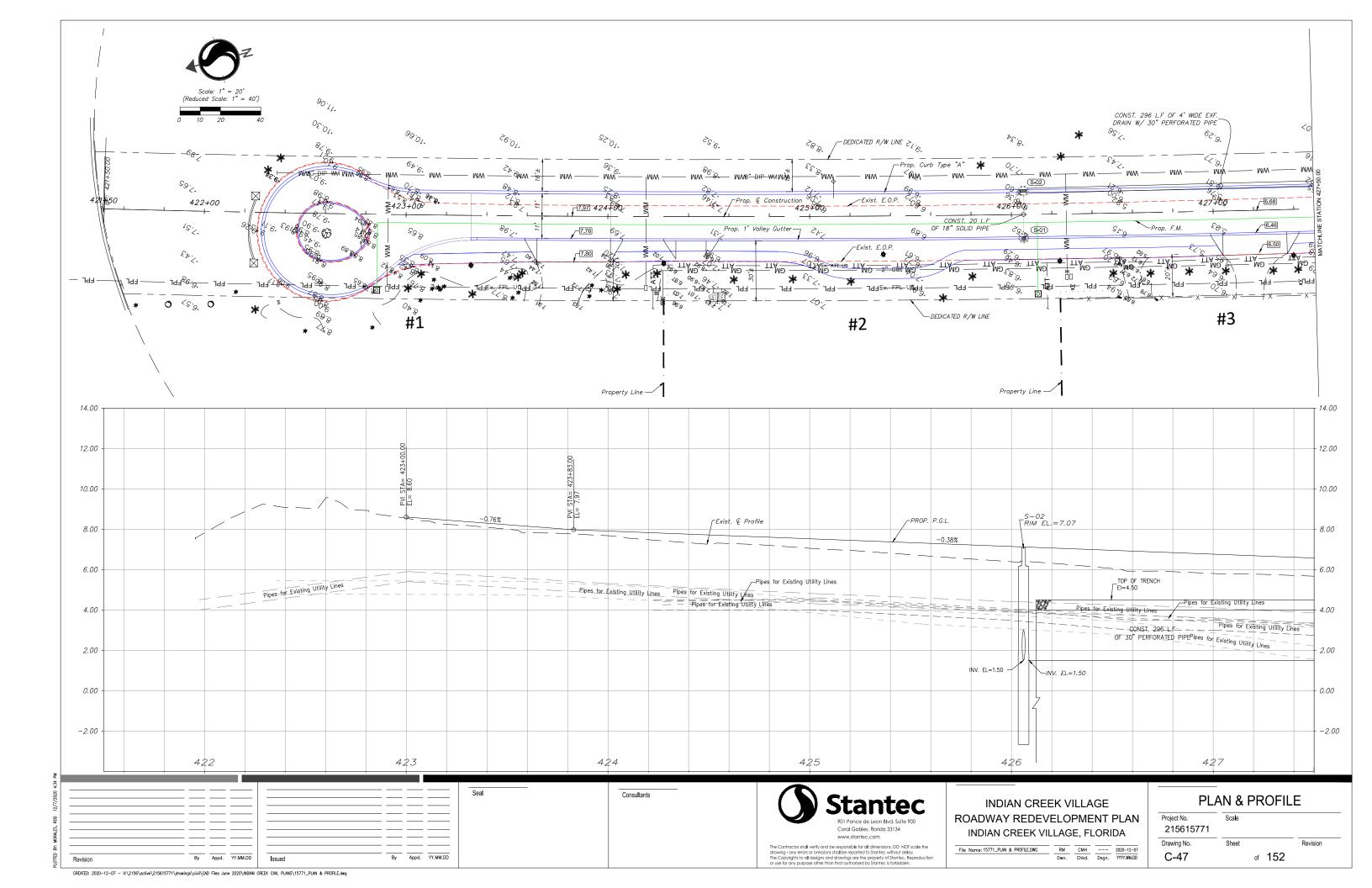
10" CIPP

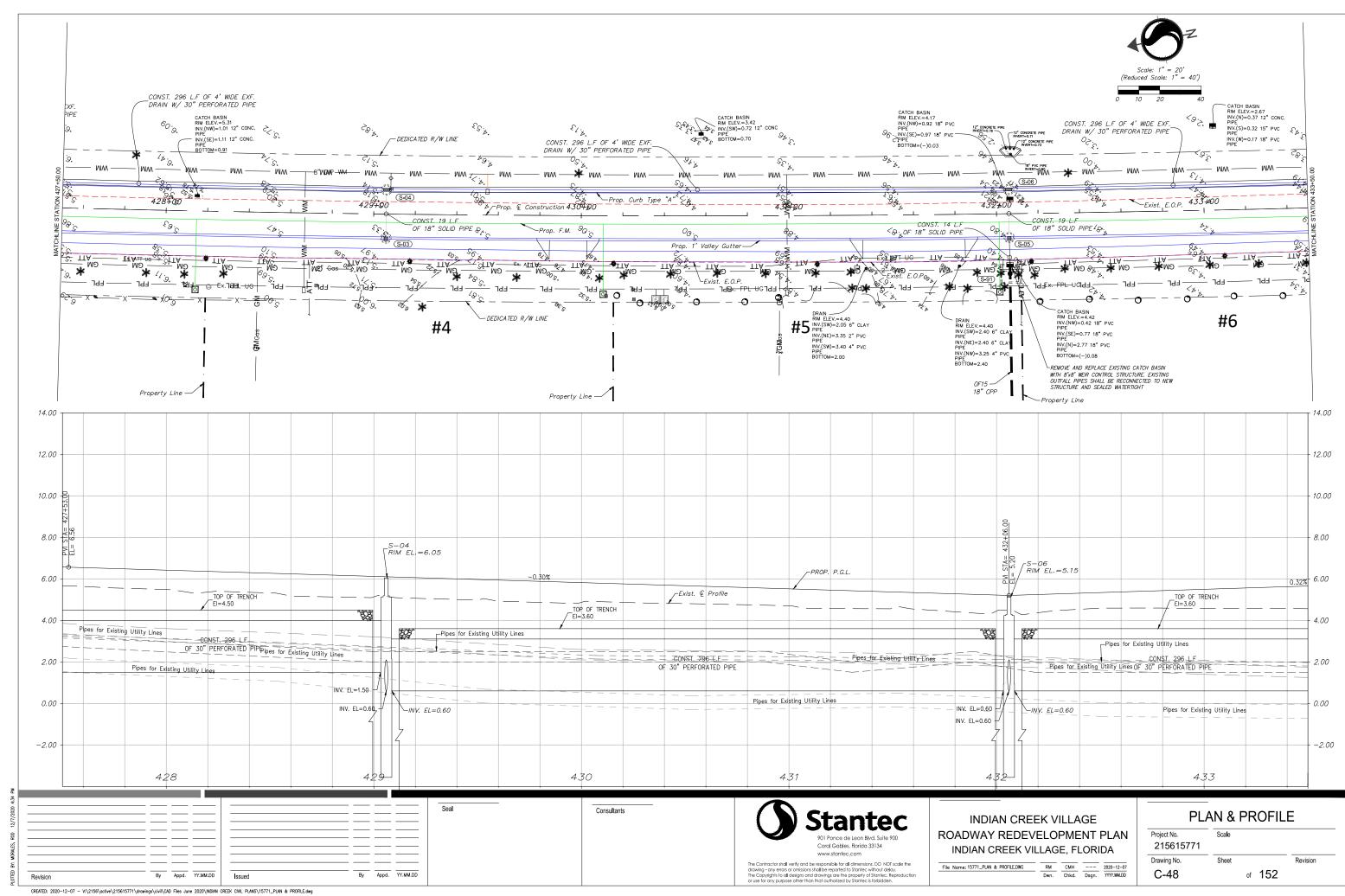
Revision

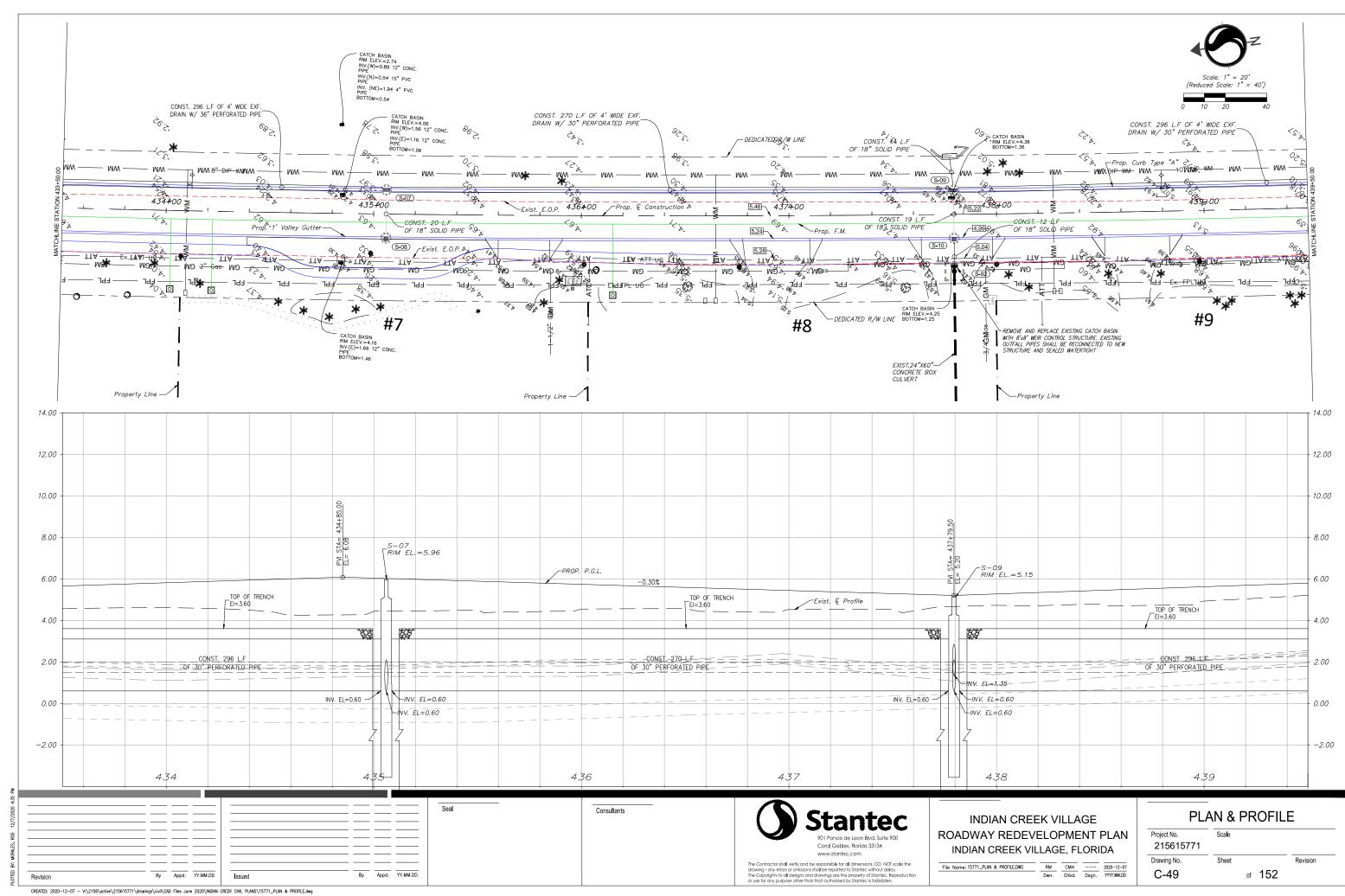
0F8-12" CIPP

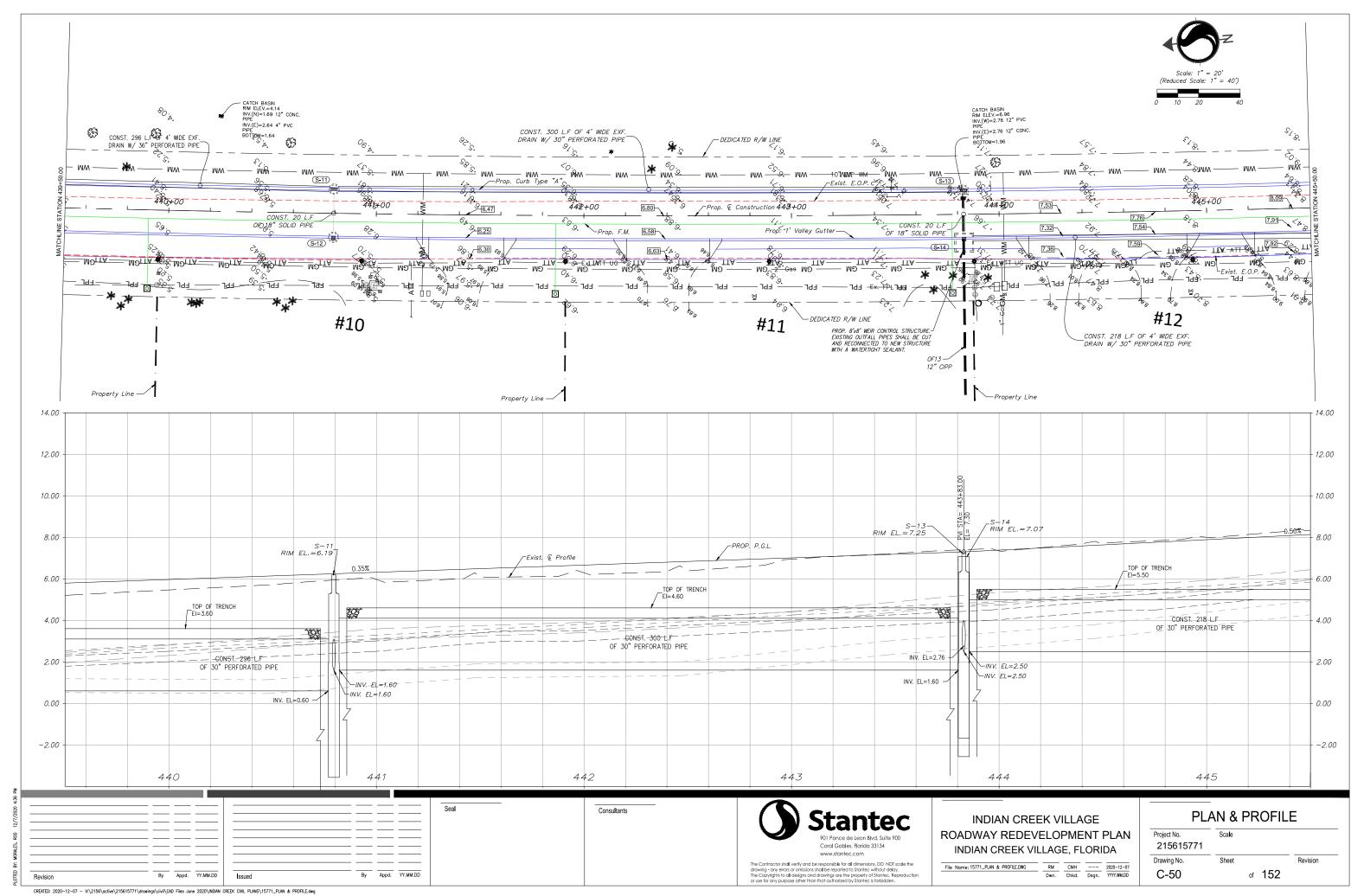
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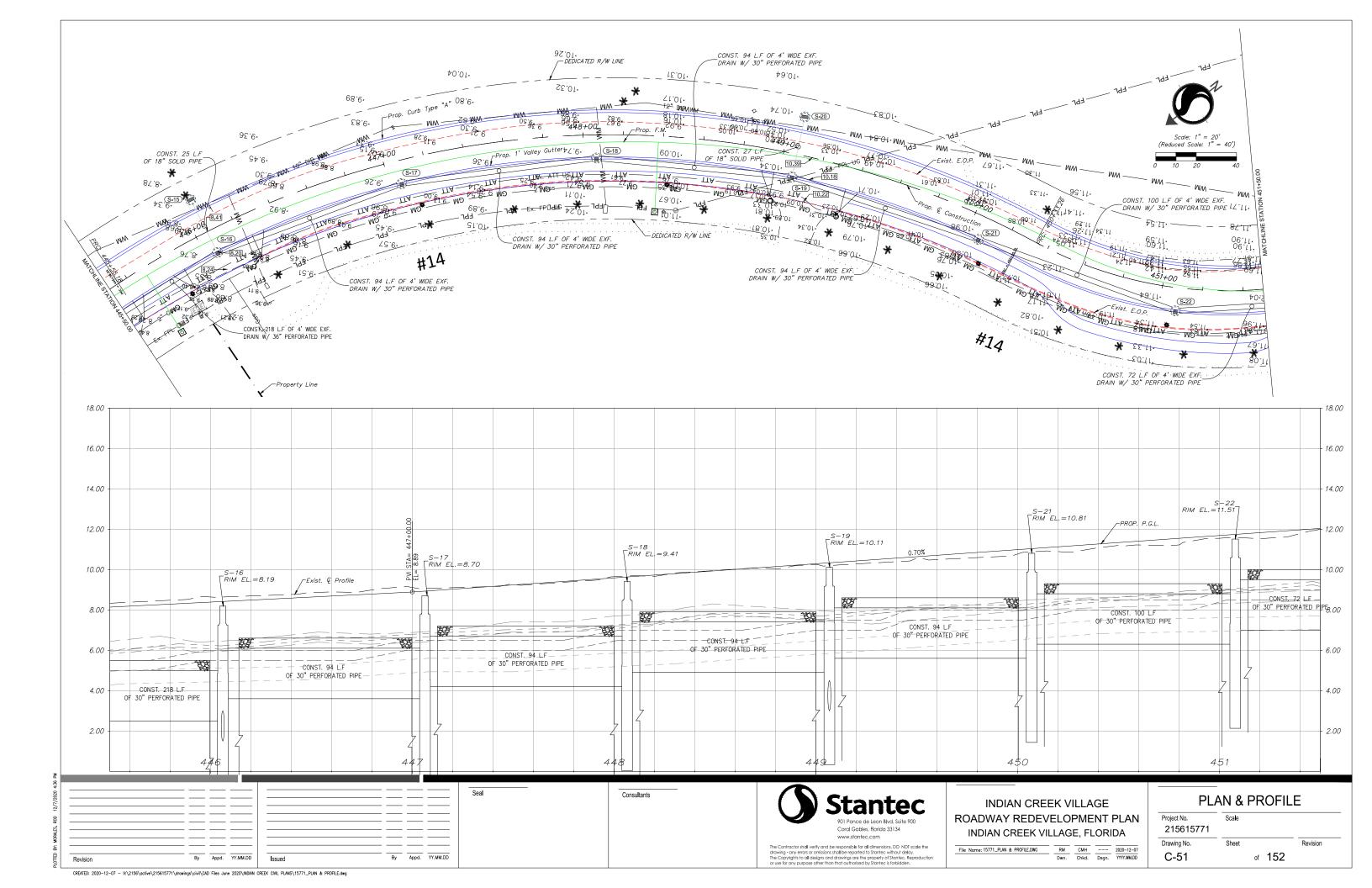
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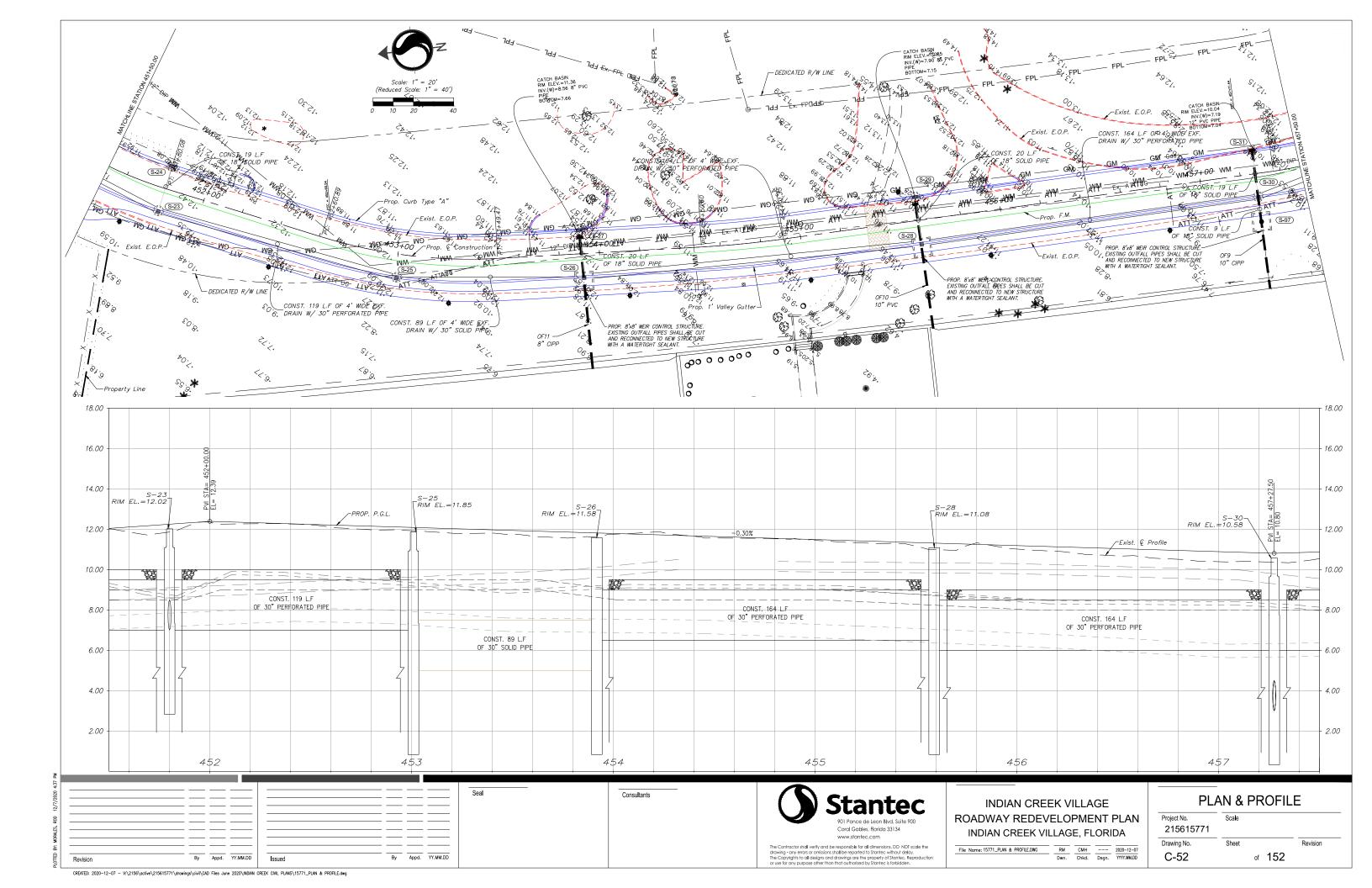


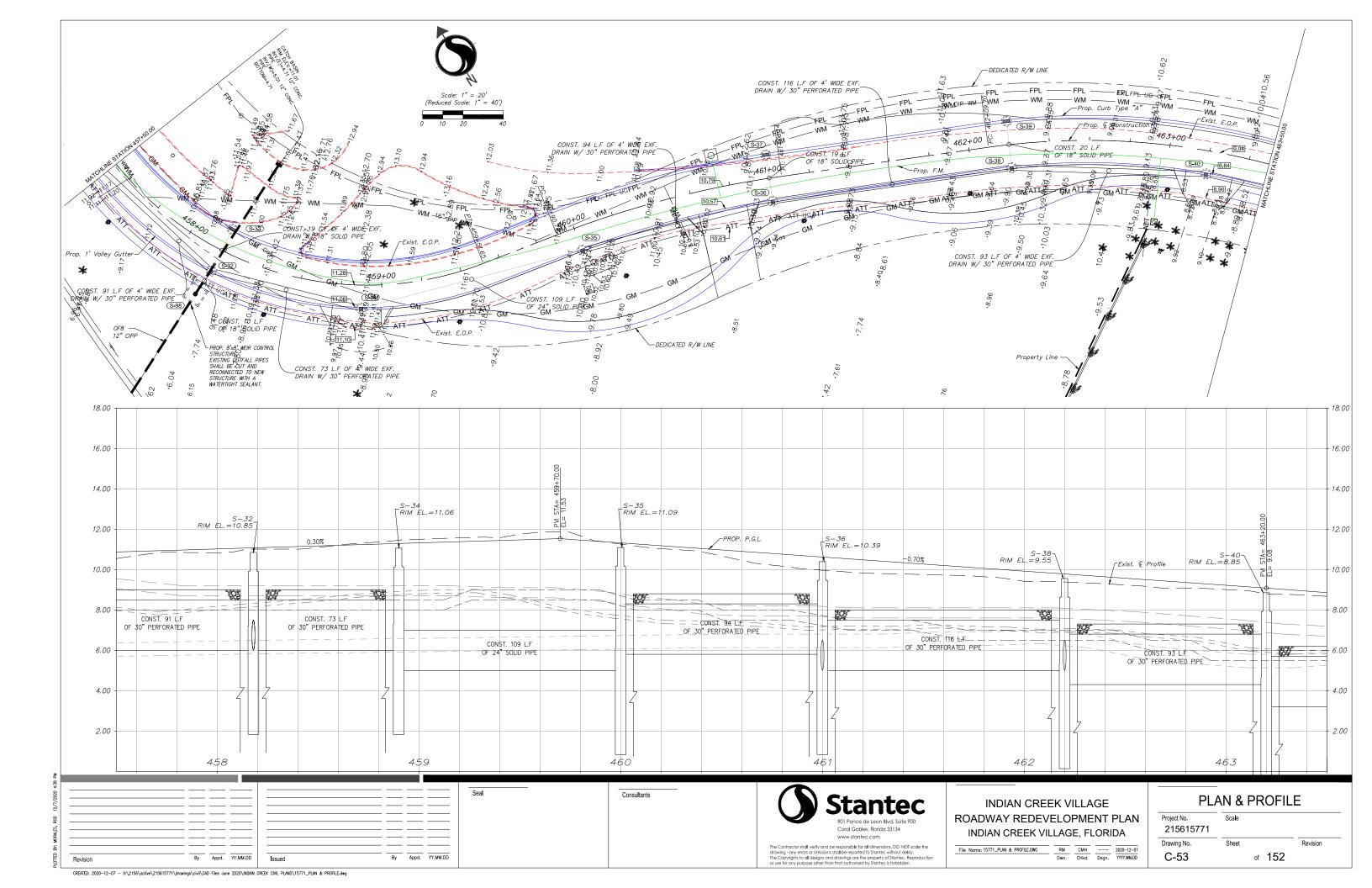


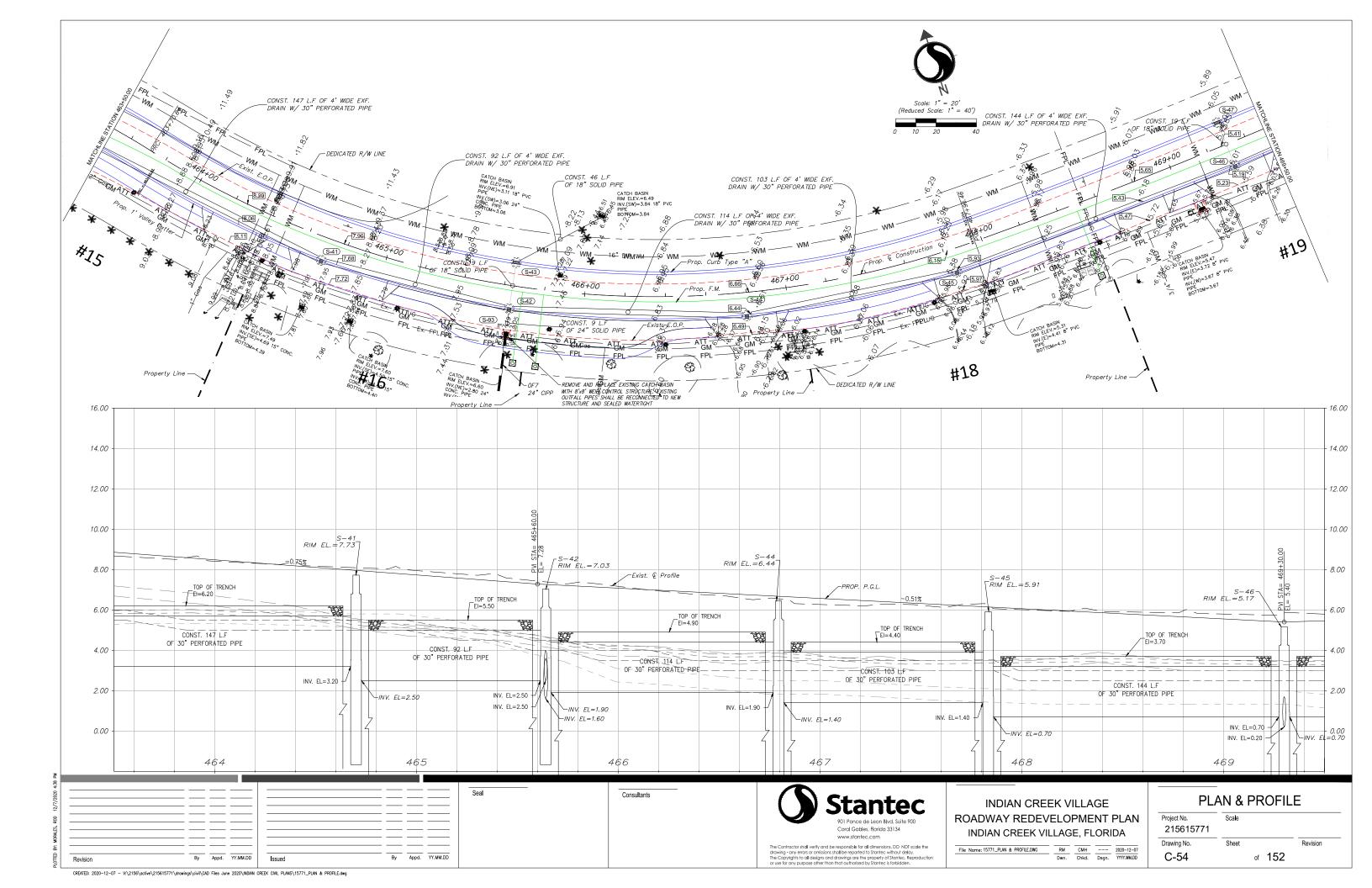


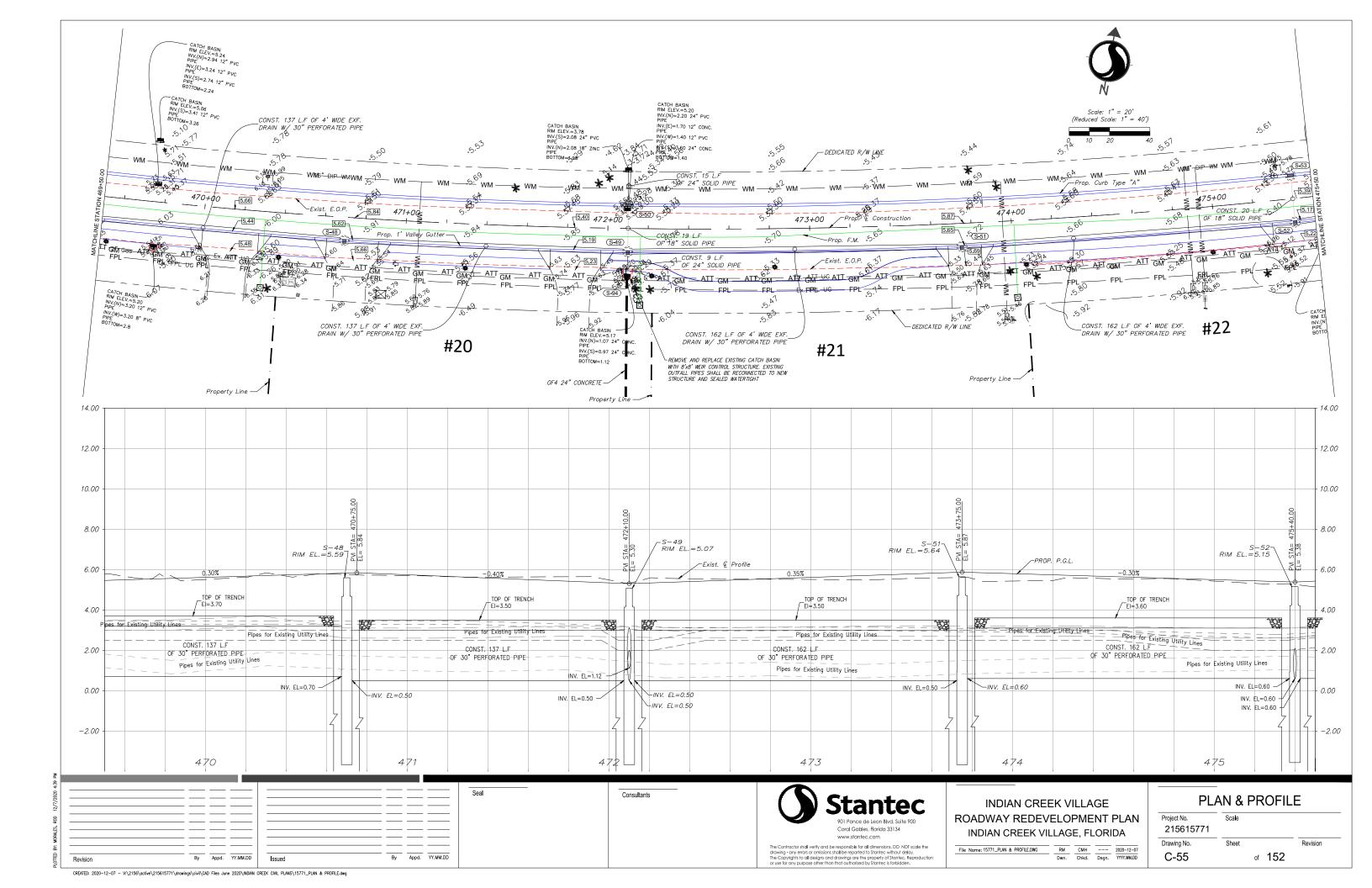


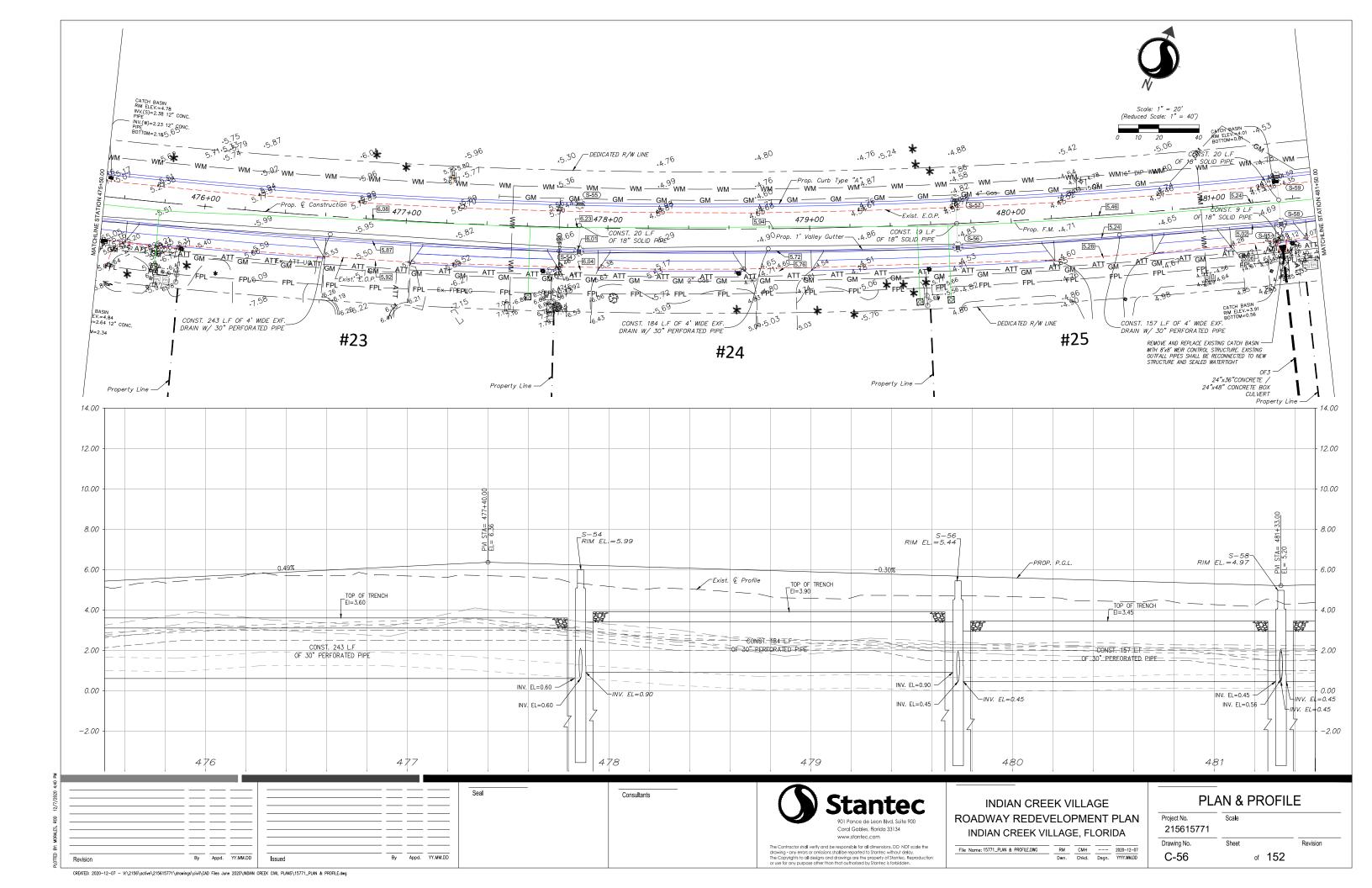


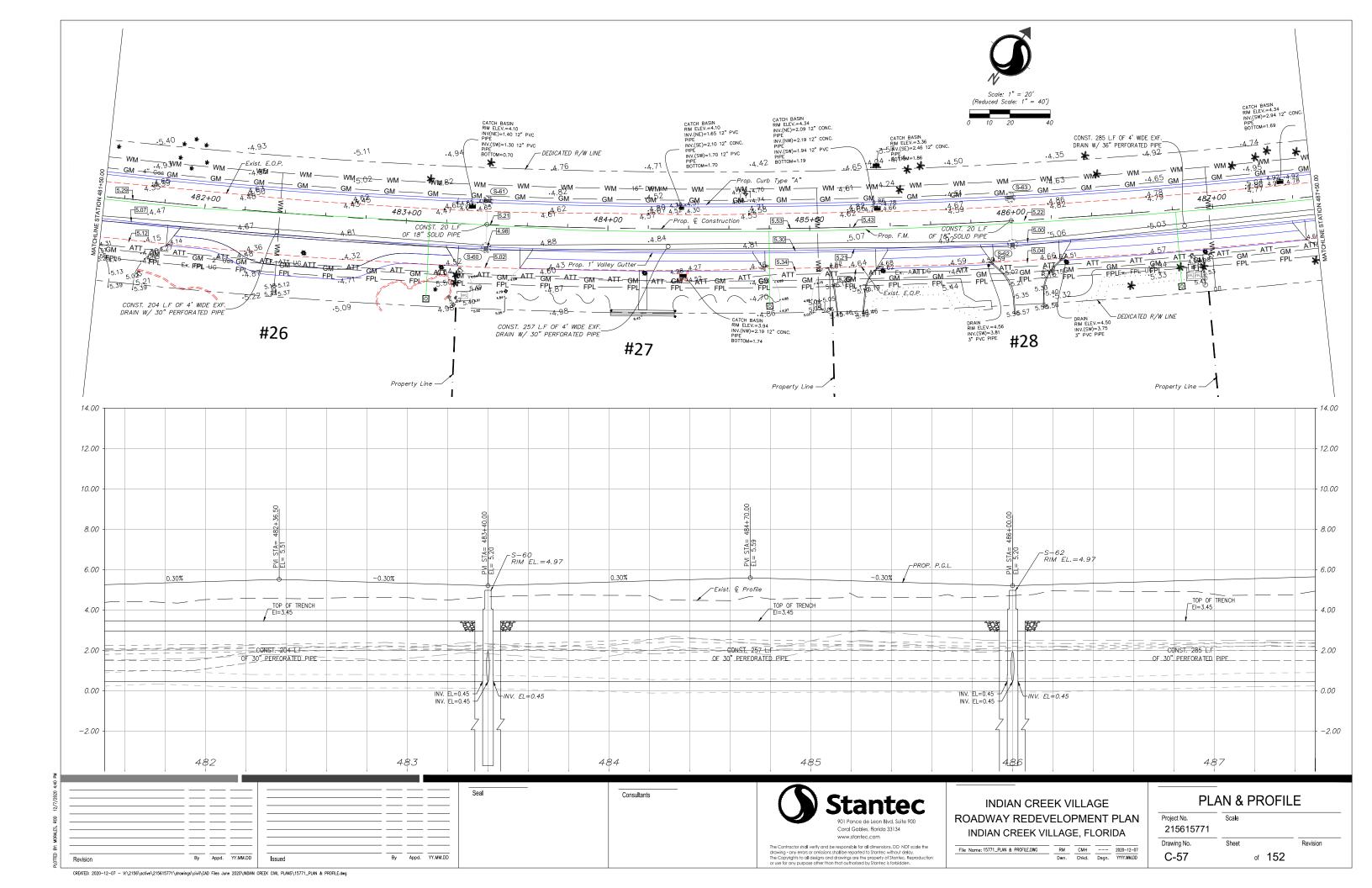


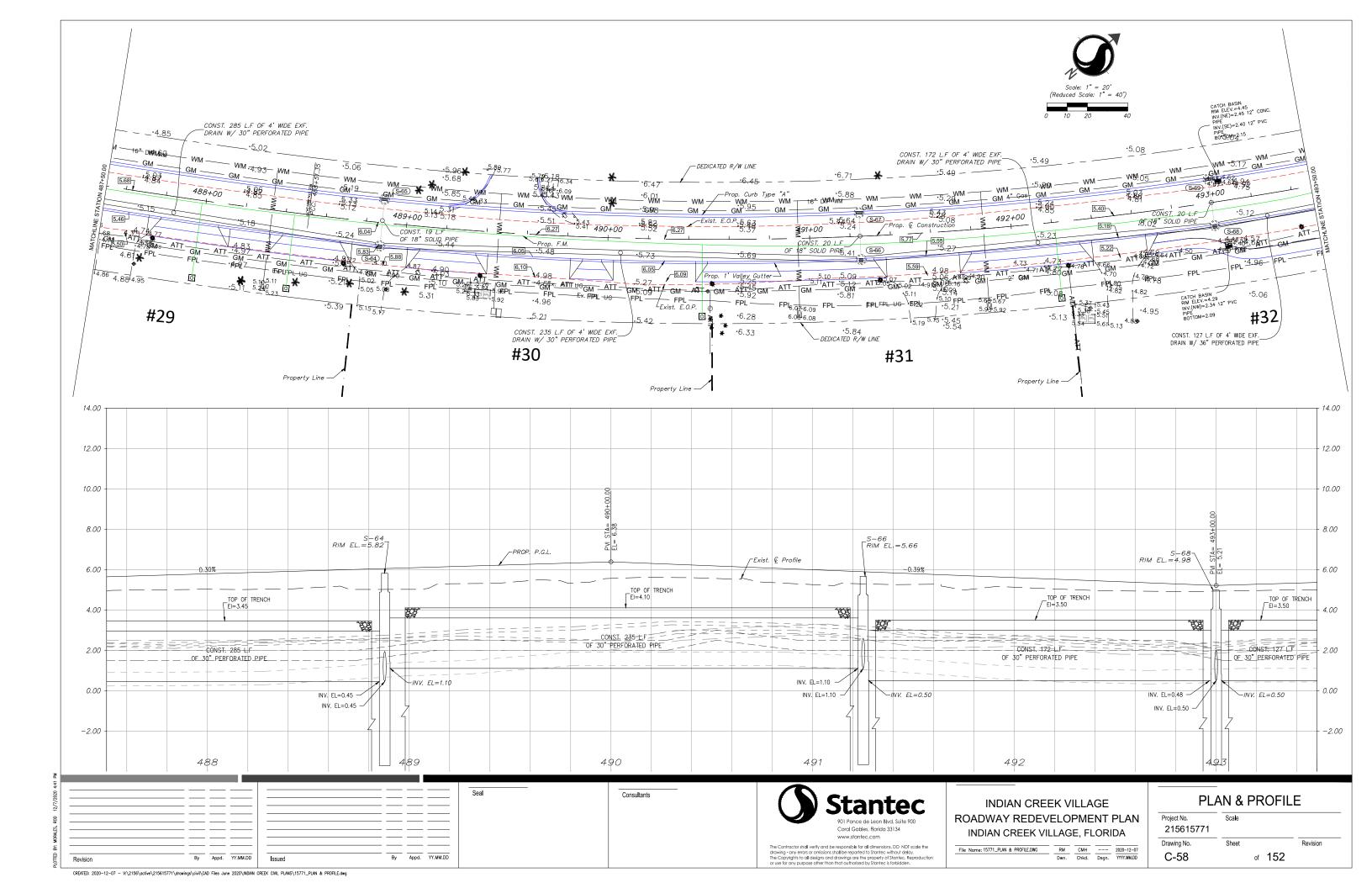


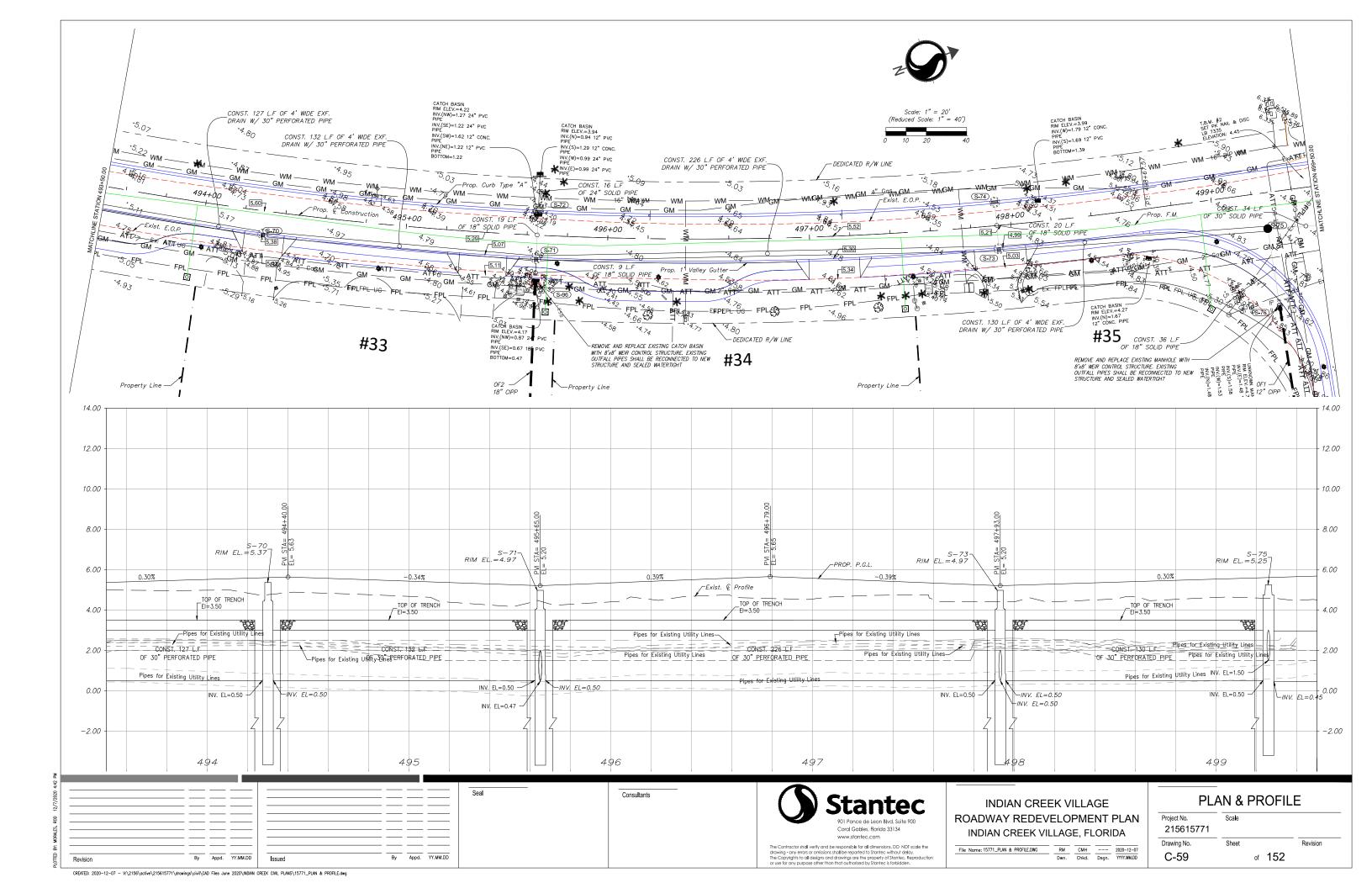


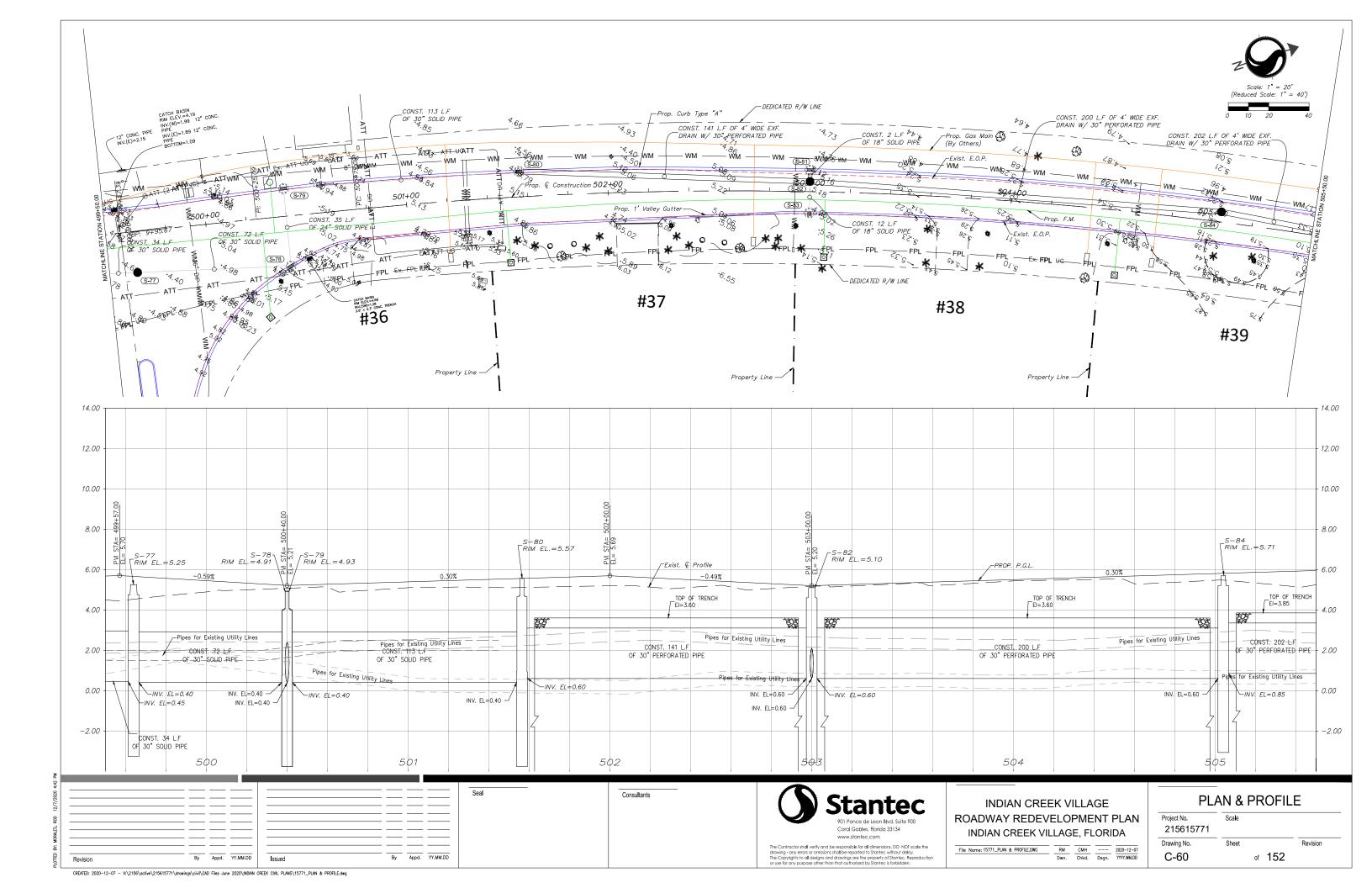


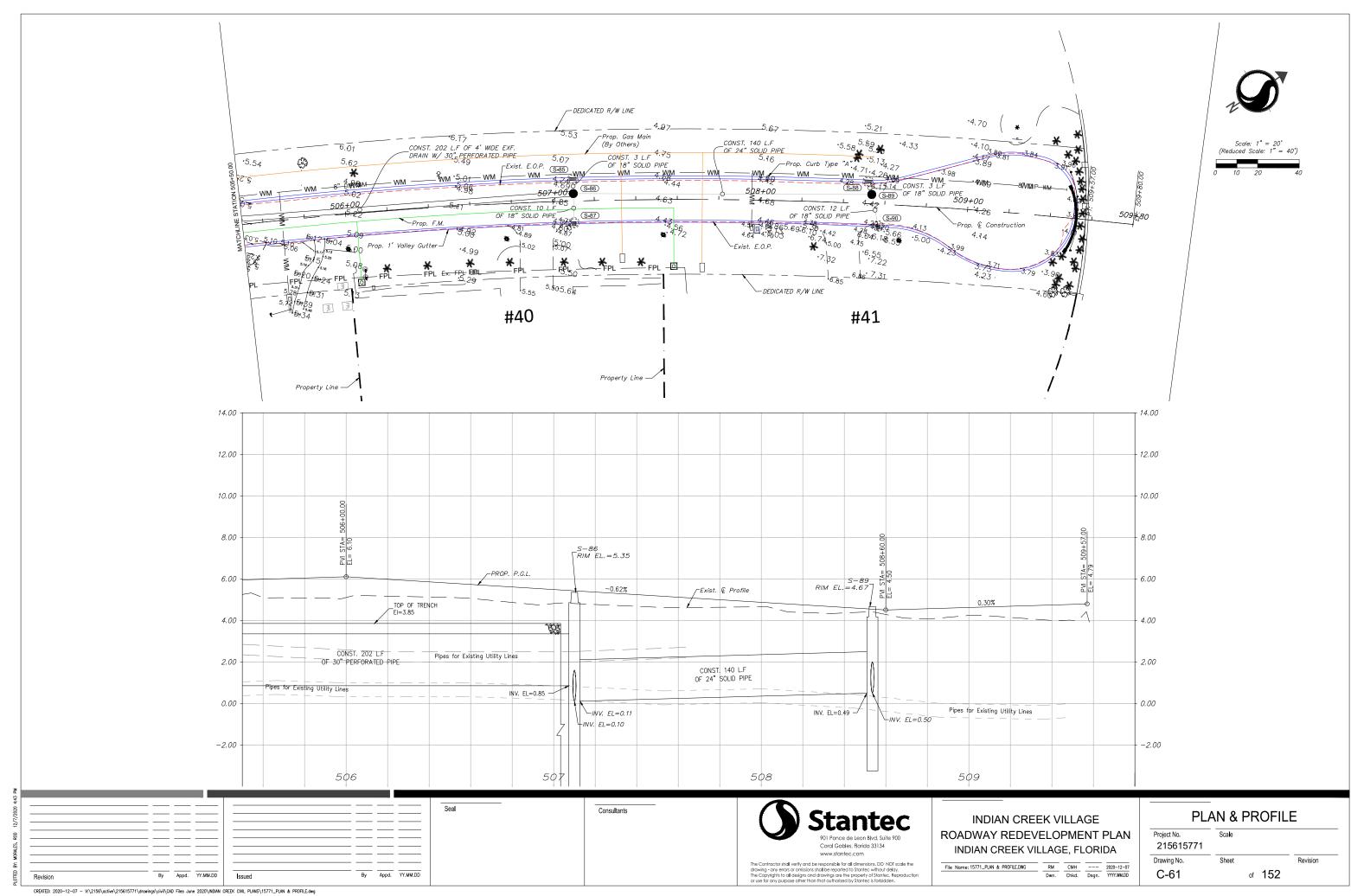


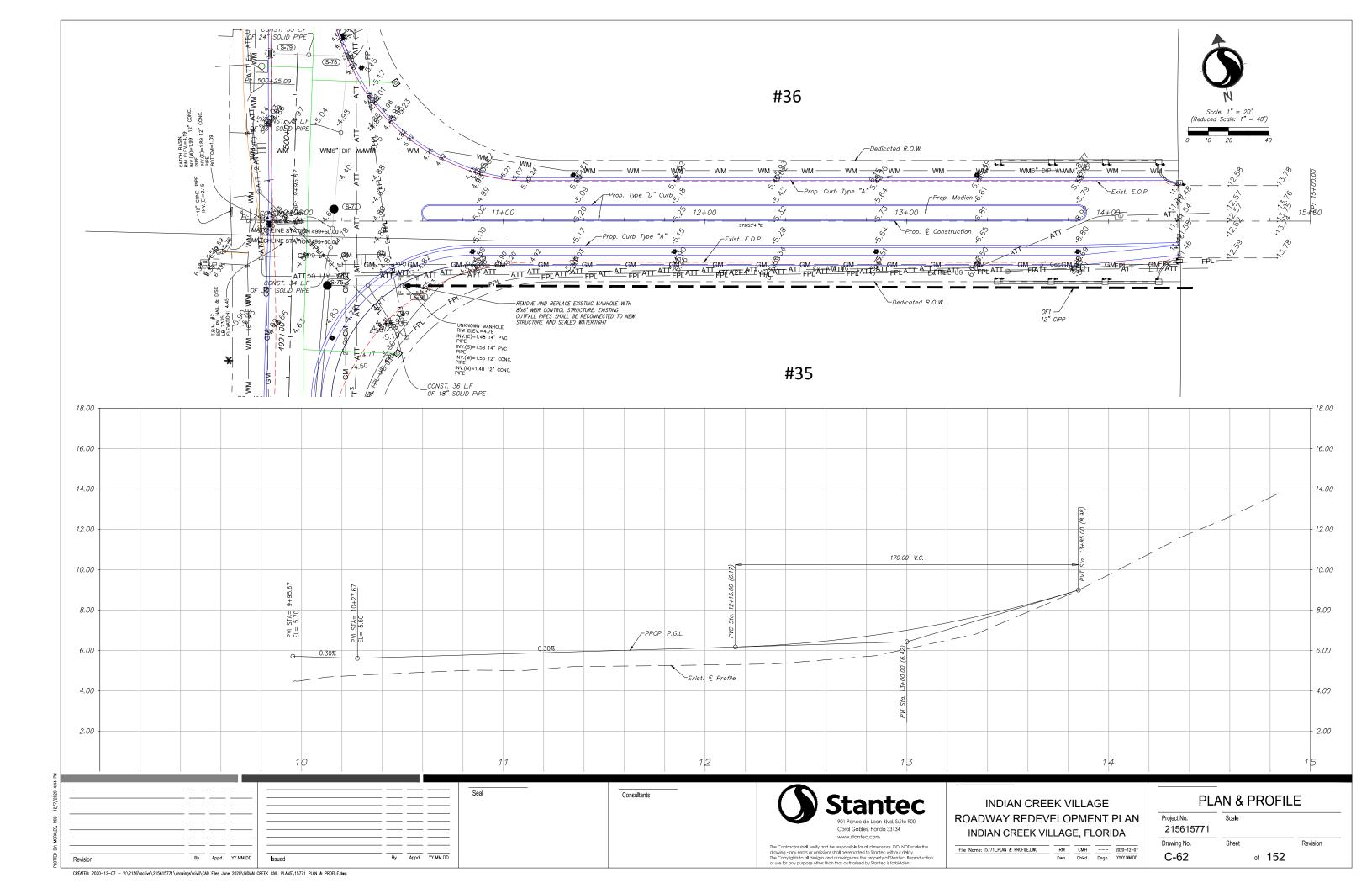












			SL	IMMARY OF DRAINAGE	STRUC	TURES		
Structure Number	Station	Off-set	Structure Type	FRAME & GRATE	Rim Elev.	Pipe Inverts	Bottom (Sump) Elev.	Pollution Retardant Bafflle N S E W
S-01	426+06.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	6.89	SOLID PIPE (1.50) (E)	-1.50	
S-02	426+06.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	7.07	SOLID PIPE (1.50) (W) PERFORATED PIPE (1.50) (S)	-2.00	
S-03	429+06.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.87	SOLID PIPE (0.60) (E)	-2.40	
S-04	429+06.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	6.05	PERFORATED PIPE (1.50) (N) SOLID PIPE (0.60) (W) PERFORATED PIPE (0.60) (S)	-2.90	
S-05	432+06.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.60) (E) SOLID PIPE (0.00) (W)	-3.00	
S-06	432+06.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	PERFORATED PIPE (0.60) (N) SOLID PIPE (0.60) (W) PERFORATED PIPE (0.60) (S)	-2.90	
S-07	435+06.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.96	PERFORATED PIPE (0.60) (N) PERFORATED PIPE (0.60) (S) SOLID PIPE (0.60) (W)	-2.90	
S-08	435+06.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.79	SOLID PIPE (0.60) (E)	-2.40	
S-09	437+79.50	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	PERFORATED PIPE (0.60) (N) SOLID PIPE (0.60) (W) PERFORATED PIPE (0.60) (S) Pipe Culvert SD (1.35) (E)	-2.90	
S-10	437+79.50	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.60) (E) SOLID PIPE (1.25) (W)	-2.40	
S-11	440+79.50	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	6.19	PERFORATED PIPE (0.60) (N) PERFORATED PIPE (1.60) (S) SOLID PIPE (1.60) (W)	-2.90	
S-12	440+79.50	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	6.01	SOLID PIPE (1.60) (E)	-1.40	
S-13	443+83.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	7.25	PERFORATED PIPE (1.60) (N) SOLID PIPE (2.50) (W)	-1.90	
S-14	443+83.00	11.50' R	8'x8" WEIR STRUCTURE	Standard	7.07	SOLID PIPE (2.50) (E) PERFORATED PIPE (2.50) (S) Exist. Drainage Pipe (2.76) (W)	-1.00	
S-15	446+06.00	17.75' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	8.65	SOLID PIPE (1.50) (W)	-1.50	
S-16	446+06.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	8.19	PERFORATED PIPE (2.50) (N) PERFORATED PIPE (3.60) (S) SOLID PIPE (1.50) (E)	-1.00	
S-17	447+06.21	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	8.70	PERFORATED PIPE (3.60) (N) PERFORATED PIPE (4.20) (SW)	0.10	
S-18	448+06.43	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	9.41	PERFORATED PIPE (4.20) (NE) PERFORATED PIPE (4.90) (SW)	0.70	
S-19	449+06.64	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	10.11	PERFORATED PIPE (4.90) (NE) PERFORATED PIPE (5.60) (SW) SOLID PIPE (3.00) (SE)	1.00	
S-20	449+06.64	18.94' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	10.58	SOLID PIPE (3.00) (NW)	0.00	
S-21	450+06.91	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	10.81	PERFORATED PIPE (5.60) (NE) PERFORATED PIPE (6.30) (SW)	2.10	
S-22	451+07.83	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	11.51	PERFORATED PIPE (6.30) (NE) PERFORATED PIPE (7.00) (SW)	2.80	
S-23	451+80.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	12.02	PERFORATED PIPE (7.00) (NE) PERFORATED PIPE (7.00) (S) SOLID PIPE (7.00) (SE)	3.50	
S-24	451+80.00	11.50' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	12.00	SOLID PIPE (7.00) (NW)	4.00	
S-25	453+00.86	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	11.85	PERFORATED PIPE (7.00) (N) SOLID PIPE (5.00) (S)	1.50	
S-26	453+91.73	11.48' R	8'x8" WEIR STRUCTURE	Standard	11.58	SOLID PIPE (5.00) (N) PERFORATED PIPE (6.50) (S) SOLID PIPE (4.00) (E) Exist. Drainage Pipe (8.50) (W)	1.50	
S-27	453+90.64	11.83' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	11.82	SOLID PIPE (4.00) (W)	1.00	
S-28	<b>4</b> 55+59.00	11.50' R	8'x8" WEIR STRUCTURE	Standard	11.08	PERFORATED PIPE (6.50) (N) PERFORATED PIPE (6.00) (S) SOLID PIPE (3.50) (E) Exist. Drainage Pipe (7.90) (W)	1.50	
S-29	455+59.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	11.26	SOLID PIPE (3.50) (W)	0.50	
S-30	457+27.50	11.50' R	CB TYPE "P", 6' Dia.	Standard	10.58	PERFORATED PIPE (6.00) (N) PERFORATED PIPE (6.00) (S) SOLID PIPE (3.00) (E) SOLID PIPE (3.00) (W)	1.00	
						Seal	-	Consultanta

SUMMARY OF DRAINAGE STRUCTURES								
Structure Number	Station	Off-set	Structure Type	FRAME & GRATE	Rim Elev.	Pipe Inverts	Bottom (Sump) Elev.	Pollution Retardant Baffile N S E W
S-31	457+27.50	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	10.75	SOLID PIPE (3.00) (W)	0.00	
S-32	<b>4</b> 58+18.00	11.50' R	CB TYPE "P", 6' Dia.	Standard	10.85	PERFORATED PIPE (6.00) (N) PERFORATED PIPE (6.00) (SE) SOLID PIPE (6.00) (NE) SOLID PIPE (6.00) (SW)	2.50	
S-33	458+18.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	10.84	SOLID PIPE (6.00) (SW) Exist. Drainage Pipe (5.01) (E)	2.01	
S-34	458+90.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	11.06	PERFORATED PIPE (6.00) (NW) SOLID PIPE (5.00) (E)	2.50	
S-35	460+00.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	11.09	SOLID PIPE (5.00) (W) PERFORATED PIPE (5.80) (E)	1.50	
S-36	461+00.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	10.39	SOLID PIPE (5.00) (NE) PERFORATED PIPE (5.80) (W) PERFORATED PIPE (5.00) (SE)	1.50	
S-37	461+00.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	10.57	SOLID PIPE (5.00) (SW)	2.00	
S-38	462+20.04	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	9.55	SOLID PIPE (5.00) (NE) PERFORATED PIPE (4.30) (SE) PERFORATED PIPE (5.00) (NW)	0.80	
S-39	462+19.97	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	9.76	SOLID PIPE (5.00) (SW)	2.00	
S-40	463+20.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	8.85	PERFORATED PIPE (4.30) (NW) PERFORATED PIPE (3.20) (SE)	-0.30	
S-41	464+70.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	7.73	PERFORATED PIPE (3.20) (NW) PERFORATED PIPE (2.50) (SE)	-1.00	
S-42	465+64.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	7.03	PERFORATED PIPE (2.50) (NW) SOLID PIPE (2.50) (NE) SOLID PIPE (1.60) (SW) PERFORATED PIPE (1.90) (E)	-1.00	
S-43	465+64.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	7.20	SOLID PIPE (2.50) (SW) SOLID PIPE (3.84) (E)	-0.50	
S-44	466+79.37	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	6.44	PERFORATED PIPE (1.90) (W) PERFORATED PIPE (1.40) (E)	-2.10	
S-45	467+83.30	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.91	PERFORATED PIPE (1.40) (W) PERFORATED PIPE (0.70) (E)	-2.80	
S-46	469+30.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.17	SOLID PIPE (0.20) (N) PERFORATED PIPE (0.70) (W) PERFORATED PIPE (0.70) (E)	-3.30	
S-47	469+30.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.35	SOLID PIPE (0.20) (S)	-2.80	
S-48	470+70.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.59	PERFORATED PIPE (0.50) (E) PERFORATED PIPE (0.70) (W)	-3.00	
S-49	472+10.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.07	SOLID PIPE (0.50) (N) PERFORATED PIPE (0.50) (W) PERFORATED PIPE (0.50) (E) SOLID PIPE (1.12) (S)	-3.00	
S-50	472+10.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.25	SOLID PIPE (0.50) (S) SOLID PIPE (1.98) (N)	-2.50	
S-51	473+75.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.64	PERFORATED PIPE (0.60) (E) PERFORATED PIPE (0.50) (W)	-3.00	
S-52	475+39.96	11.67' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.15	SOLID PIPE (0.60) (N) PERFORATED PIPE (0.60) (W) PERFORATED PIPE (0.60) (E)	-2.90	
S-53	475+40.04	11.50' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.14	SOLID PIPE (0.60) (S)	-2.40	
S-54	477+85.87	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.99	PERFORATED PIPE (0.90) (NE) PERFORATED PIPE (0.60) (W) SOLID PIPE (0.60) (N)	-2.90	
S-55	477+85.87	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	6.17	SOLID PIPE (0.60) (S)	-2.40	
S-56	479+72.98	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.44	SOLID PIPE (0.45) (NW) PERFORATED PIPE (0.90) (SW) PERFORATED PIPE (0.45) (NE)	-3.05	
S-57	479+72.98	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.62	SOLID PIPE (0.45) (SE)	-2.55	
S-58	481+33.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.45) (NW) PERFORATED PIPE (0.45) (SW) PERFORATED PIPE (0.45) (NE) SOLID PIPE (0.56) (SE)	-3.05	
S-59	481+33.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	SOLID PIPE (0.45) (SE)	-2.55	
S-60	483+40.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.45) (NW) PERFORATED PIPE (0.45) (SW) PERFORATED PIPE (0.45) (NE)	-3.05	

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Consultants

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901 Ponce de Leon Blvd. Suite 900
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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FLORIDA

DRAINAGE STRUCTUR	ES
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Project No.	Scale
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C-63

Revision of 152

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Structure Number	Station	Off-set	Structure Type	FRAME & GRATE	Rim Elev.	Pipe Inverts	Bottom (Sump) Elev.	Pollution Retardant Baffl N S E W
S–61	483+40.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	SOLID PIPE (0.45) (SE)	-2.55	
S-62	486+00.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.45) (NW) PERFORATED PIPE (0.45) (NW) PERFORATED PIPE (0.45) (NE)	-3.05	
S-63	486+00.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	SOLID PIPE (0.45) (SE)	-2.55	
S-64	488+87.84	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.82	PERFORATED PIPE (1.10) (NE) PERFORATED PIPE (0.45) (SW) SOLID PIPE (0.45) (NW)	-3.05	
S-65	488+87.84	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.98	SOLID PIPE (0.45) (SE)	-2.55	
S-66	491+25.01	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.66	SOLID PIPE (1.10) (NW) PERFORATED PIPE (1.10) (SW) PERFORATED PIPE (0.50) (NE)	-3.00	
S-67	491+24.99	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.84	SOLID PIPE (1.10) (SE)	-1.90	
S-68	492+99.95	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.98	SOLID PIPE (0.50) (NW) PERFORATED PIPE (0.50) (SW) PERFORATED PIPE (0.50) (NE)	-3.00	
S-69	493+00.05	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.16	SOLID PIPE (0.50) (SE)	-2.50	
S-70	494+30.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.37	PERFORATED PIPE (0.50) (NE) PERFORATED PIPE (0.50) (SW)	-3.00	
S-71	495+65.00	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.50) (W) PERFORATED PIPE (0.50) (SW) PERFORATED PIPE (0.50) (N) SOLID PIPE (0.47) (E)	-3.03	
S-72	495+65.00	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	SOLID PIPE (0.50) (E) SOLID PIPE (1.27) (W)	-2.50	
S-73	497+93.01	11.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.97	SOLID PIPE (0.50) (W) PERFORATED PIPE (0.50) (S) PERFORATED PIPE (0.50) (N)	-3.00	
S-74	497+93.01	11.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.15	SOLID PIPE (0.50) (E)	-2.50	
S-75	499+25.92	17.80' R	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	5.25	SOLID PIPE (0.45) (N) PERFORATED PIPE (0.50) (S) SOLID PIPE (1.50) (E)	-2.55	
S-76	499+26.74	58.04' R	8'x8" WEIR STRUCTURE	Standard	4.80	SOLID PIPE (1.50) (W)	1.42	
S-77	499+63.89	20.26' R	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	5.25	SOLID PIPE (0.40) (N) SOLID PIPE (0.45) (S)	-2.60	
S-78	500+40.00	24.85' R	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	4.91	SOLID PIPE (0.40) (W) SOLID PIPE (0.40) (S)	-3.10	
S-79	500+40.00	13.73' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	4.93	SOLID PIPE (0.40) (E) SOLID PIPE (0.40) (N)	-3.10	
S-80	501+56.40	12.54' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.57	PERFORATED PIPE (0.60) (N) SOLID PIPE (0.40) (S)	-3.10	
S-81	503+00.00	10.67' L	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.99	SOLID PIPE (0.60) (E)	-2.40	
S-82	503+00.00	5.00' L	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	5.10	SOLID PIPE (0.60) (W) SOLID PIPE (0.60) (E) PERFORATED PIPE (0.60) (N) PERFORATED PIPE (0.60) (S)	-2.90	
S-83	503+00.00	10.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.99	SOLID PIPE (0.60) (W)	-2.40	
S-84	505+04.04	5.00' L	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	5.71	PERFORATED PIPE (0.85) (NE) PERFORATED PIPE (0.60) (S)	-2.40	
S-85	507+10.00	10.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	5.21	SOLID PIPE (0.10) (SE)	-2.90	
S-86	507+10.00	3.58' L	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	5.35	SOLID PIPE (0.10) (NW) SOLID PIPE (0.10) (SE) SOLID PIPE (0.10) (NE) PERFORATED PIPE (0.85) (SW)	-3.40	
S-87	507+10.00	10.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	5.21	SOLID PIPE (0.10) (NW)	-2.90	
S-88	508+51.45	10.67' L	CB TYPE "P", 6' Dia.	USF 5164 & 6144 GRATE	4.34	SOLID PIPE (0.50) (E)	-2.50	
S-89	508+53.53	4.45' L	MH TYPE "P", 6' Dia.	USF 465 & TYPE "A" COVER	4.67	SOLID PIPE (0.50) (SW) SOLID PIPE (0.50) (W) SOLID PIPE (0.50) (E)	-2.58	
S-90	508+57.33	10.50' R	CB TYPE "P", 6' Dia.	USF 5105 & 6148 GRATE	4.31	SOLID PIPE (0.50) (W)	-2.50	

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	SUMMARY OF DRAINAGE STRUCTURES									
Structure Number	Station	Off-set	Structure Type	FRAME & GRATE	Rim Elev.	Pipe Inverts	Bottom (Sump) Elev.	Pollution N	n Retari	dant Baffll E W
S-91	432+06.21	28.84' R	8'x8" WEIR STRUCTURE	Standard	5.07	SOLID PIPE (0.00) (E)	-0.08			
S-92	437+79.45	27.41' R	8'x8" WEIR STRUCTURE	Standard	5.06	SOLID PIPE (1.25) (E)	1.17			
S-93	465+64.39	24.17' R	8'x8" WEIR STRUCTURE	Standard	7.10	SOLID PIPE (1.60) (NE)	1.52			
S-94	472+09.78	24.56' R	8'x8" WEIR STRUCTURE	Standard	5.14	SOLID PIPE (1.12) (N)	1.04			
S-95	481+32.64	24.46' R	8'x8" WEIR STRUCTURE	Standard	5.04	SOLID PIPE (0.56) (NW)	0.48			
S-96	495+65.11	23.82' R	8'x8" WEIR STRUCTURE	Standard	5.04	SOLID PIPE (0.47) (W)	0.39			
S-97	457+27.38	23.99' R	8'x8" WEIR STRUCTURE	Standard	10.40	SOLID PIPE (3.00) (E) Exist. Drainage Pipe (7.19) (W)	2.92			
S-98	458+16.40	25.23' R	8'x8" WEIR STRUCTURE	Standard	10.40	SOLID PIPE (6.00) (NE) Exist, Drainage Pipe (5.01) (SW)	4.93			

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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

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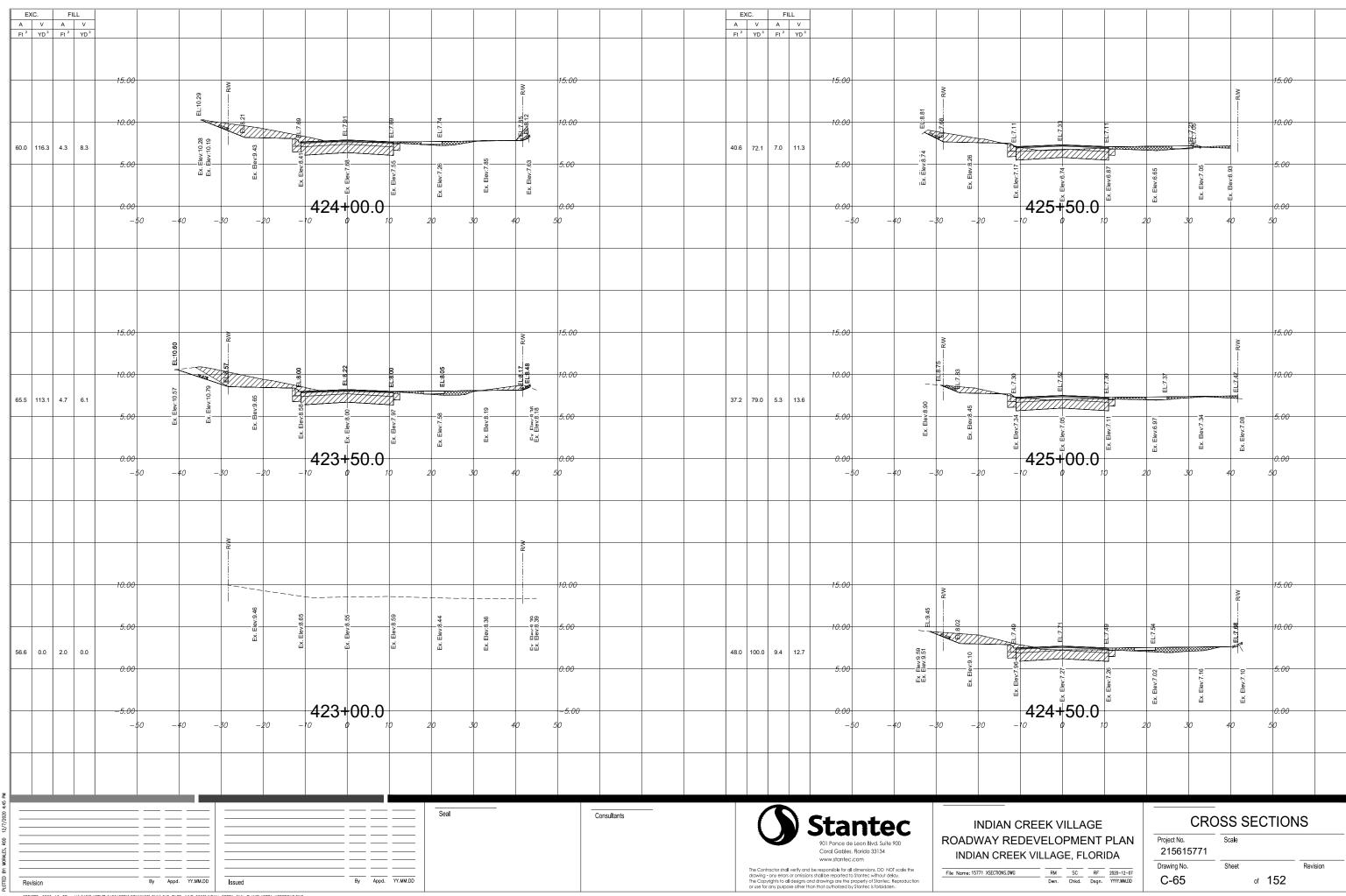
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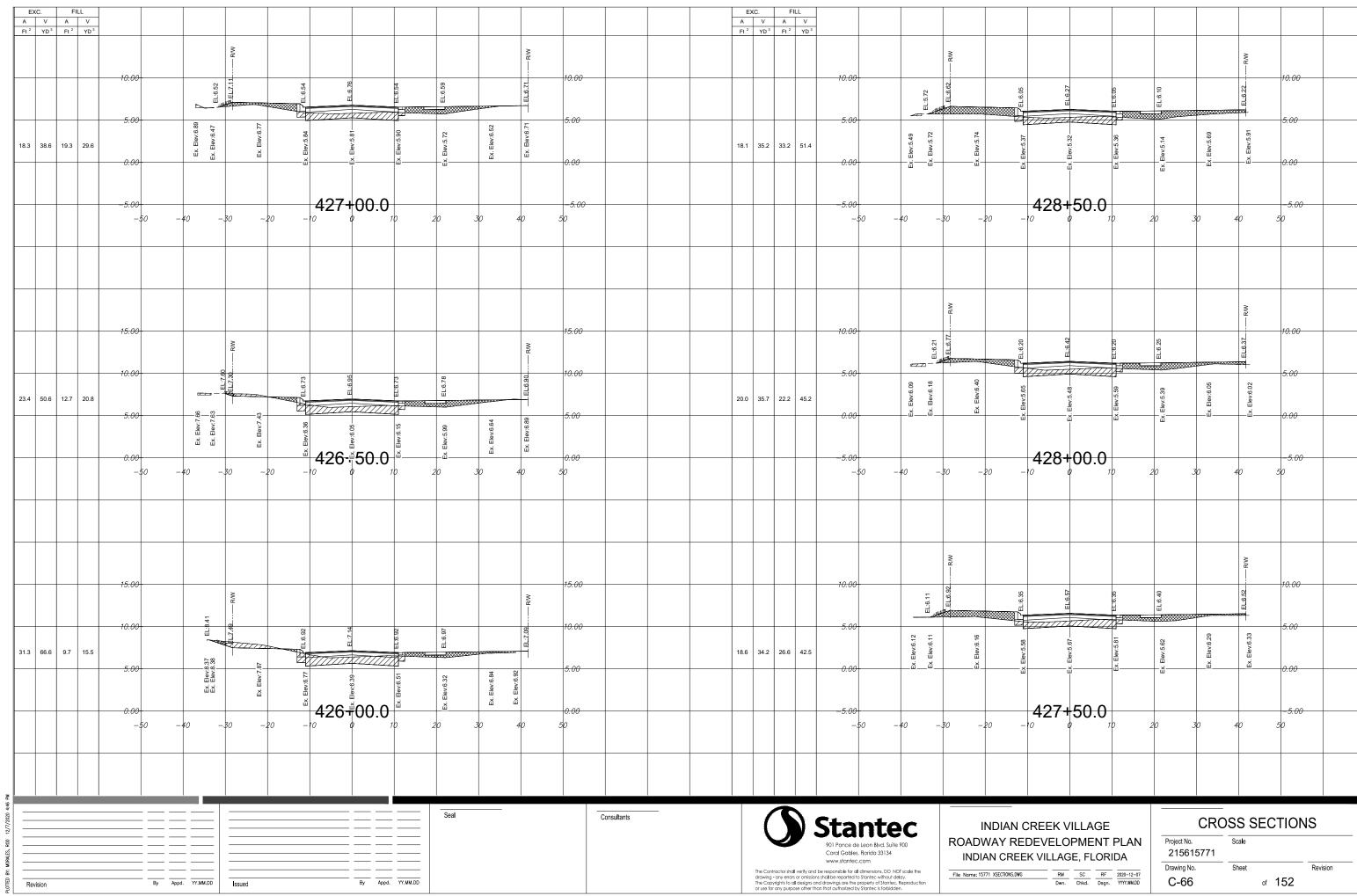
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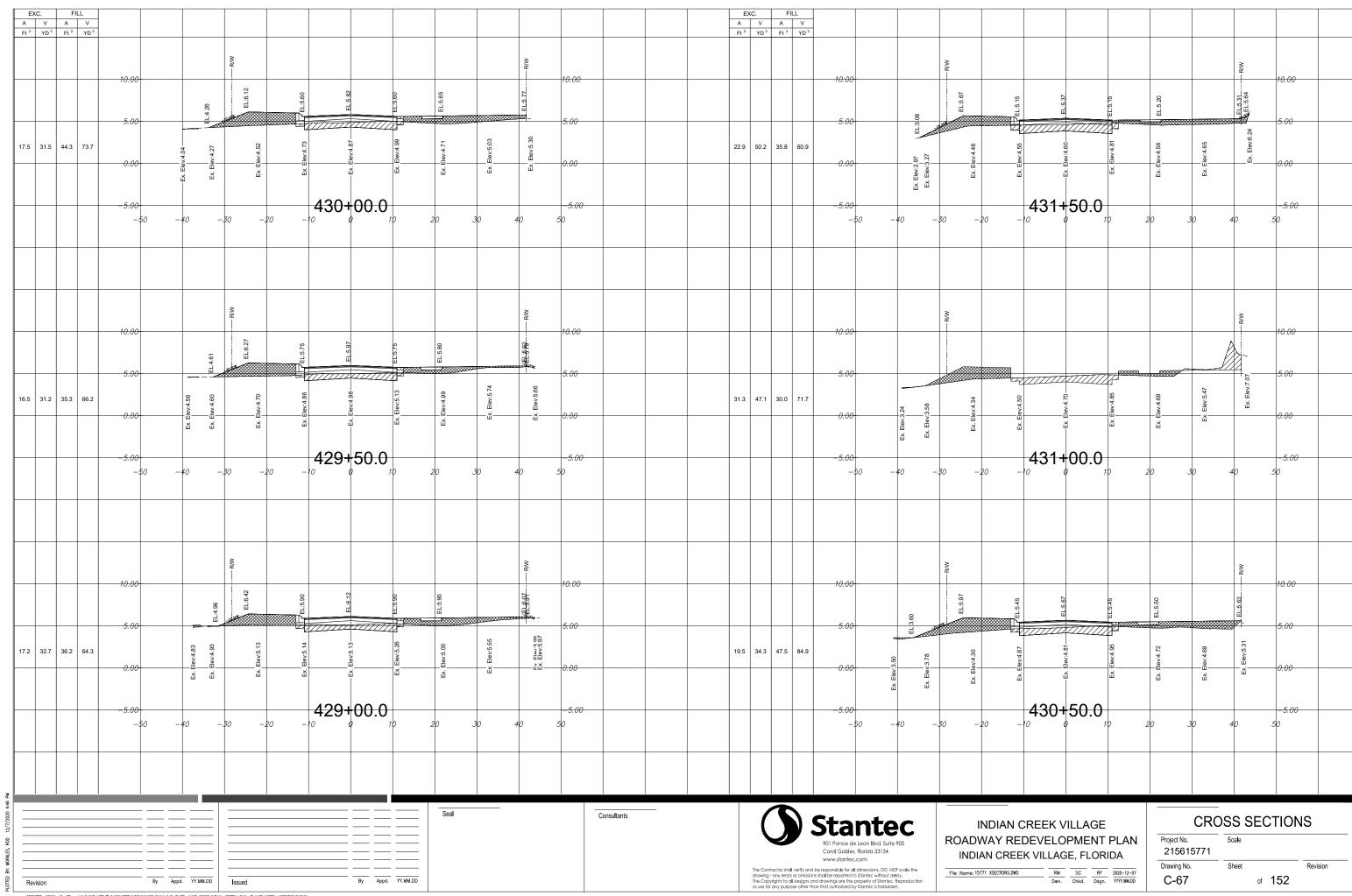
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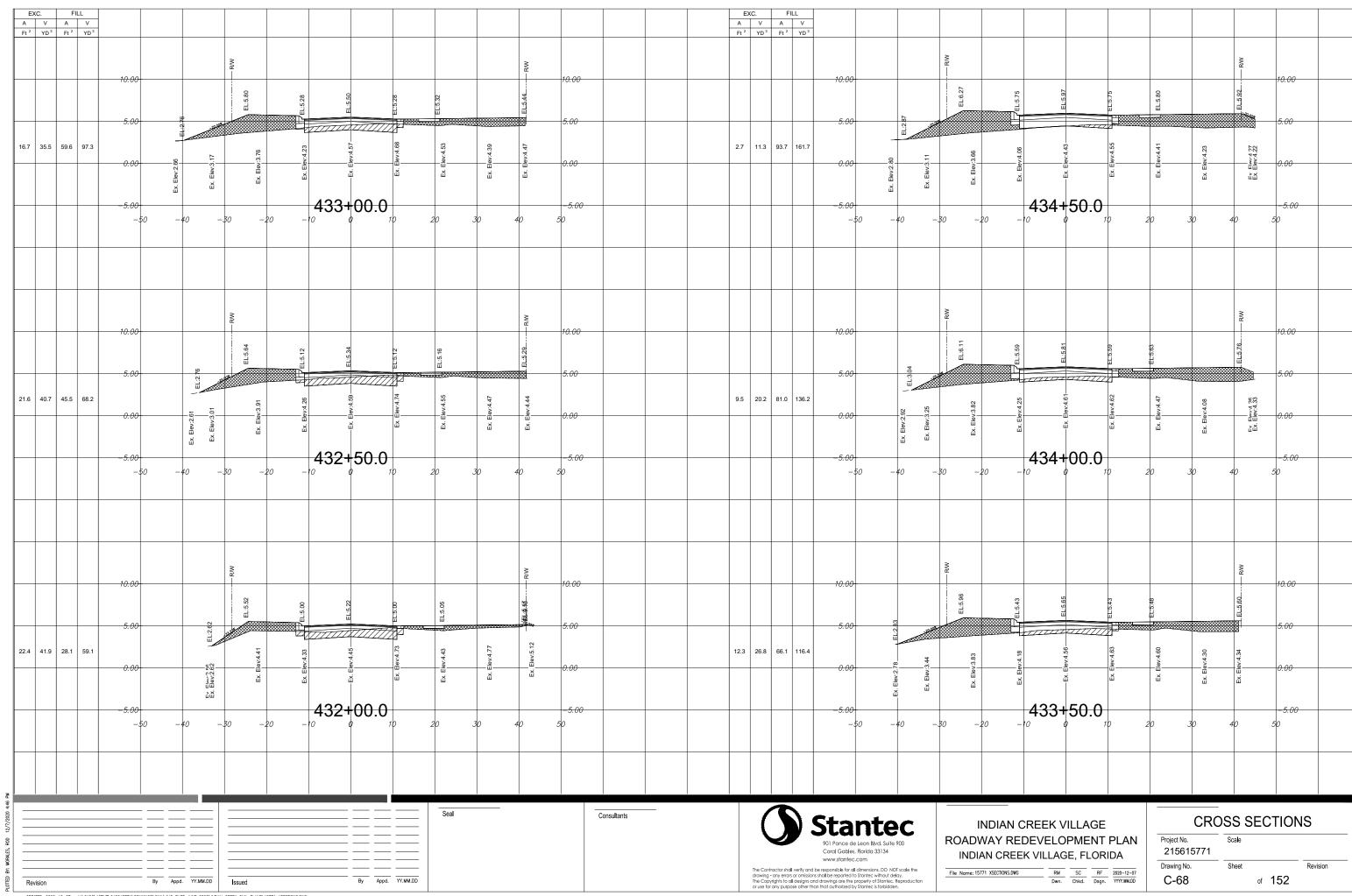
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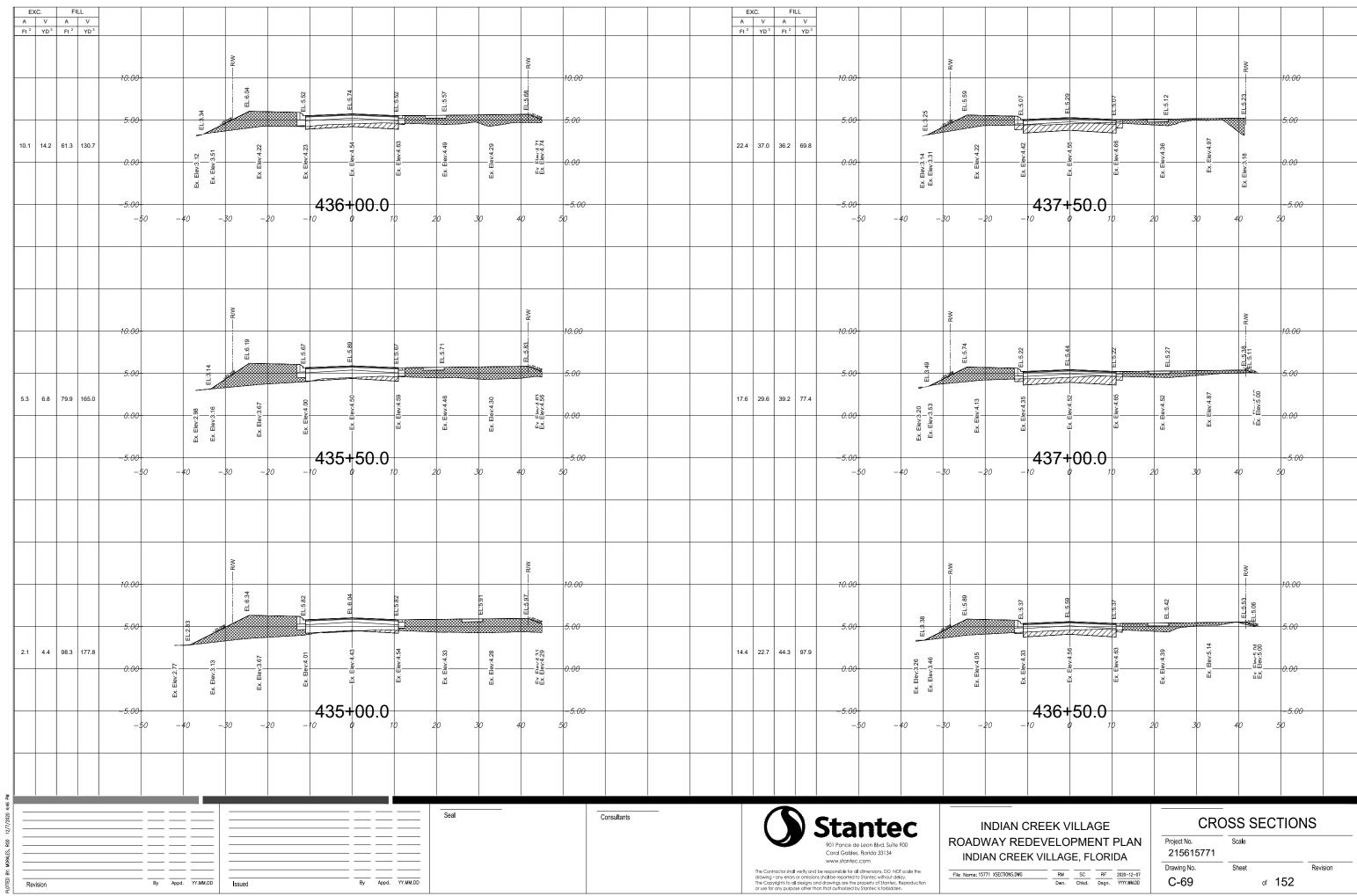
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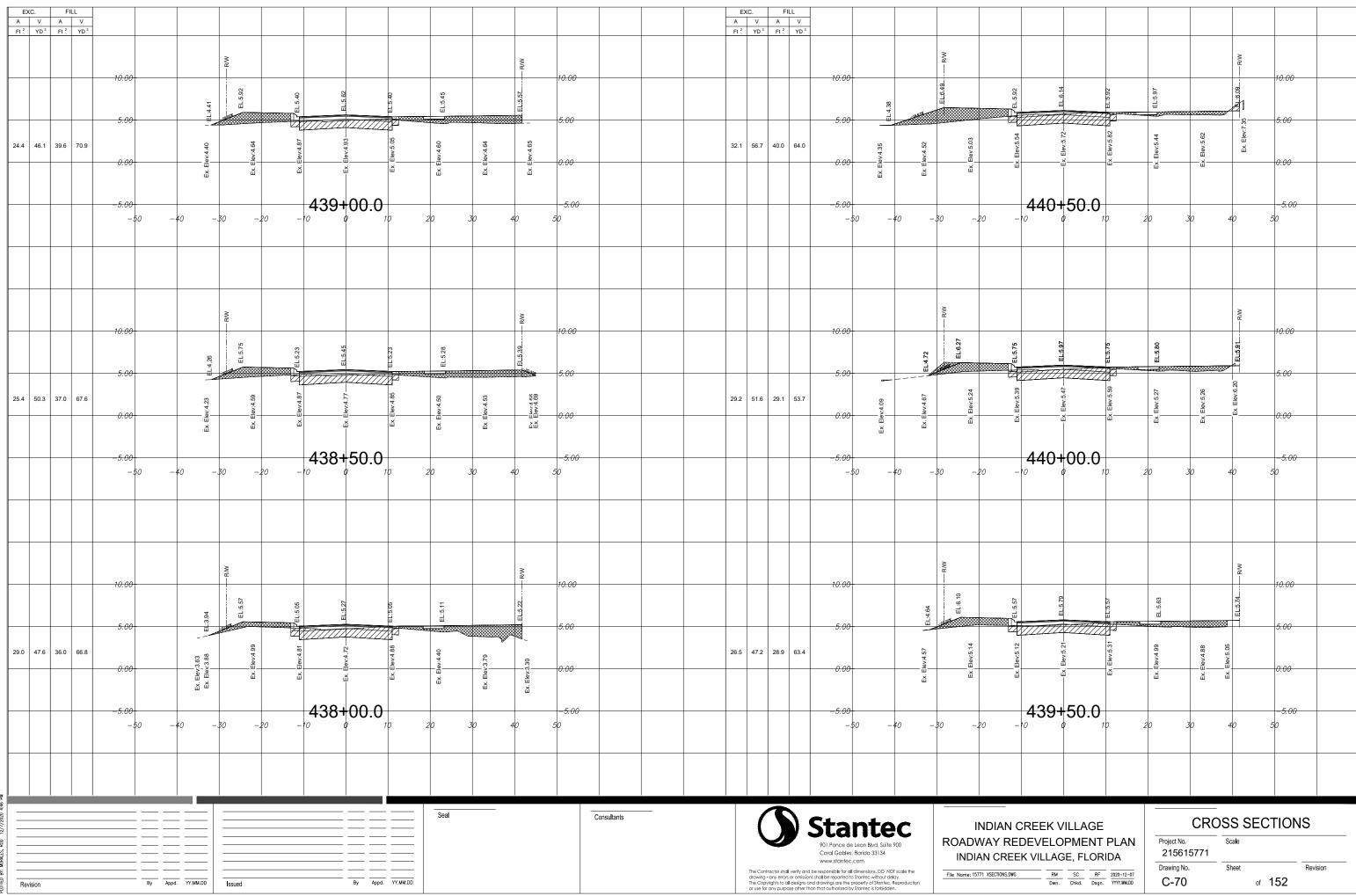


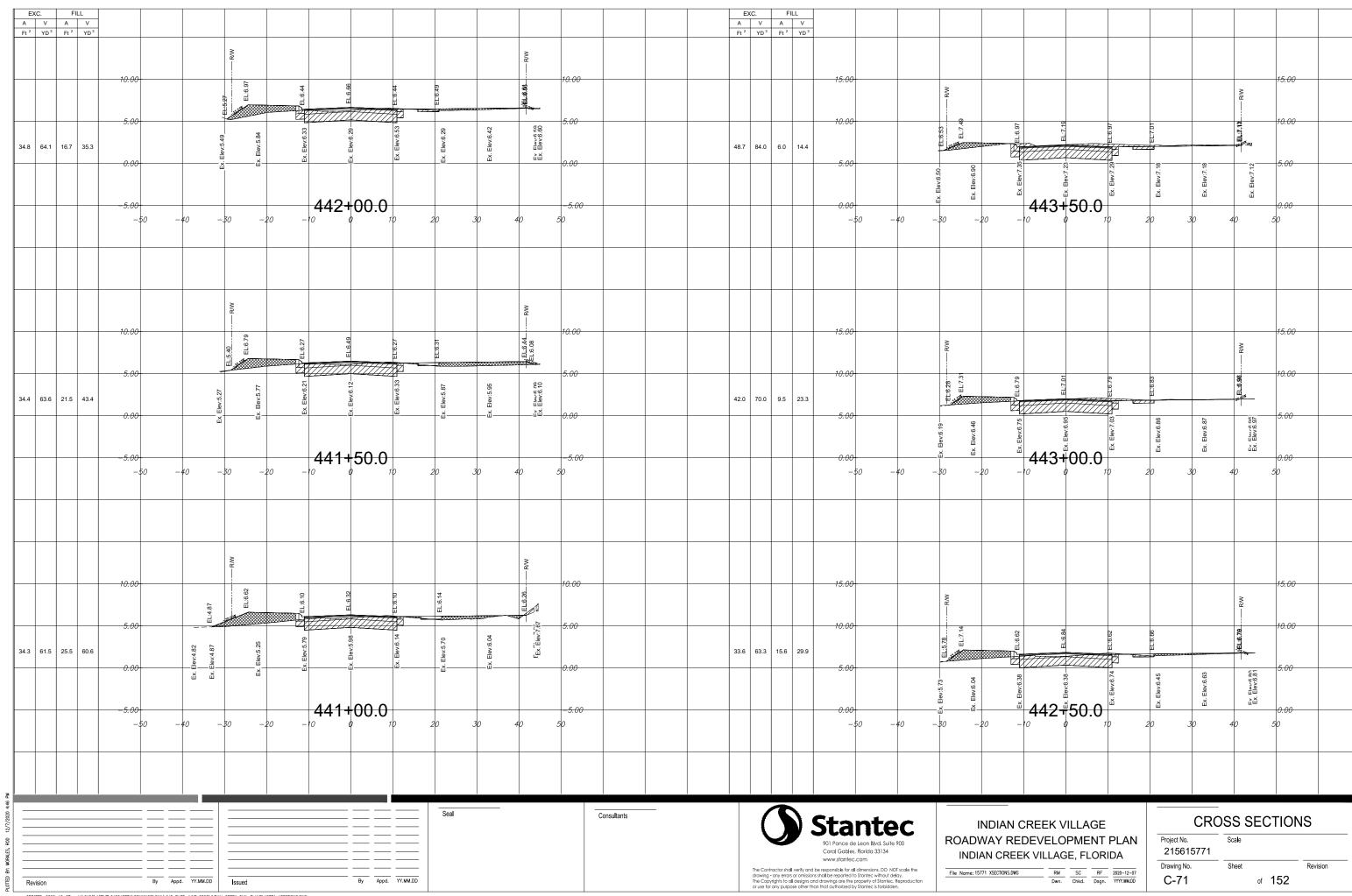


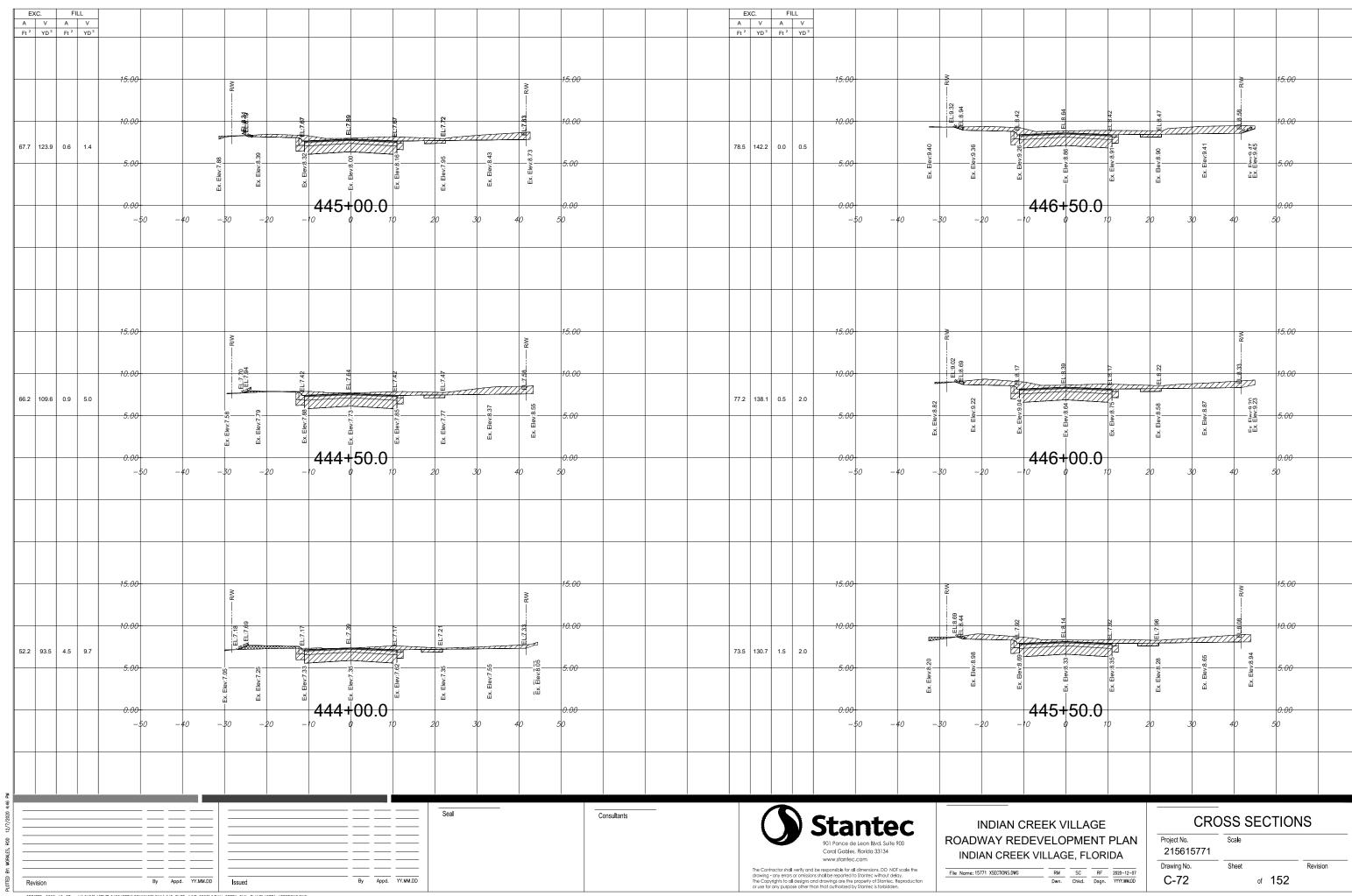


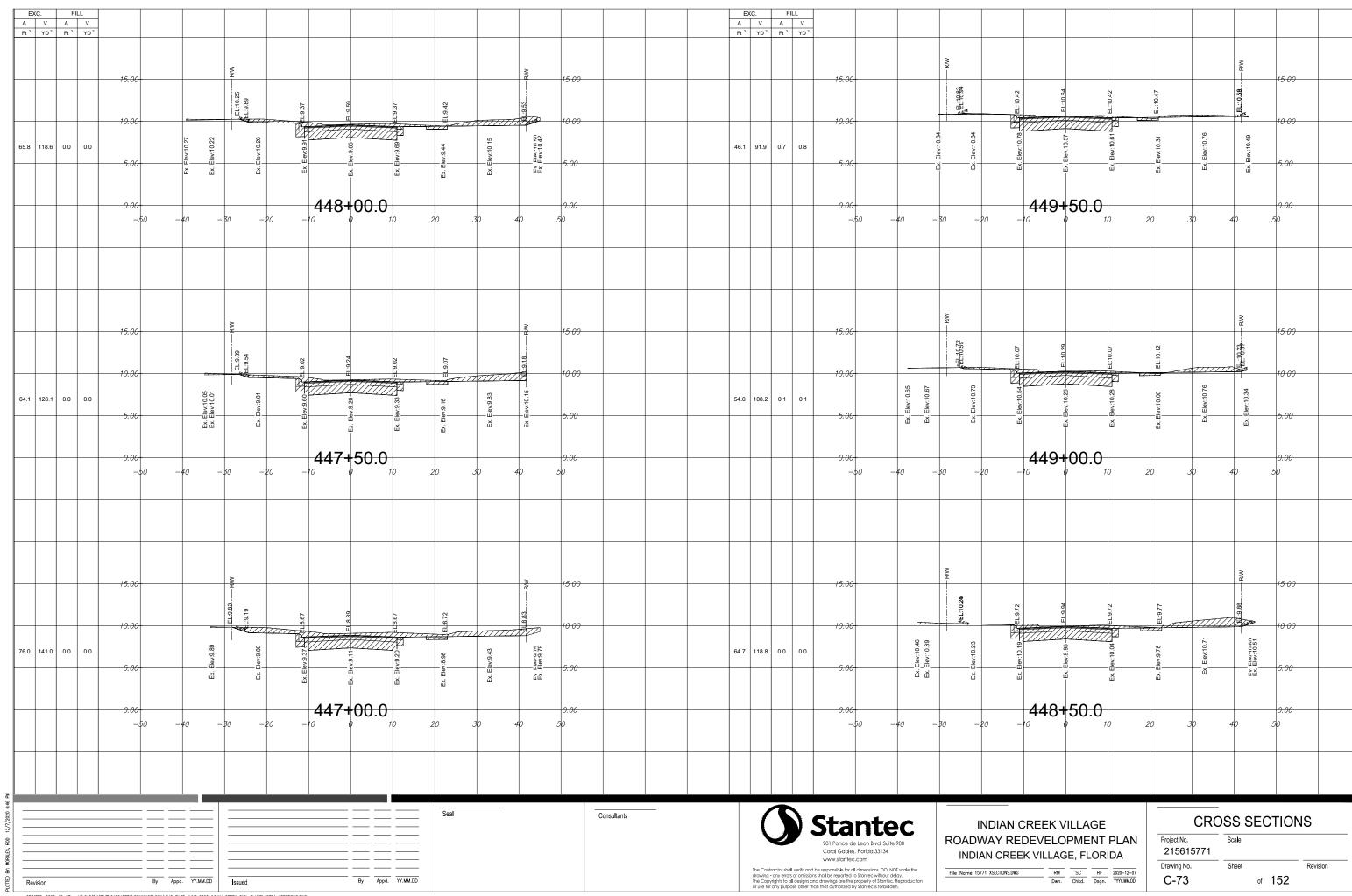


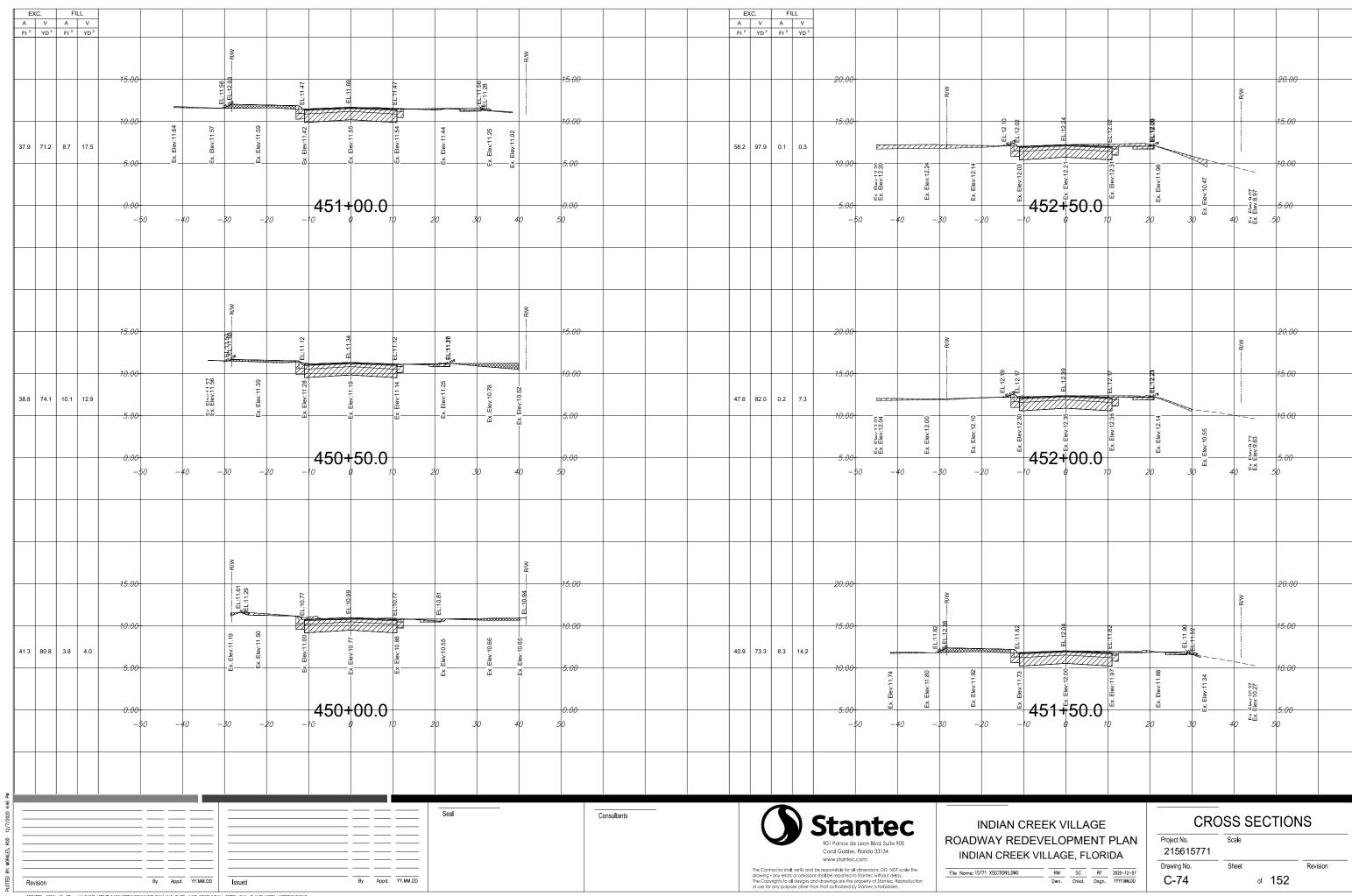


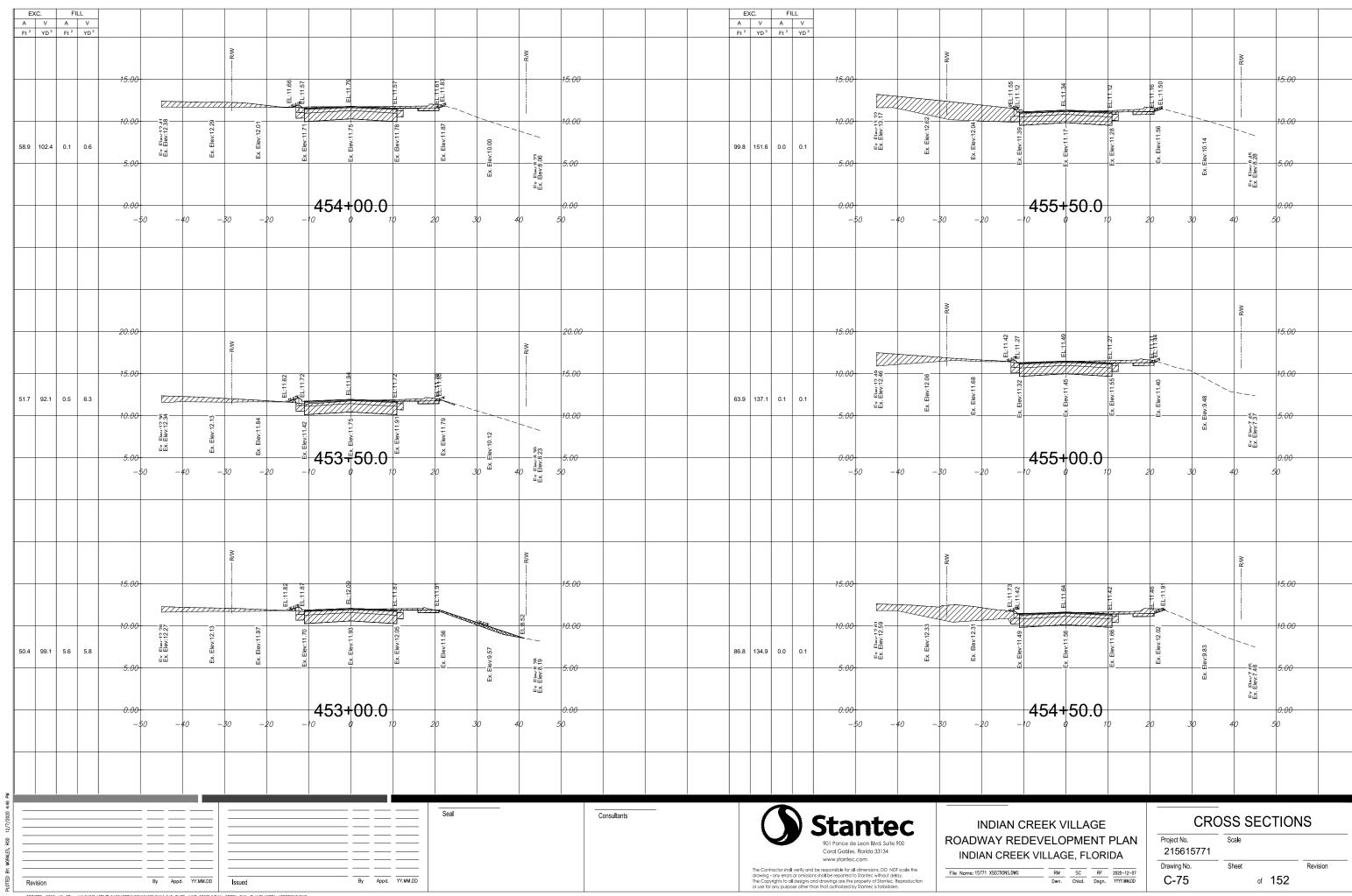


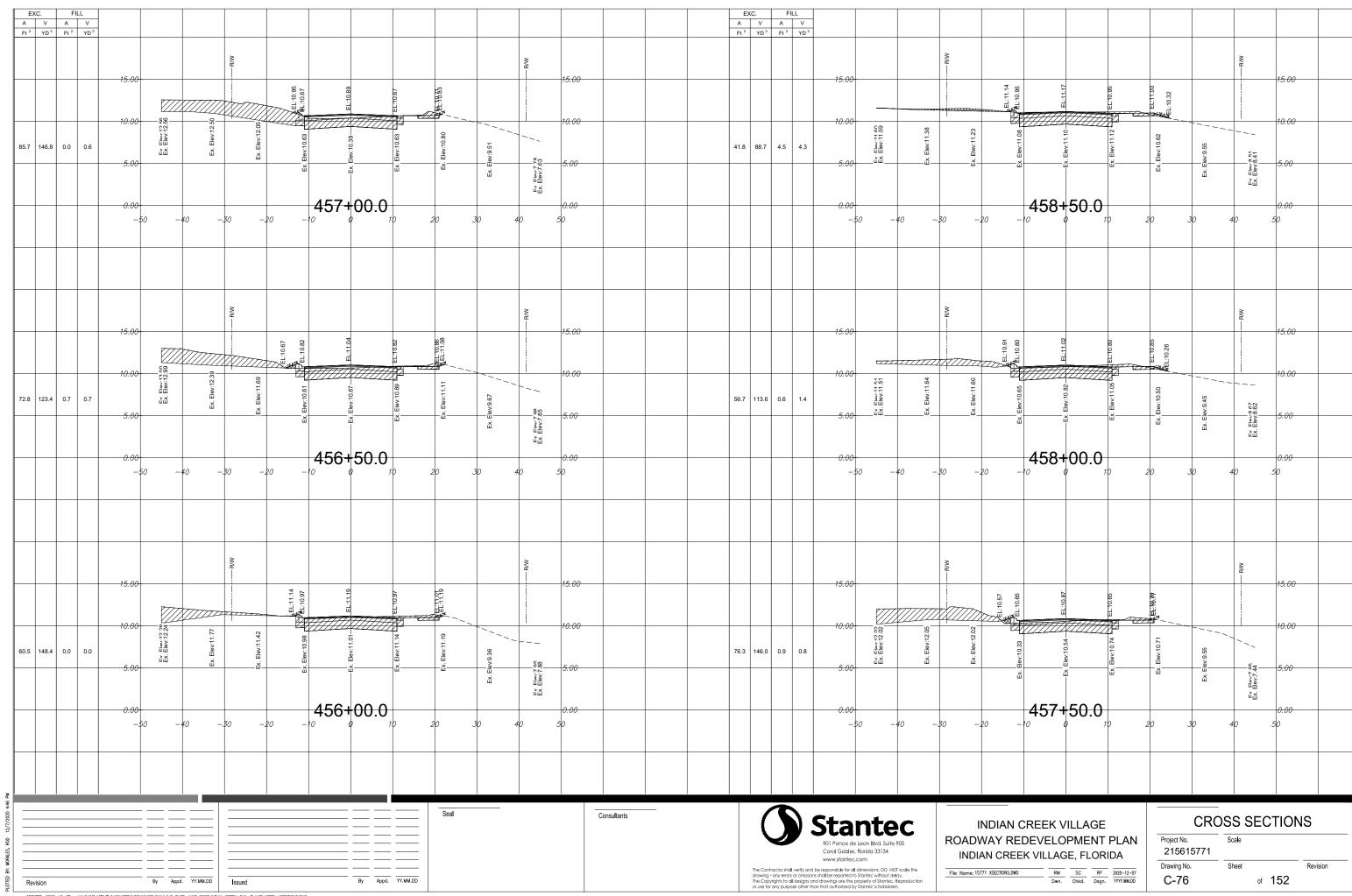


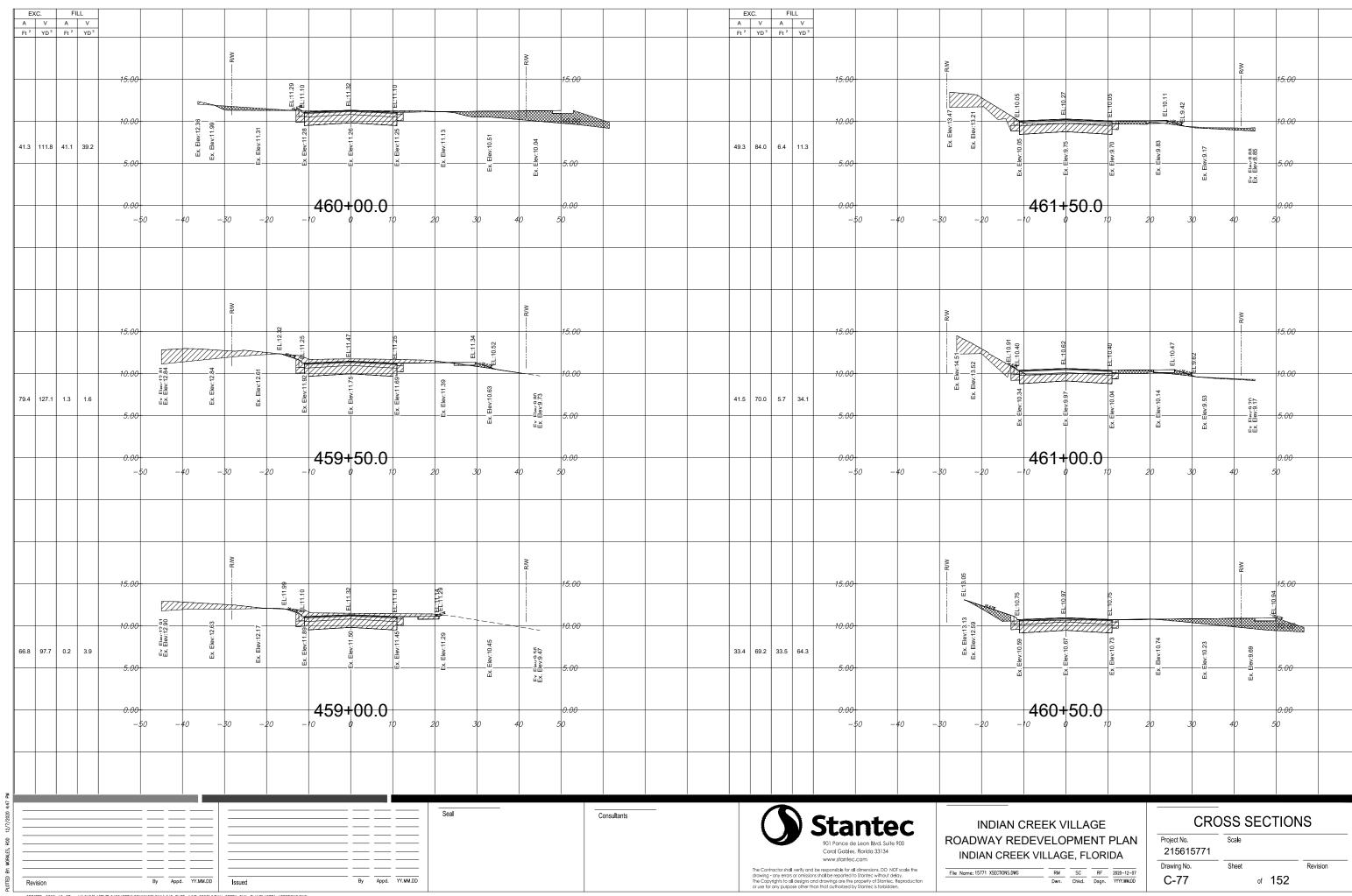


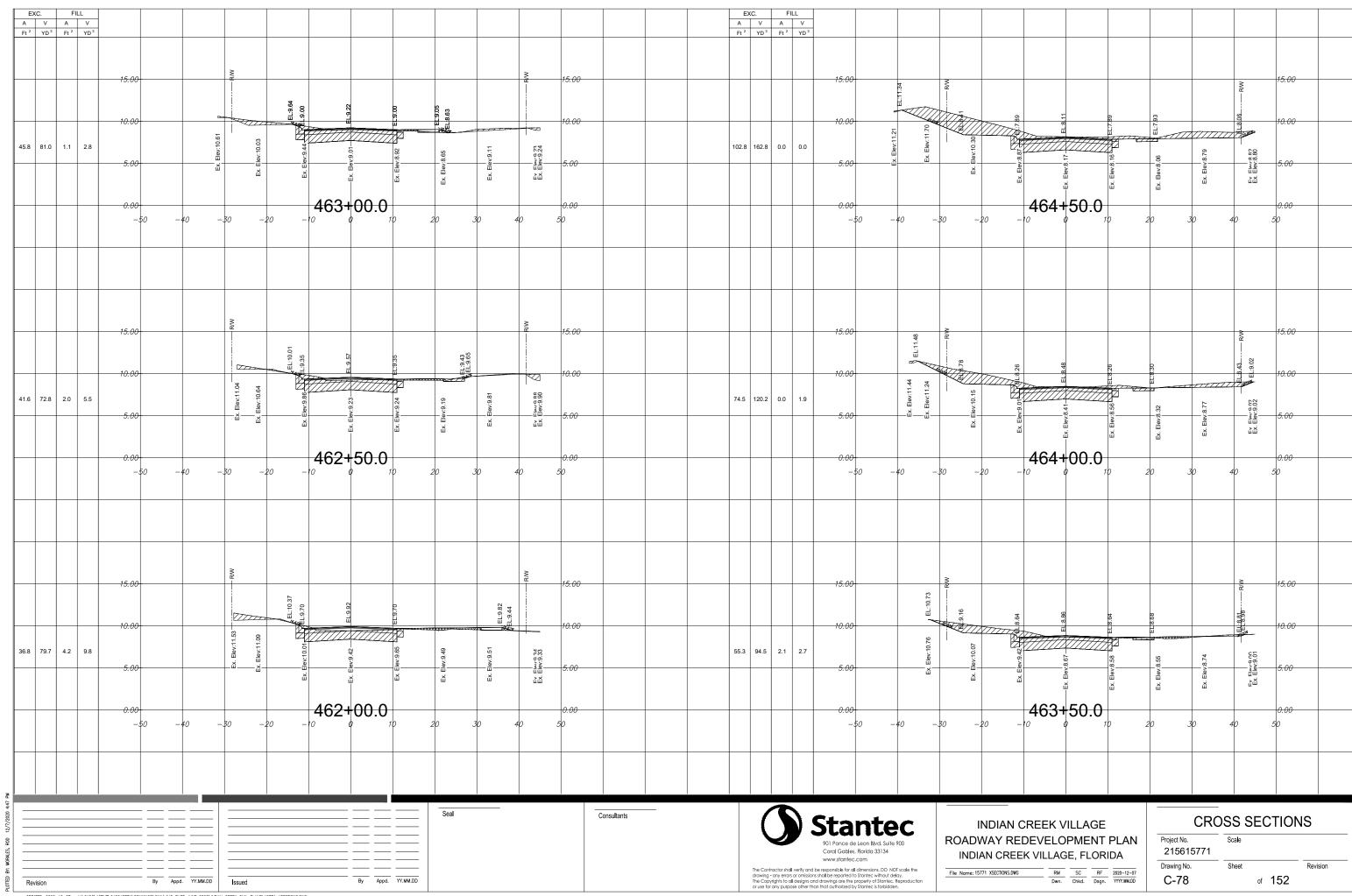


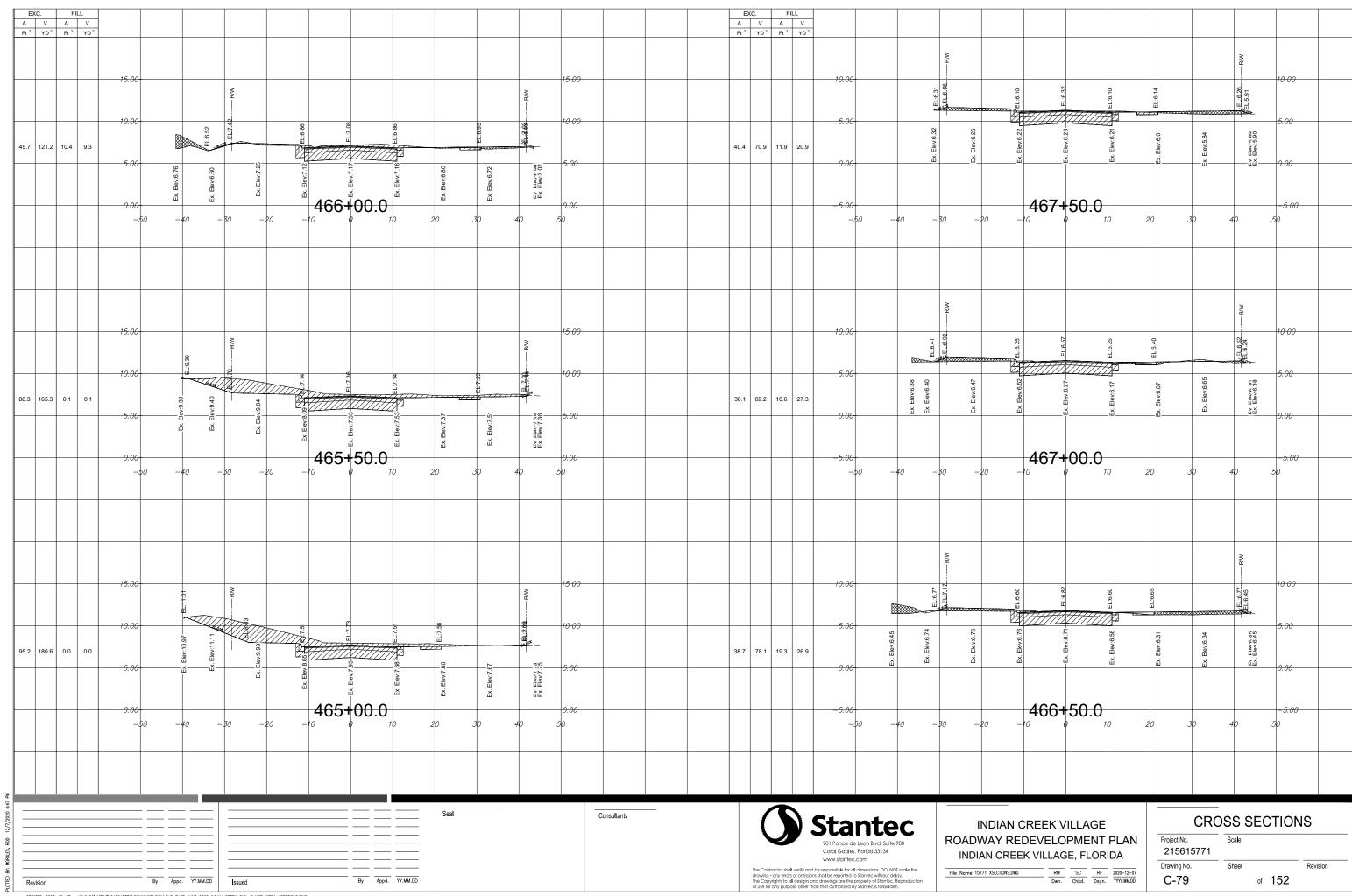


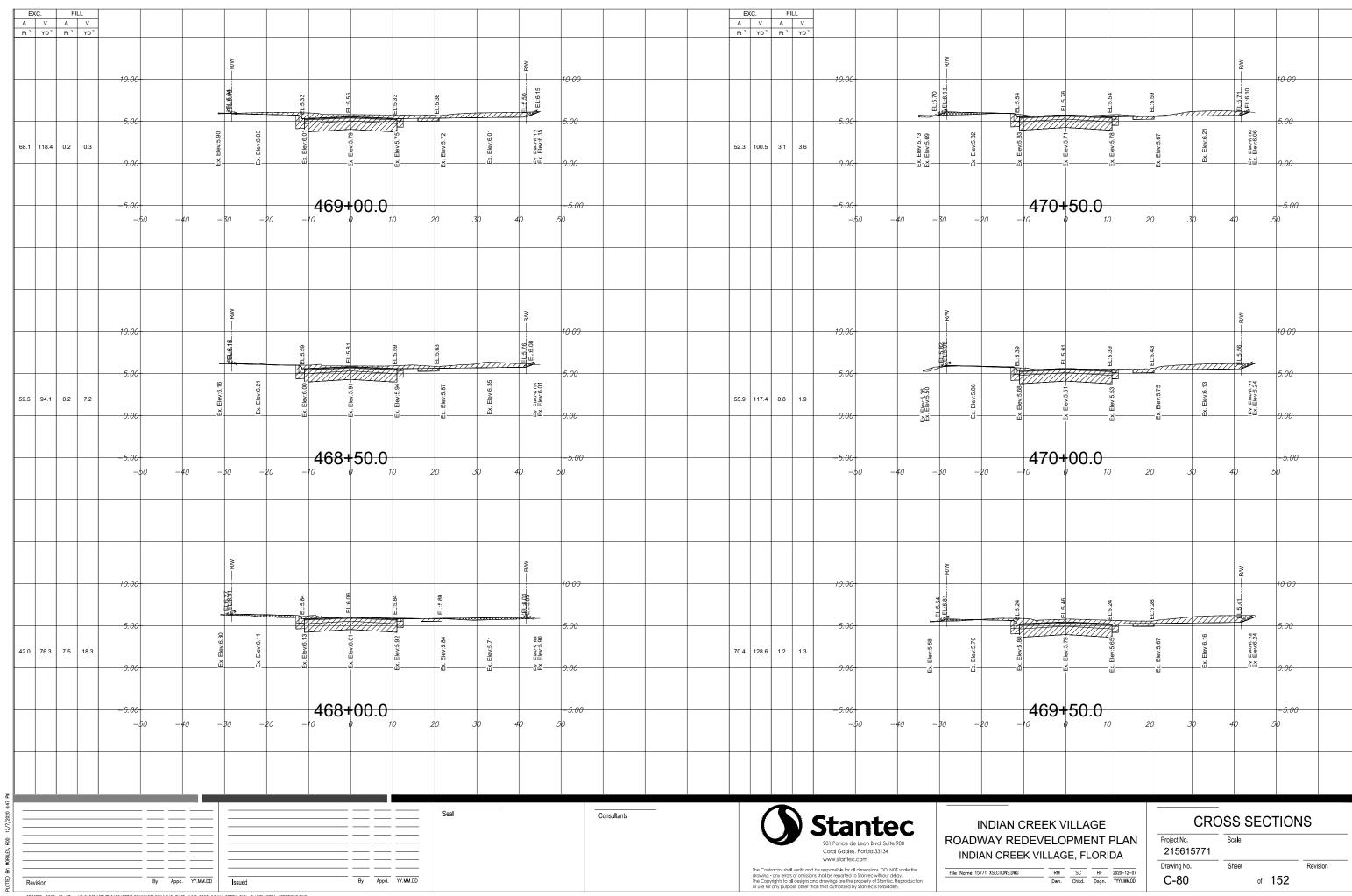


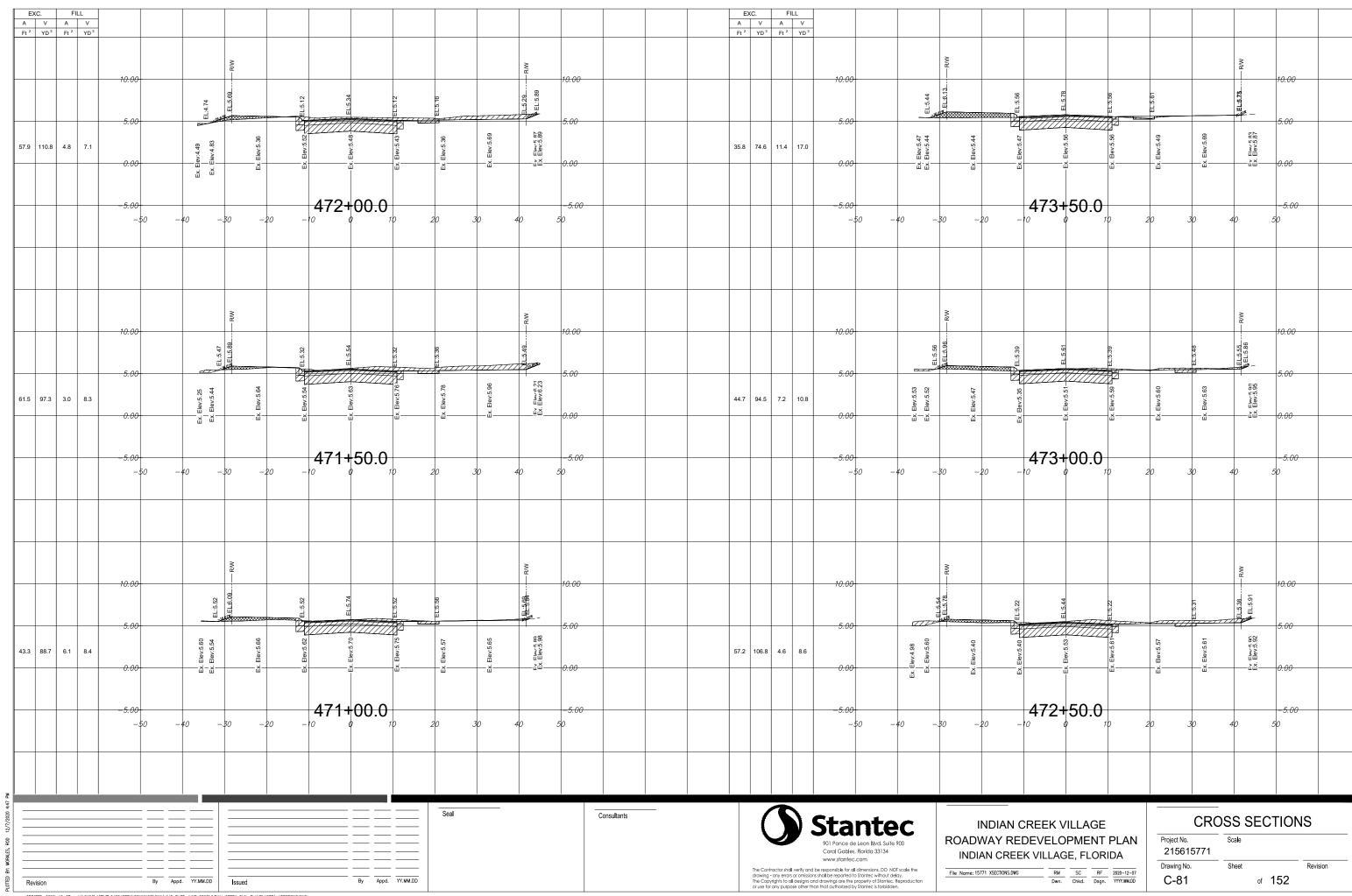


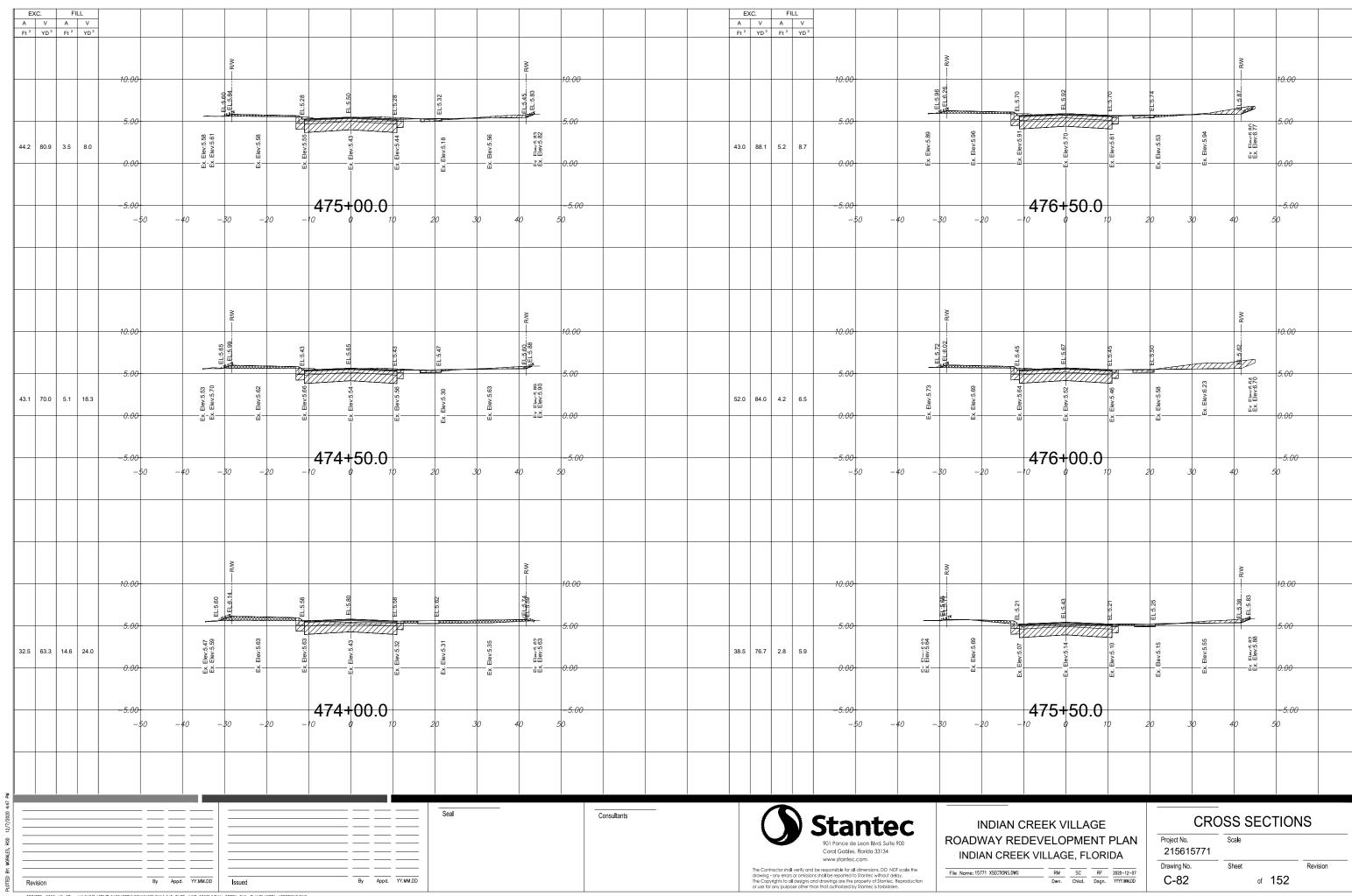


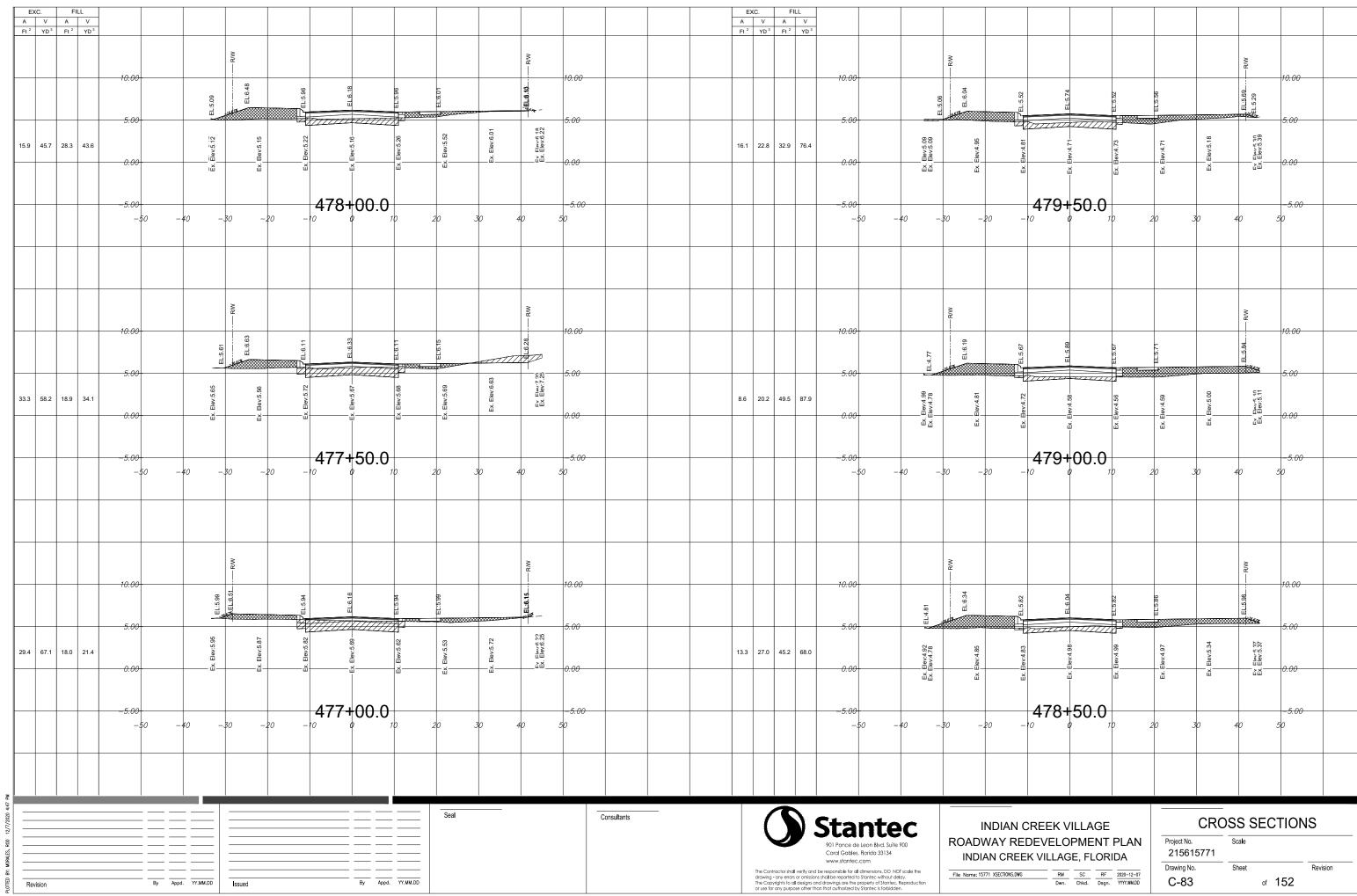


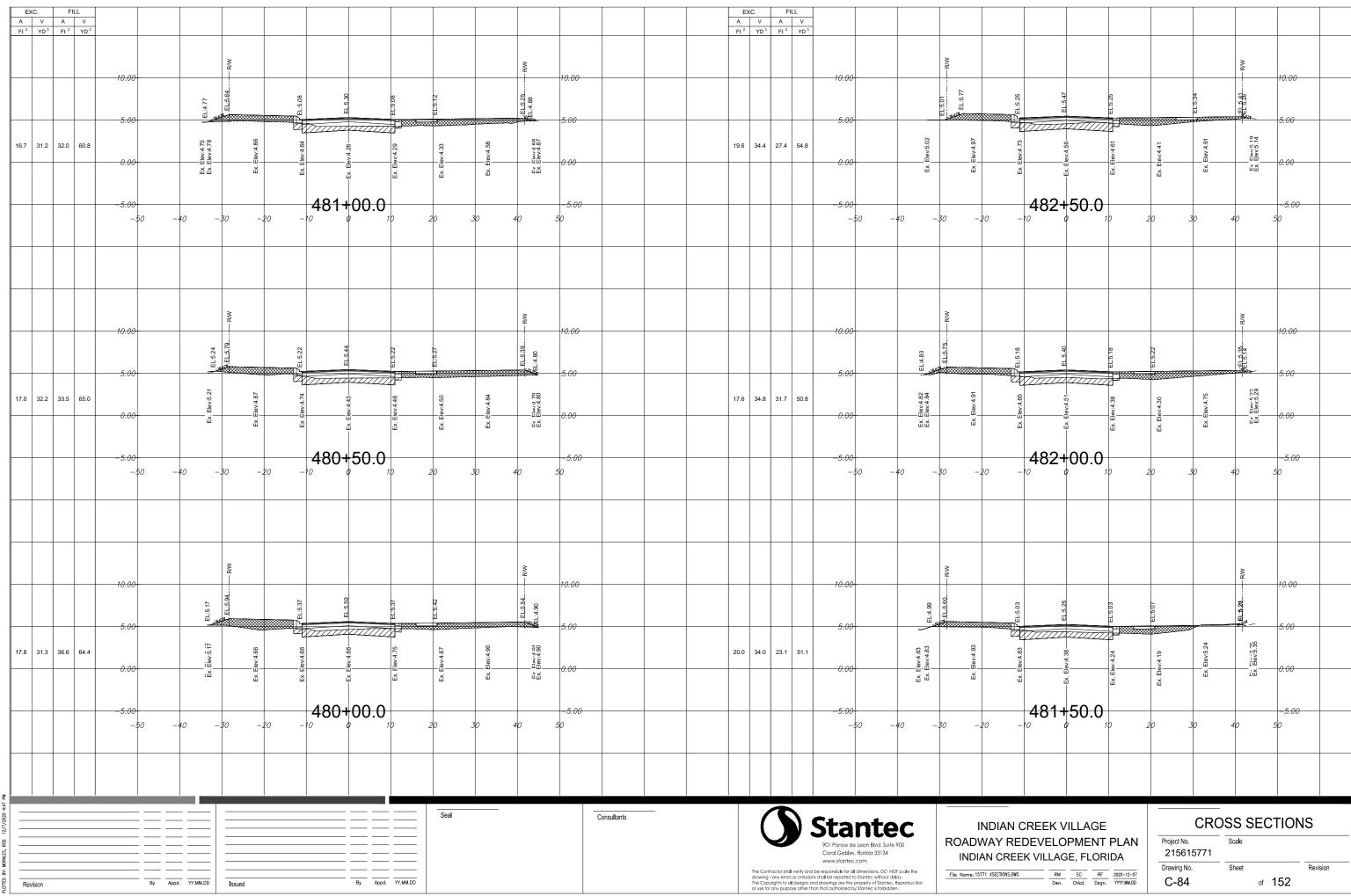


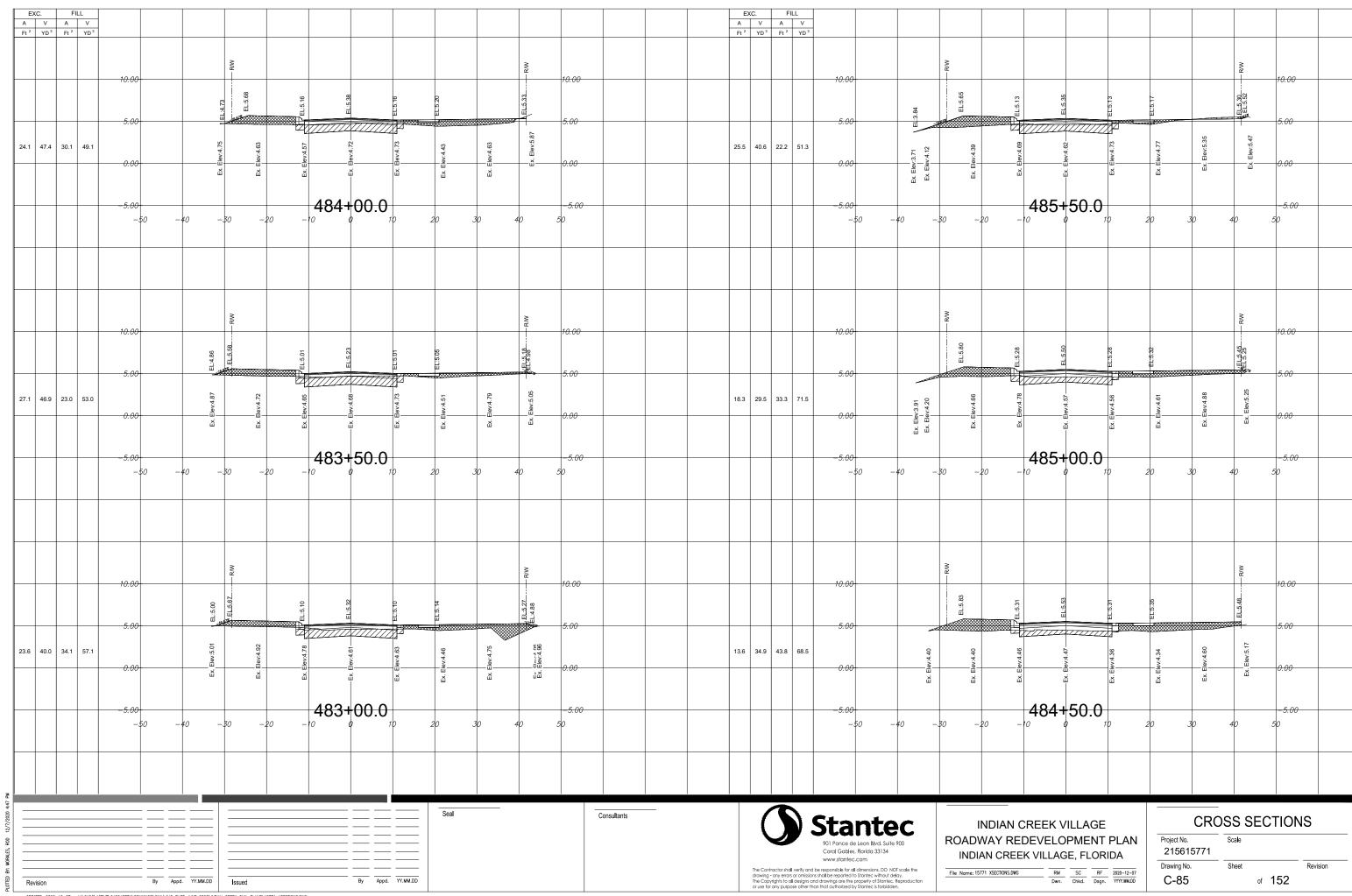


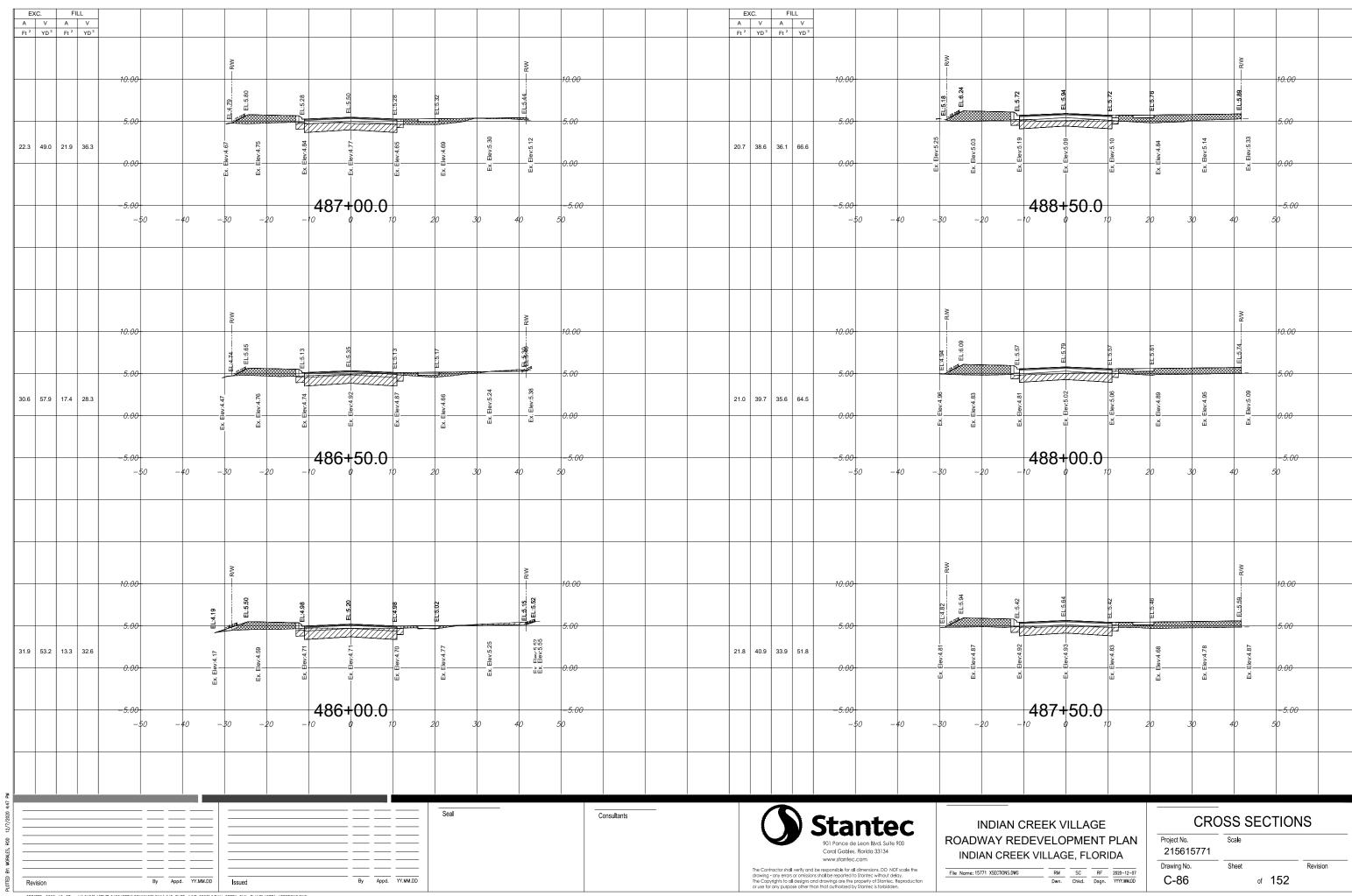


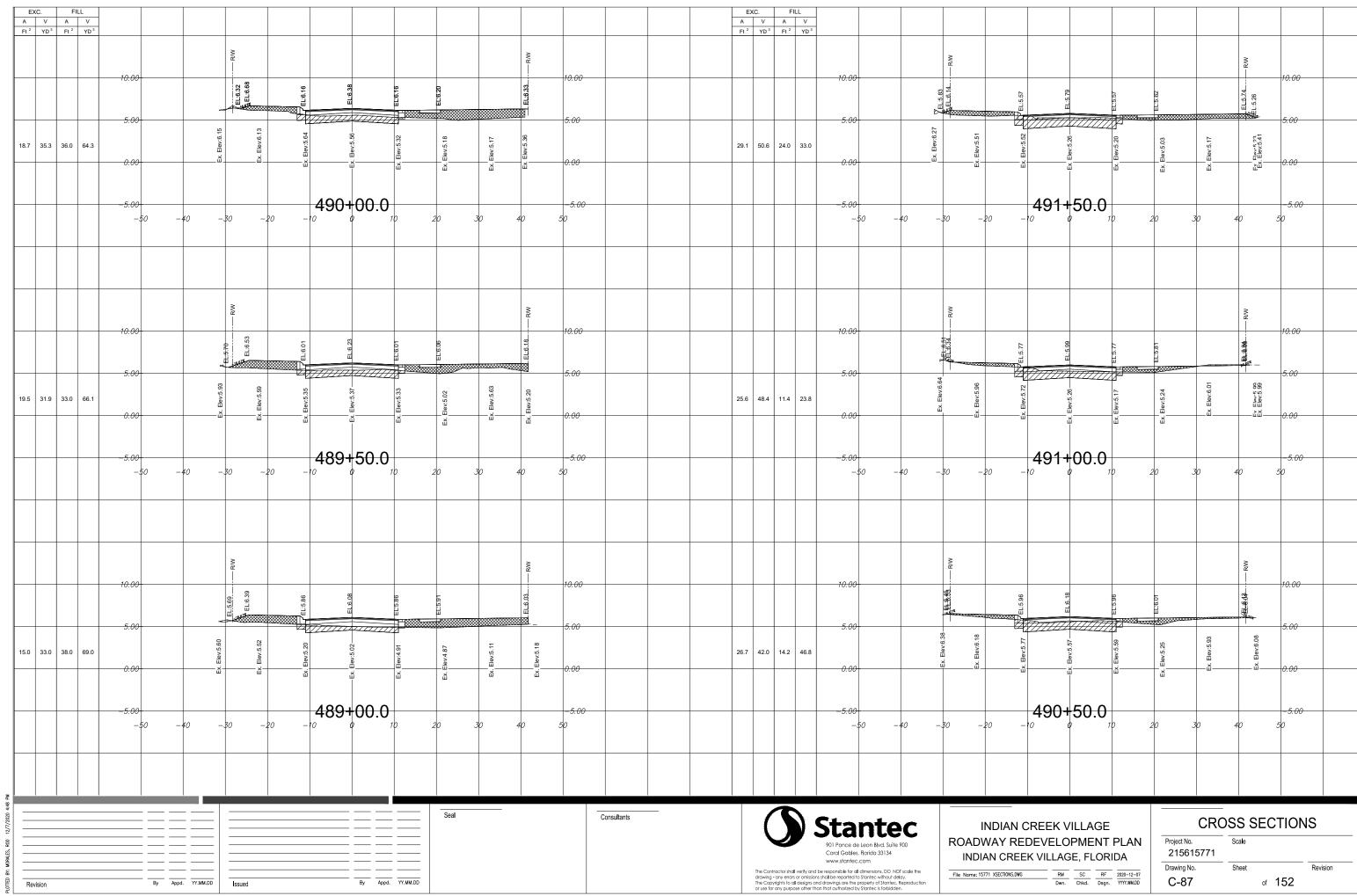


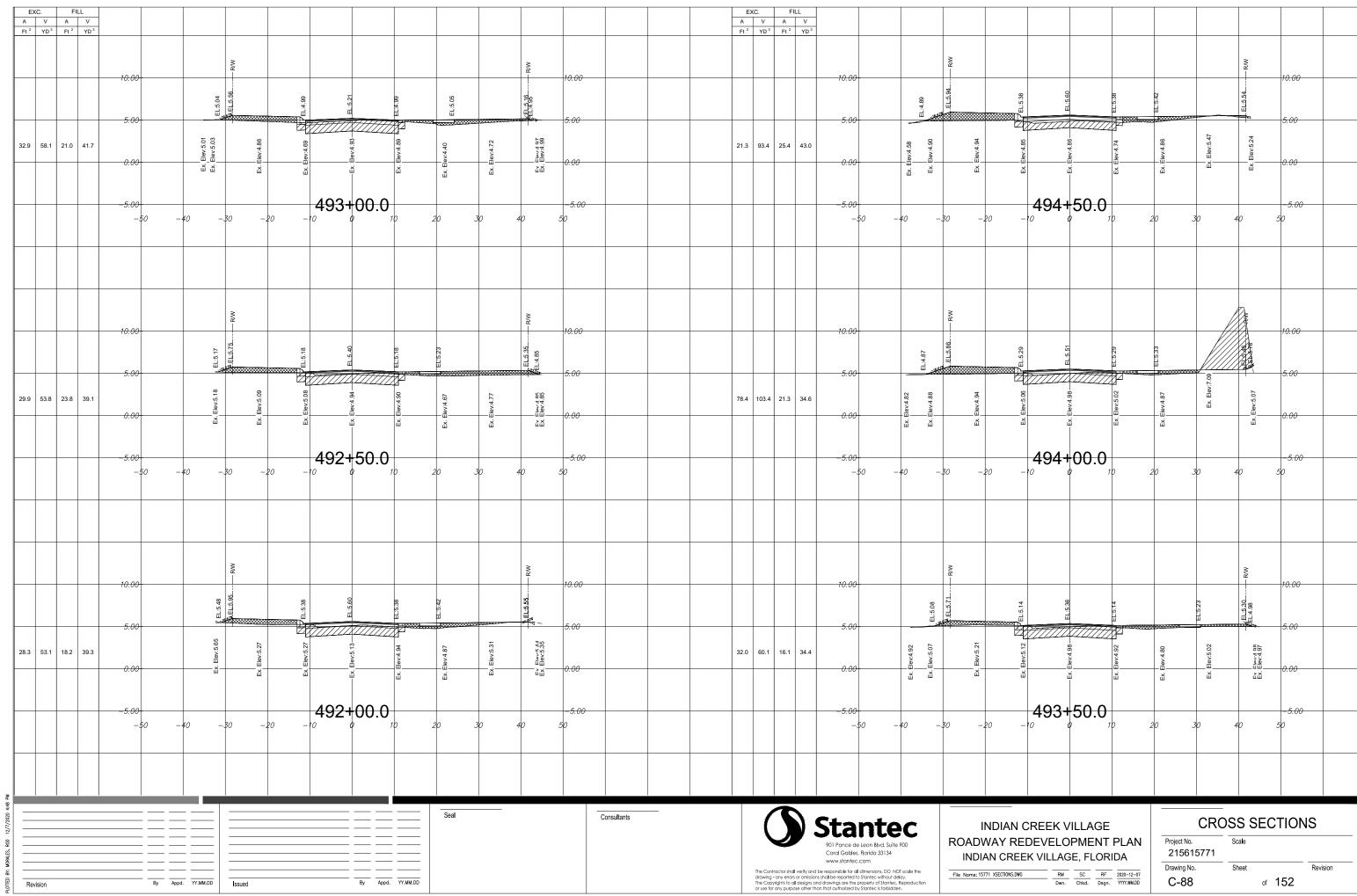


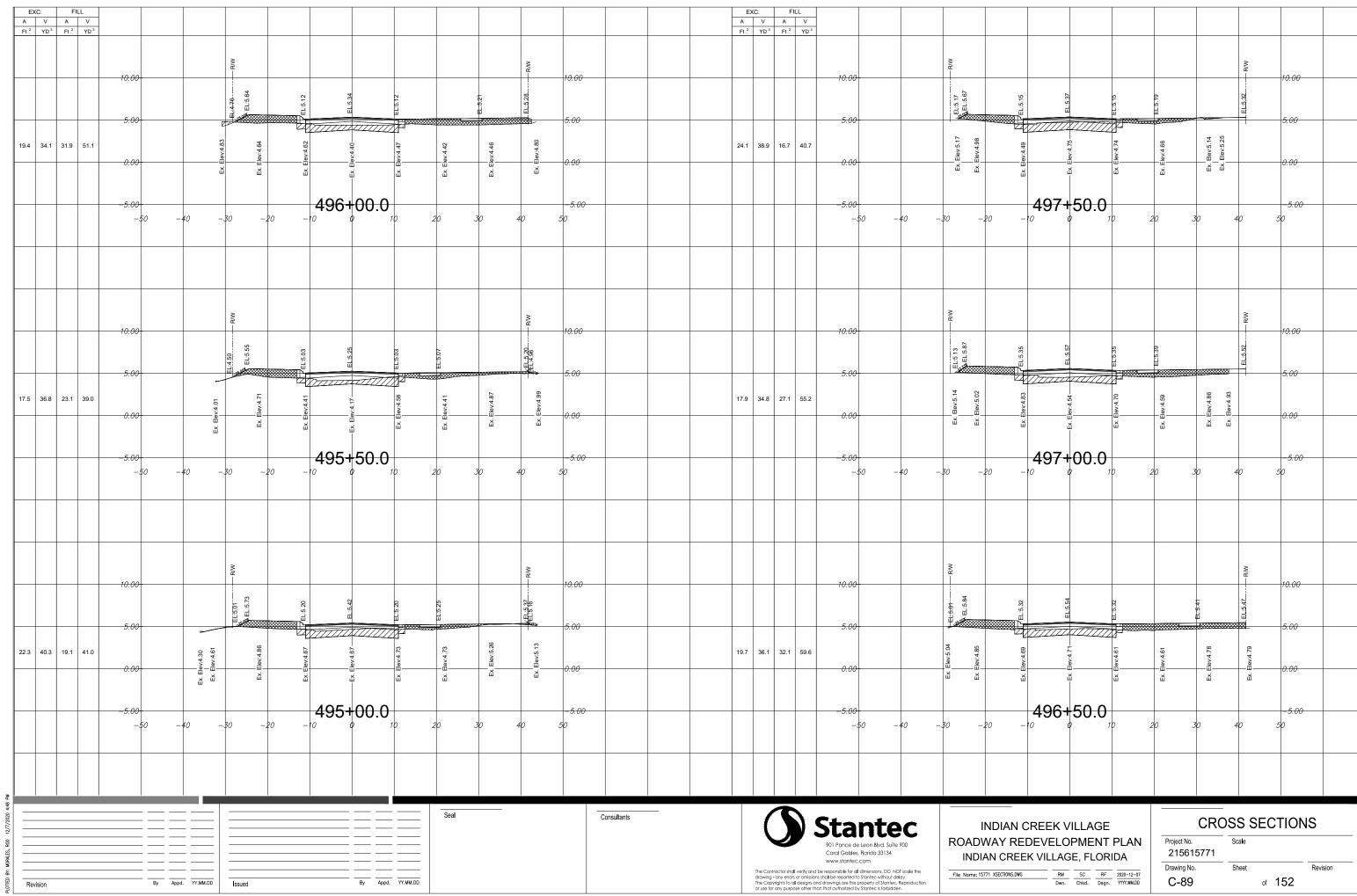


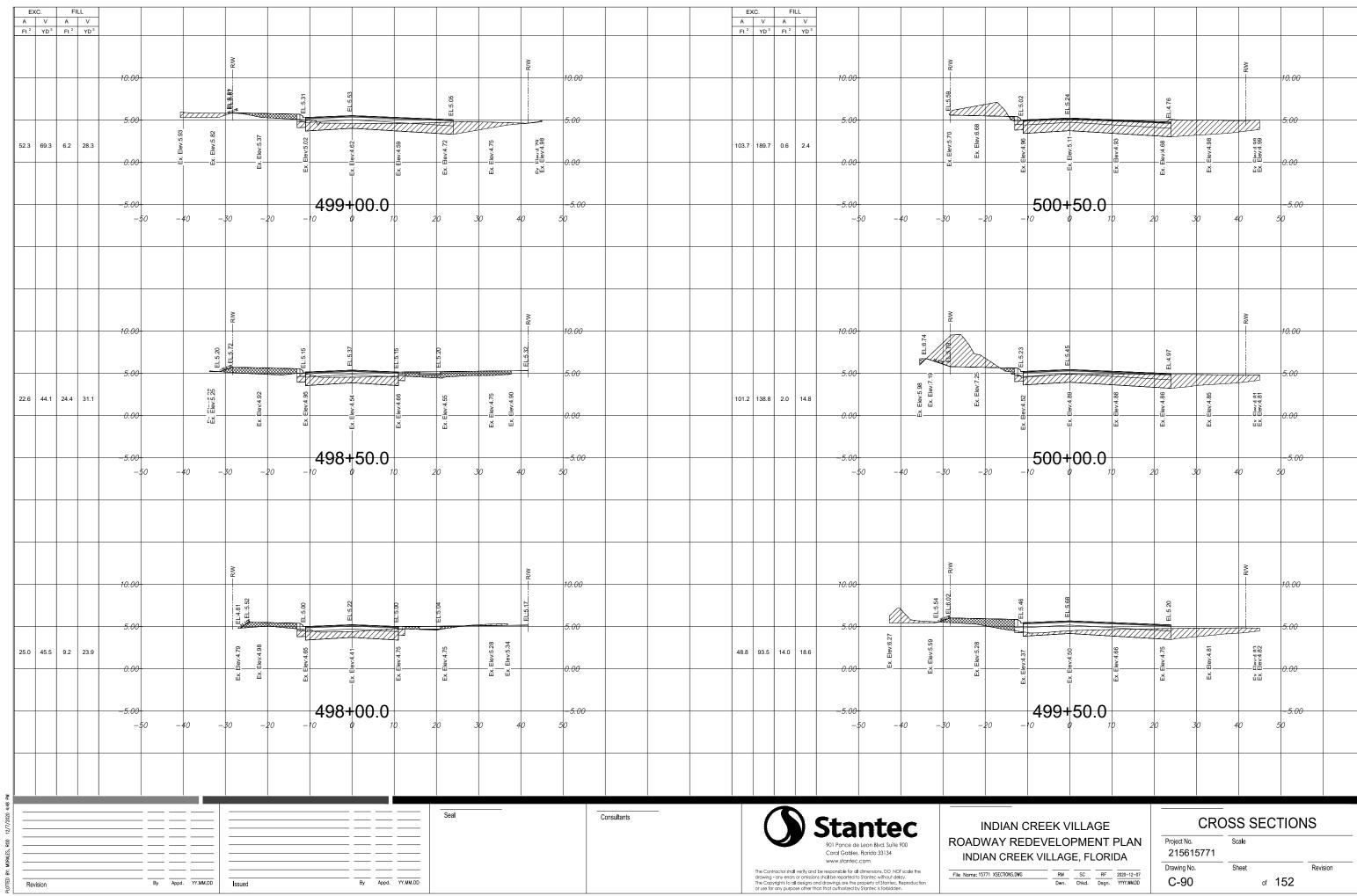


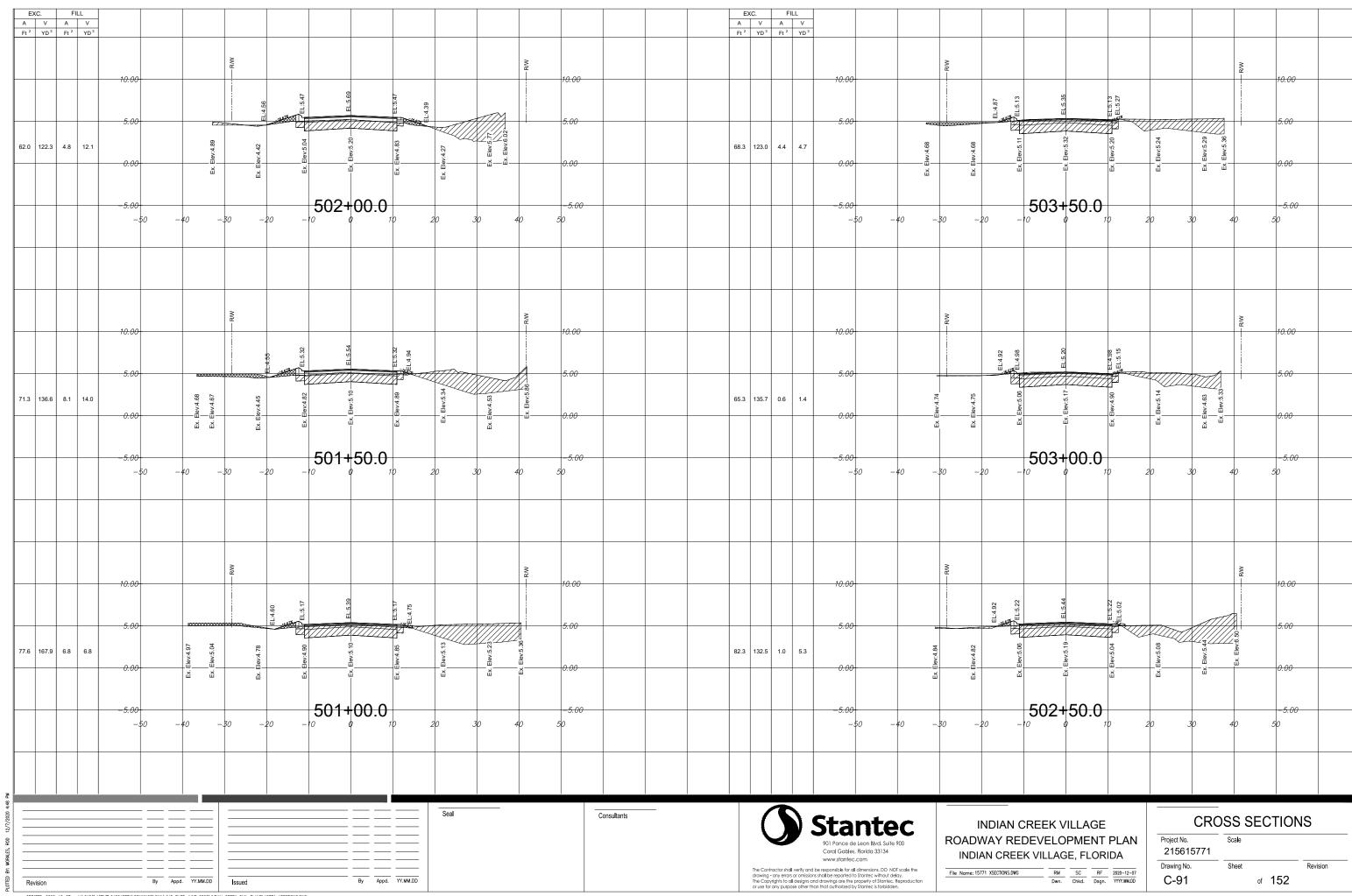


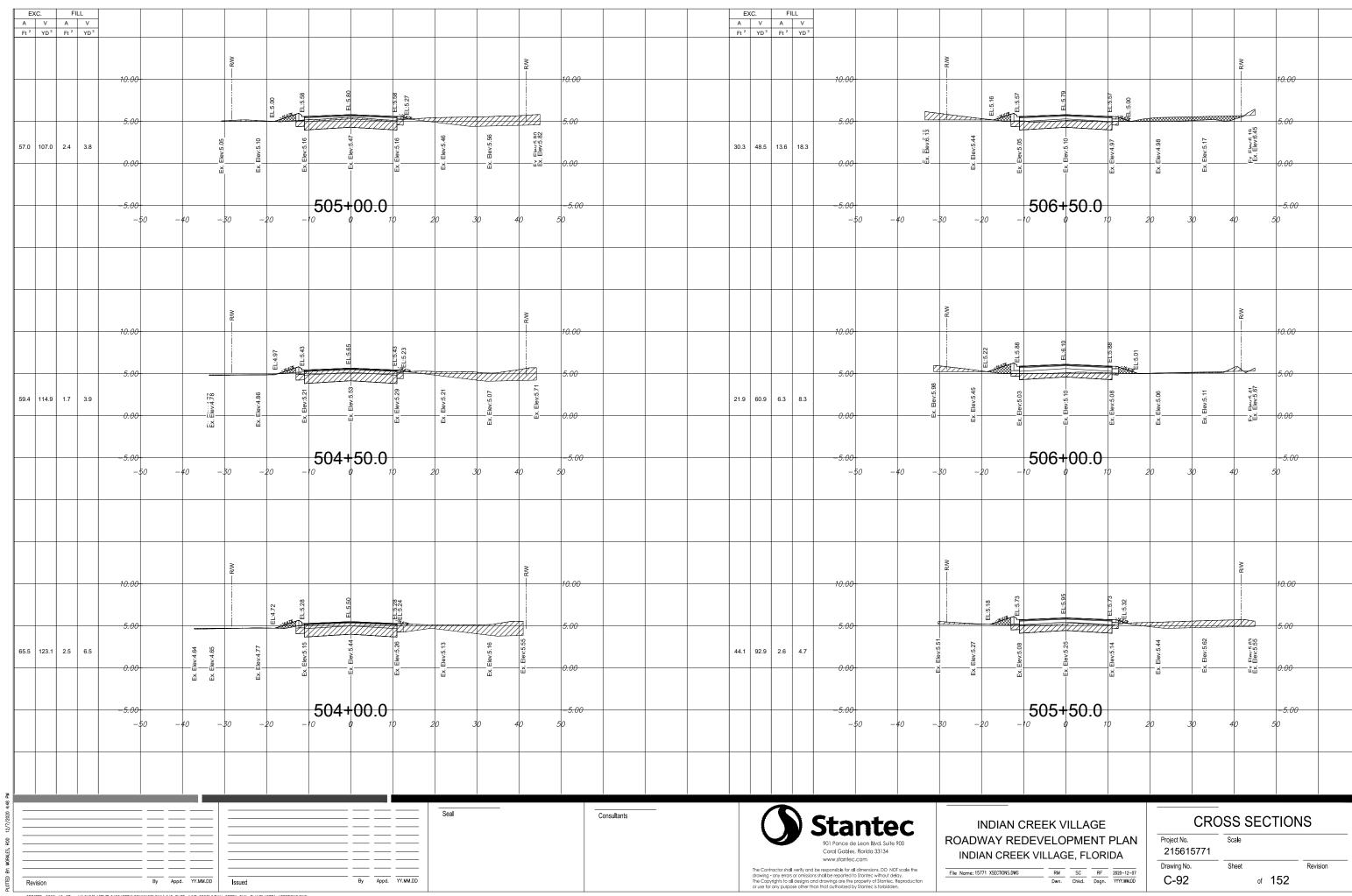


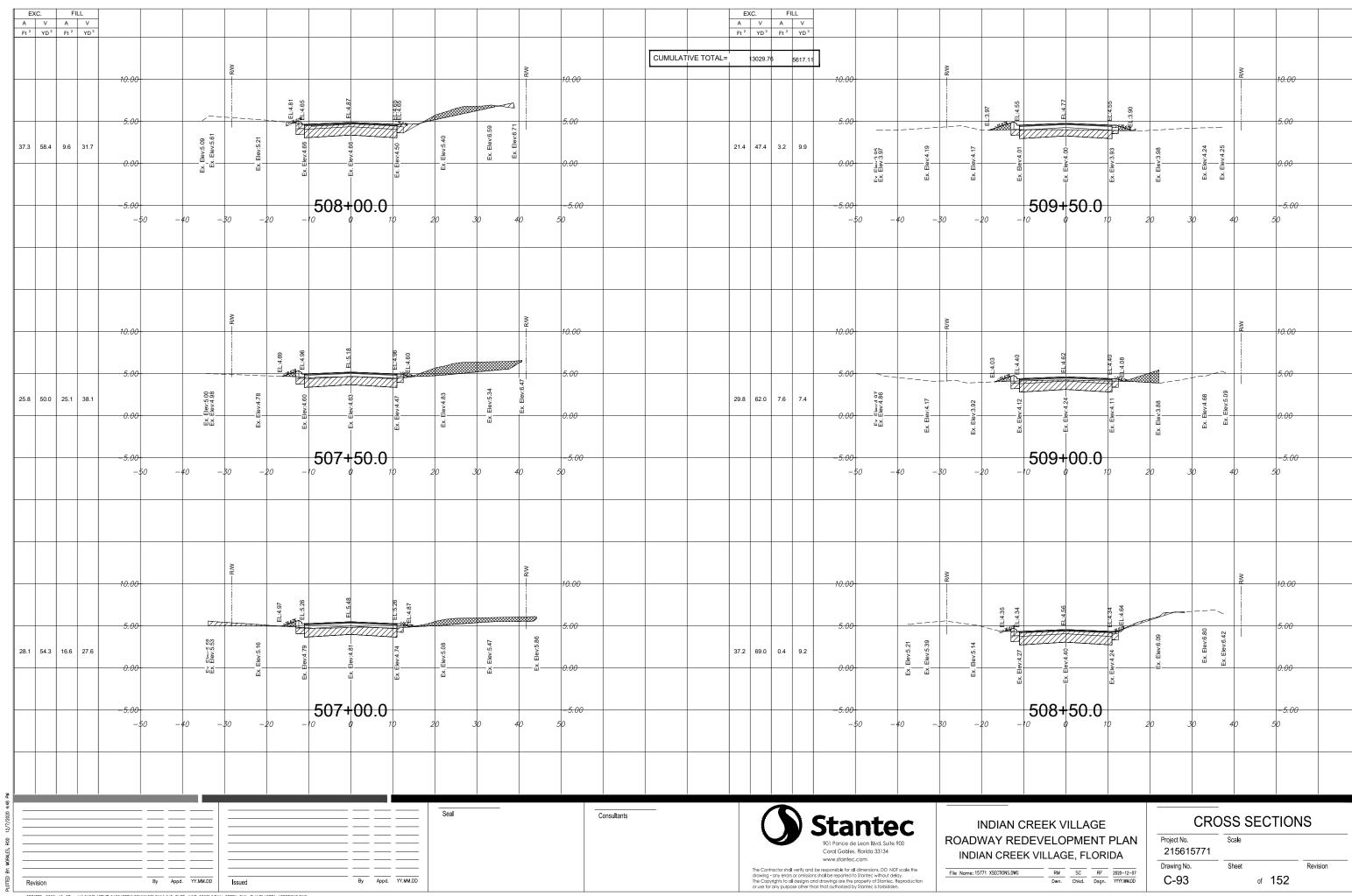


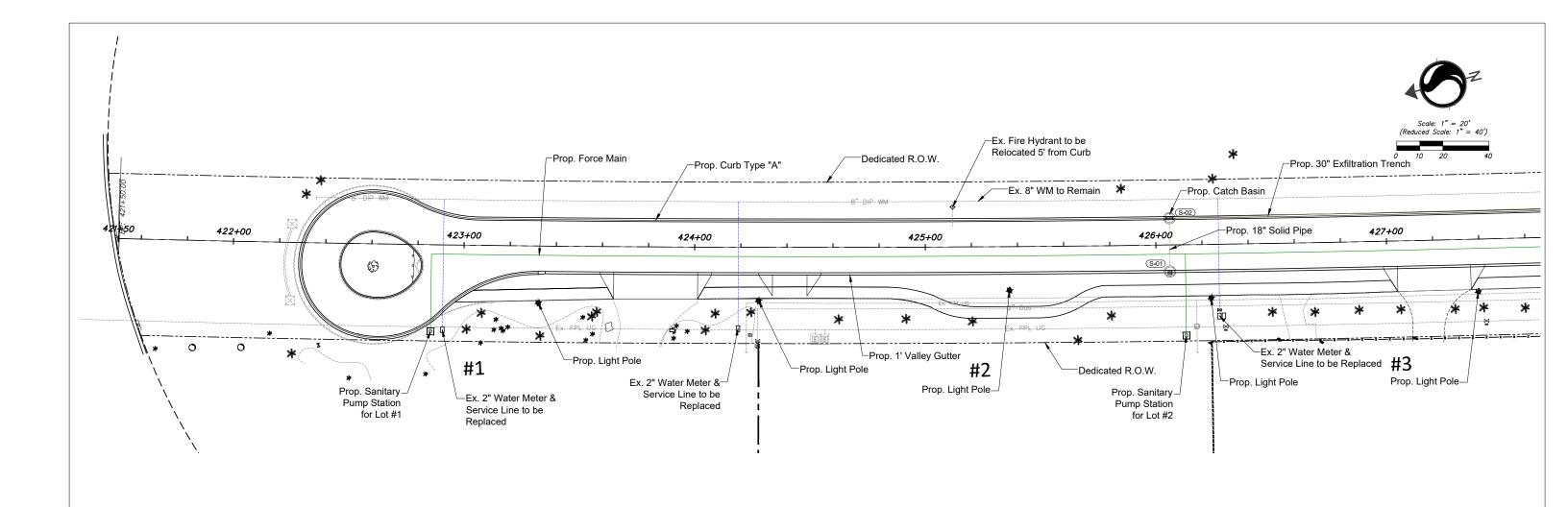


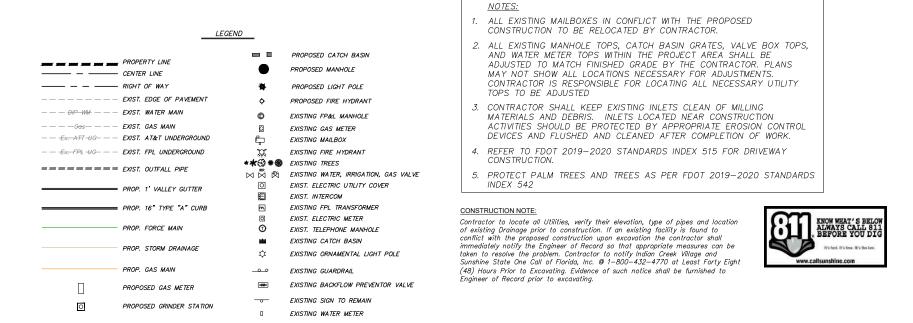












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 UTILITY PLAN

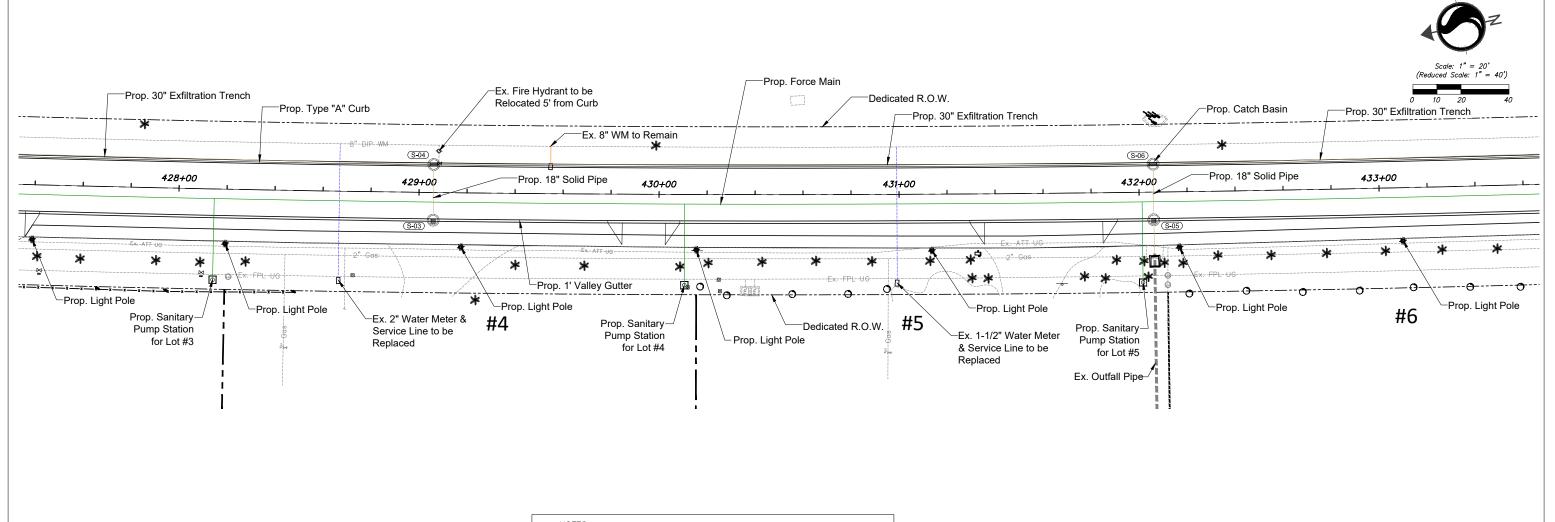
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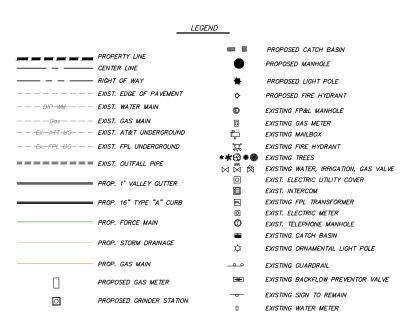
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- ALL EXISTING MAILBOXES IN CONFLICT WITH THE PROPOSED CONSTRUCTION TO BE RELOCATED BY CONTRACTOR.
- 2. ALL EXISTING MANHOLE TOPS, CATCH BASIN GRATES, VALVE BOX TOPS, AND WATER METER TOPS WITHIN THE PROJECT AREA SHALL BE ADJUSTED TO MATCH FINISHED GRADE BY THE CONTRACTOR. PLANS MAY NOT SHOW ALL LOCATIONS NECESSARY FOR ADJUSTMENTS. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL NECESSARY UTILITY TOPS TO BE ADJUSTED
- 3. CONTRACTOR SHALL KEEP EXISTING INLETS CLEAN OF MILLING MATERIALS AND DEBRIS. INLETS LOCATED NEAR CONSTRUCTION ACTIVITIES SHOULD BE PROTECTED BY APPROPRIATE EROSION CONTROL DEVICES AND FLUSHED AND CLEANED AFTER COMPLETION OF WORK.
- 4. REFER TO FDOT 2019-2020 STANDARDS INDEX 515 FOR DRIVEWAY
- 5. PROTECT PALM TREES AND TREES AS PER FDOT 2019-2020 STANDARDS INDEX 542

Contractor to locate all Utilities, verify their elevation, type of pipes and location of existing Drainage prior to construction. If an existing facility is found to conflict with the proposed construction upon excavation the contractor shall immediately notify the Engineer of Record so that appropriate measures can be taken to resolve the problem. Contractor to notify Indian Creek Village and Sunshine State One Call of Florida, Inc. @ 1-800-432-4770 at Least Forty Eight (48) Hours Prior to Excavating. Evidence of such notice shall be furnished to Engineer of Record prior to excavating.



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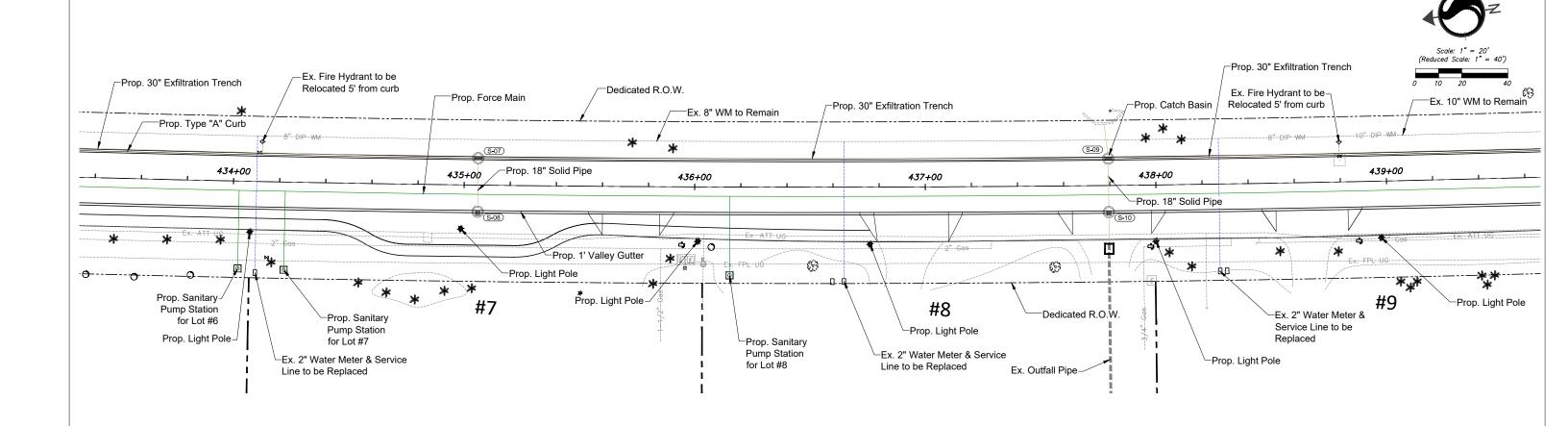
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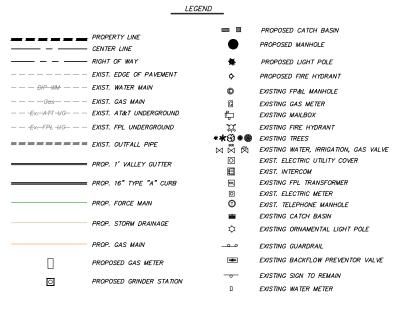
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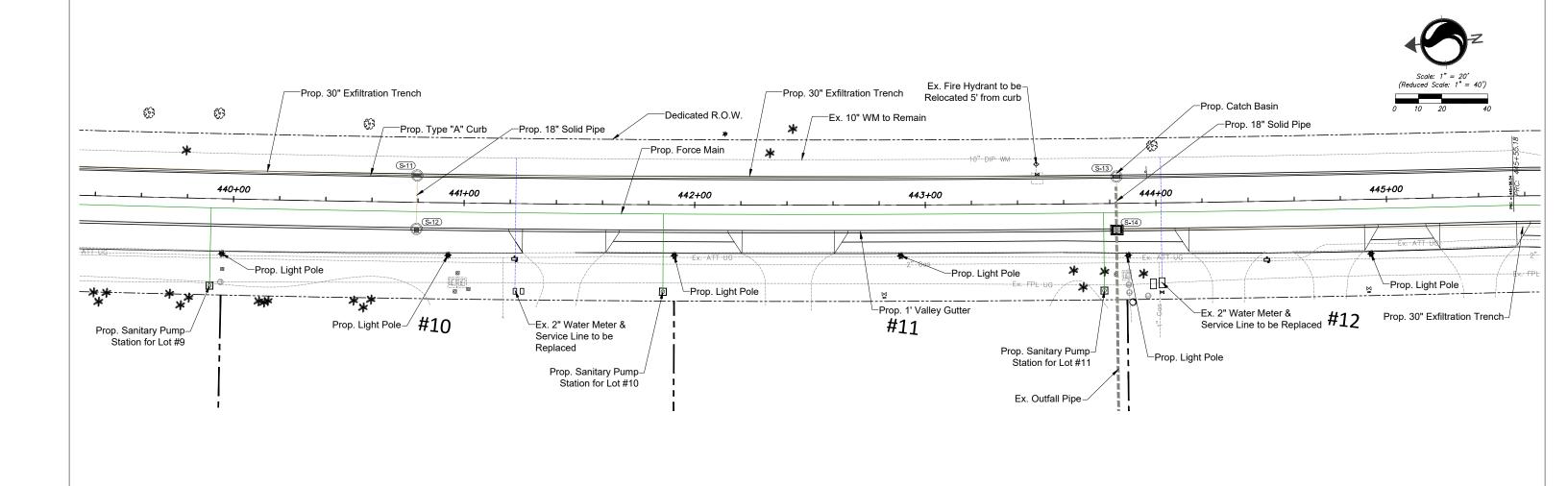
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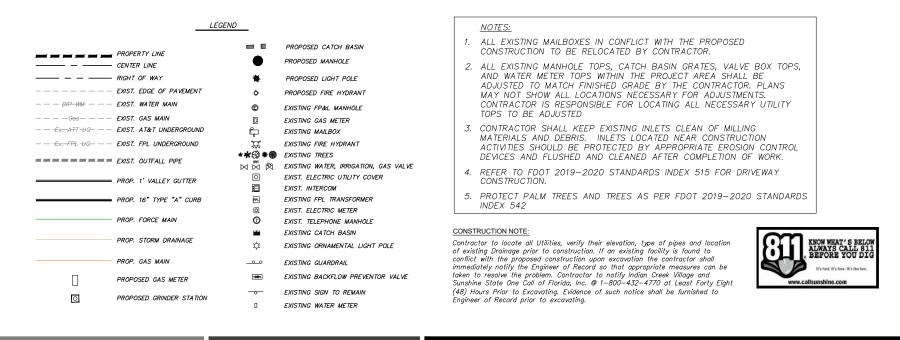
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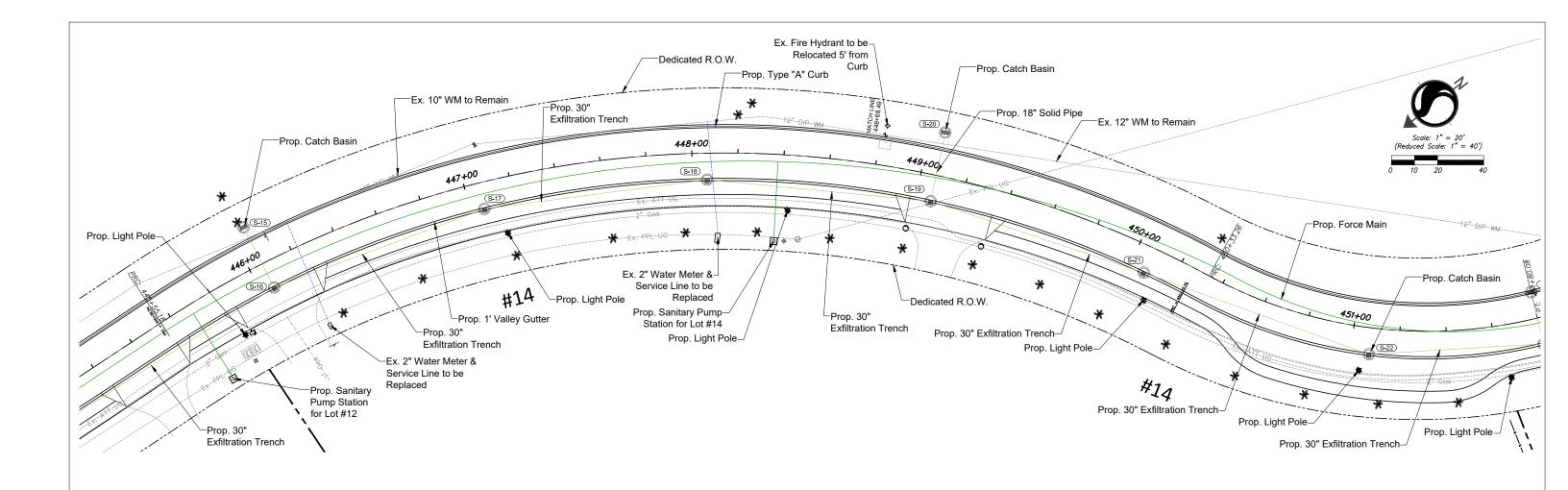
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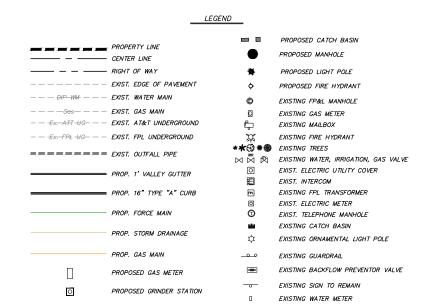
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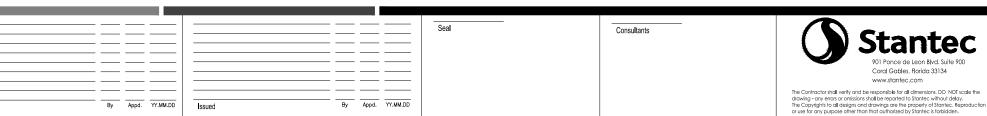
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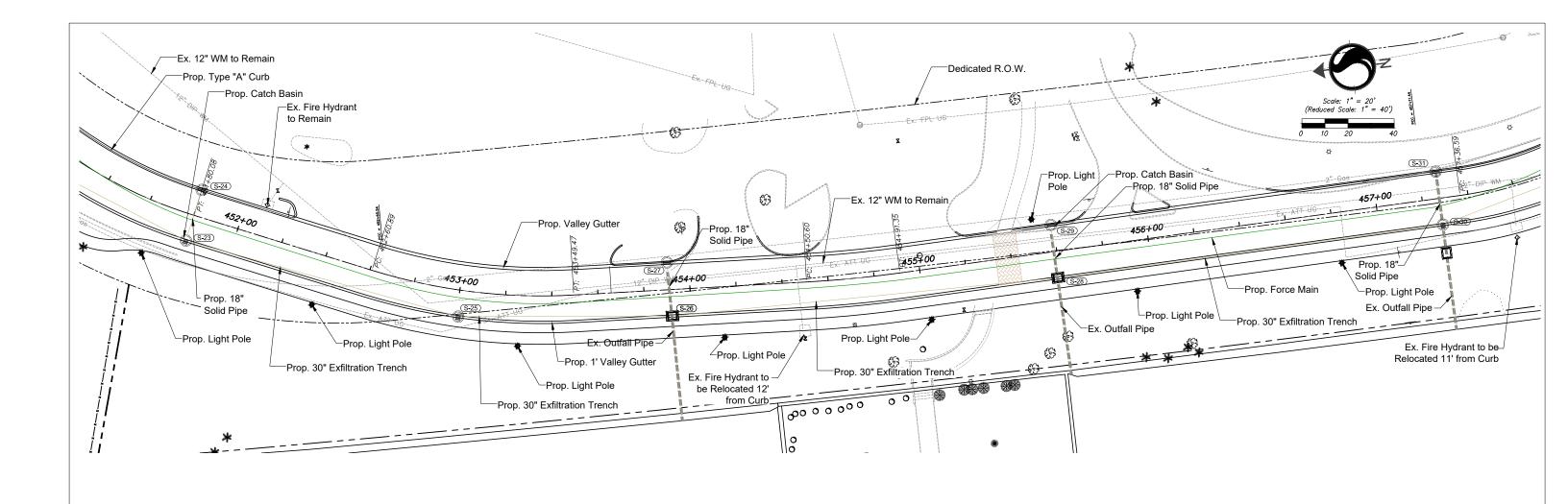


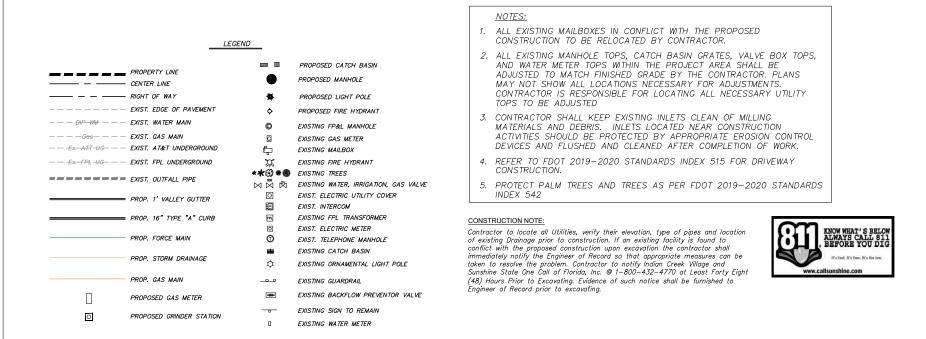
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INDIAN CREEK VILLAGE

ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FLORIDA

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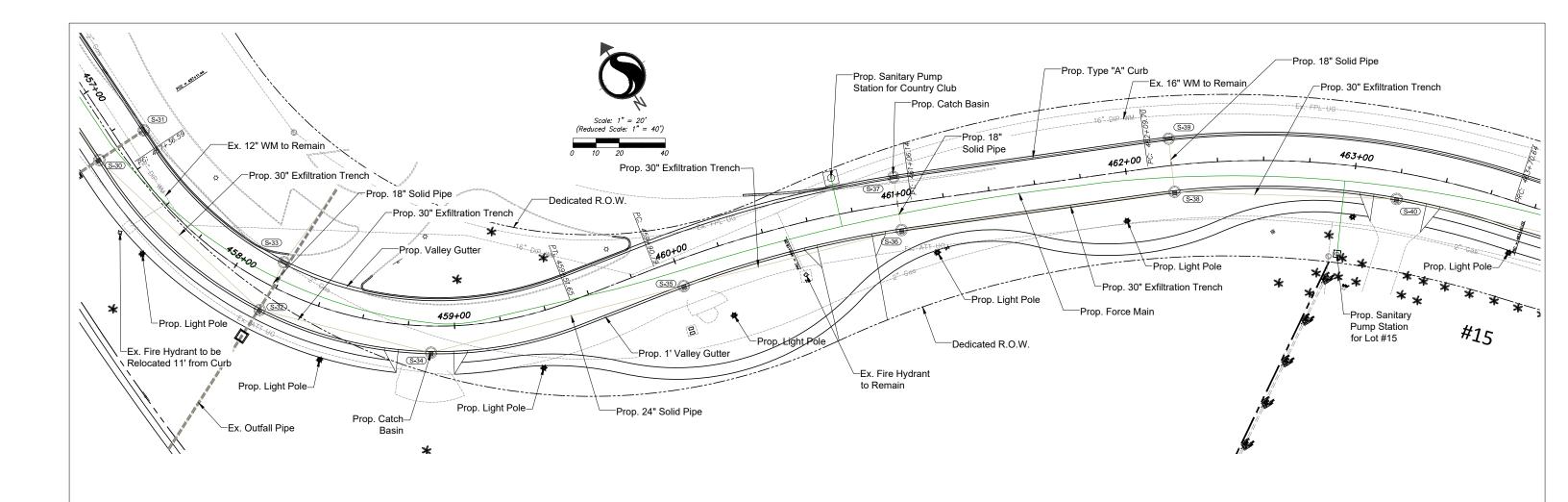
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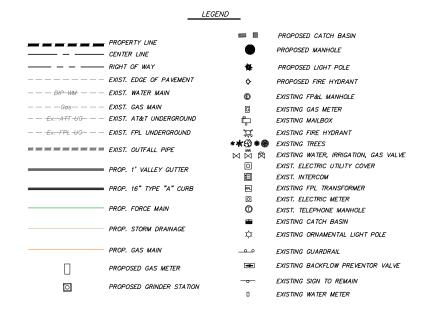
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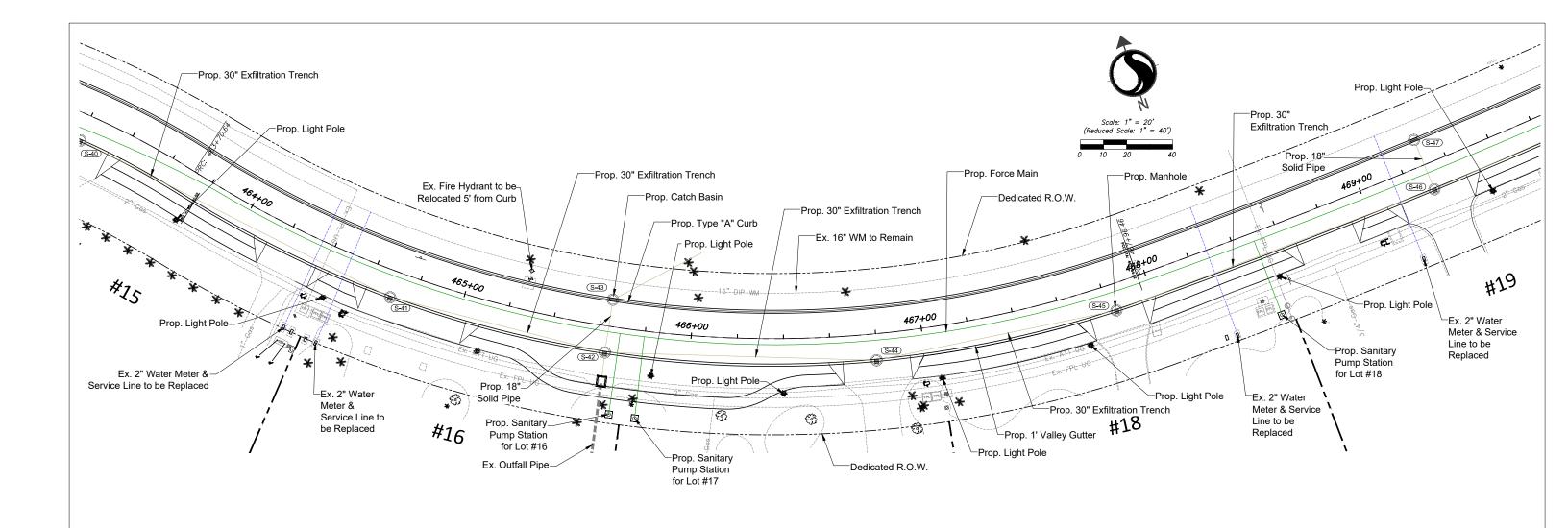
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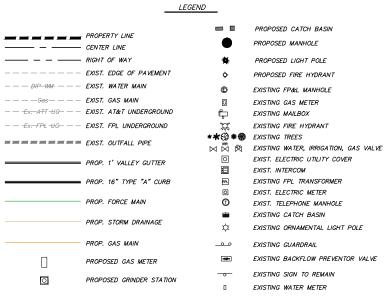
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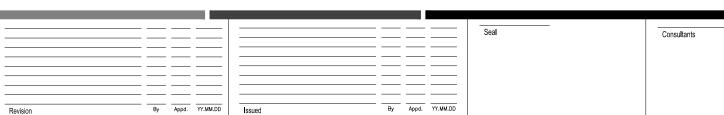




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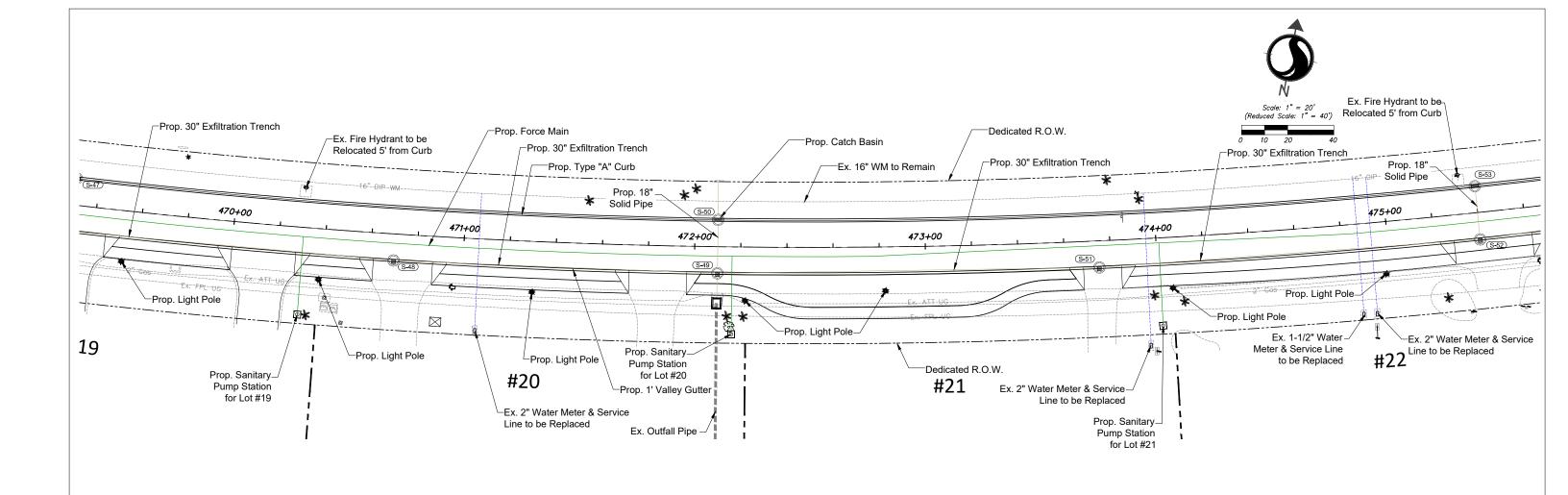


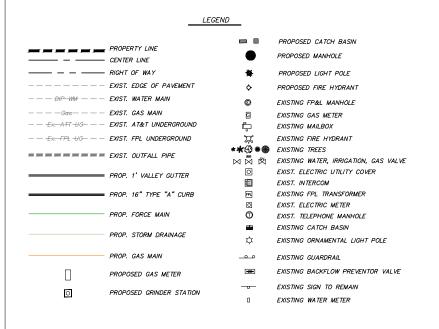


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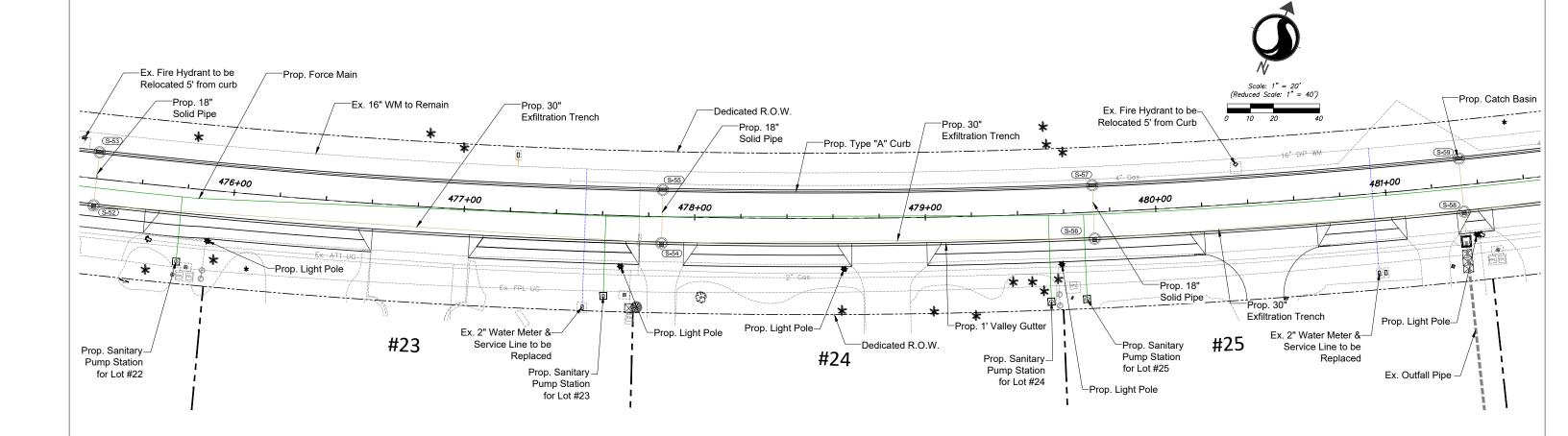
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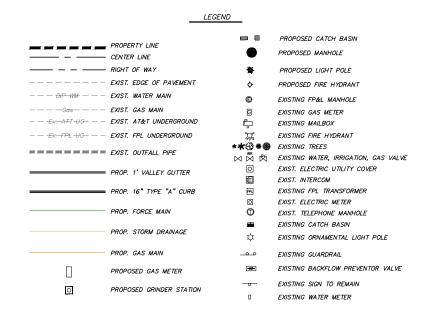
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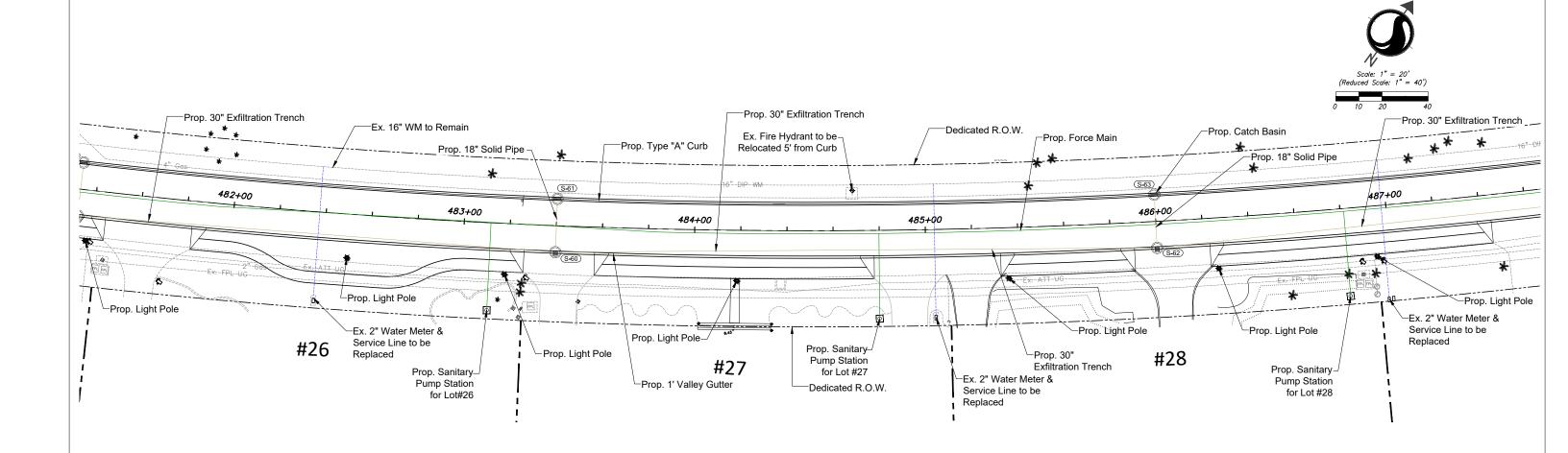
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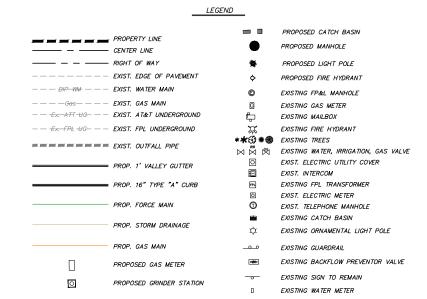
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

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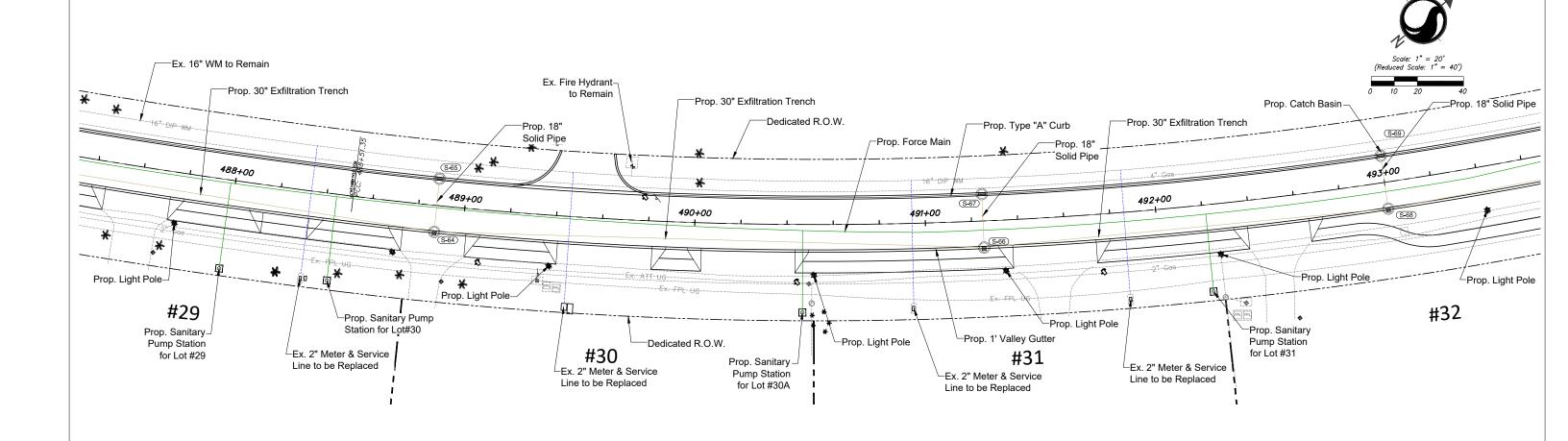
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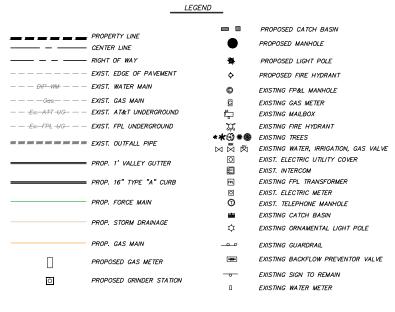
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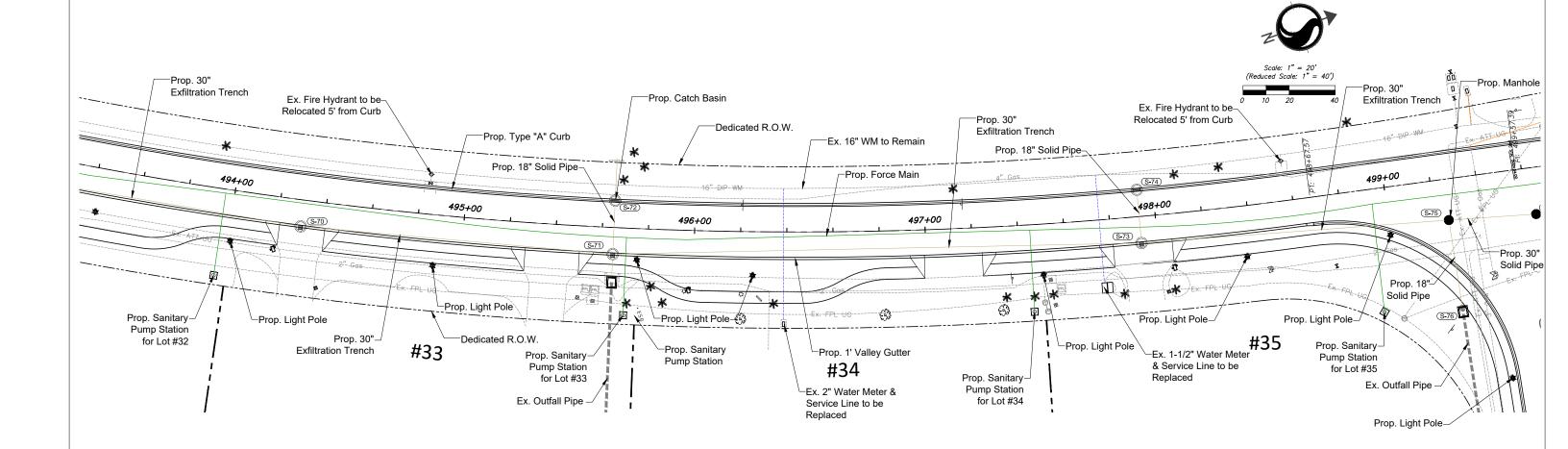
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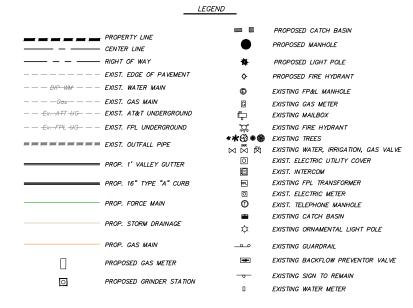
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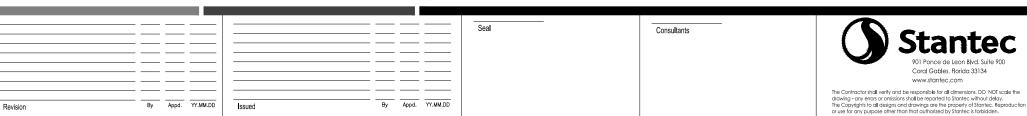
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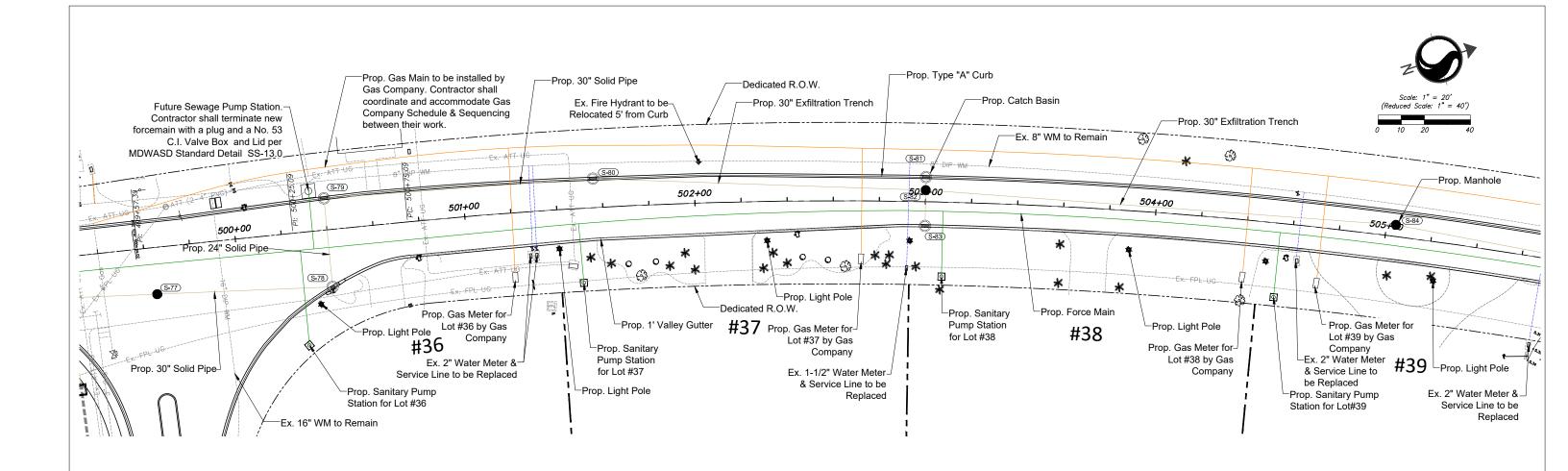
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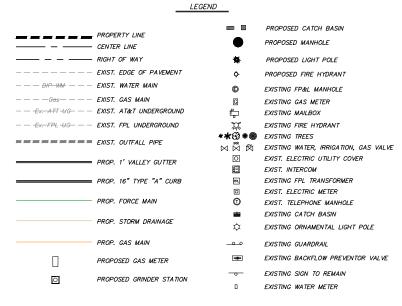




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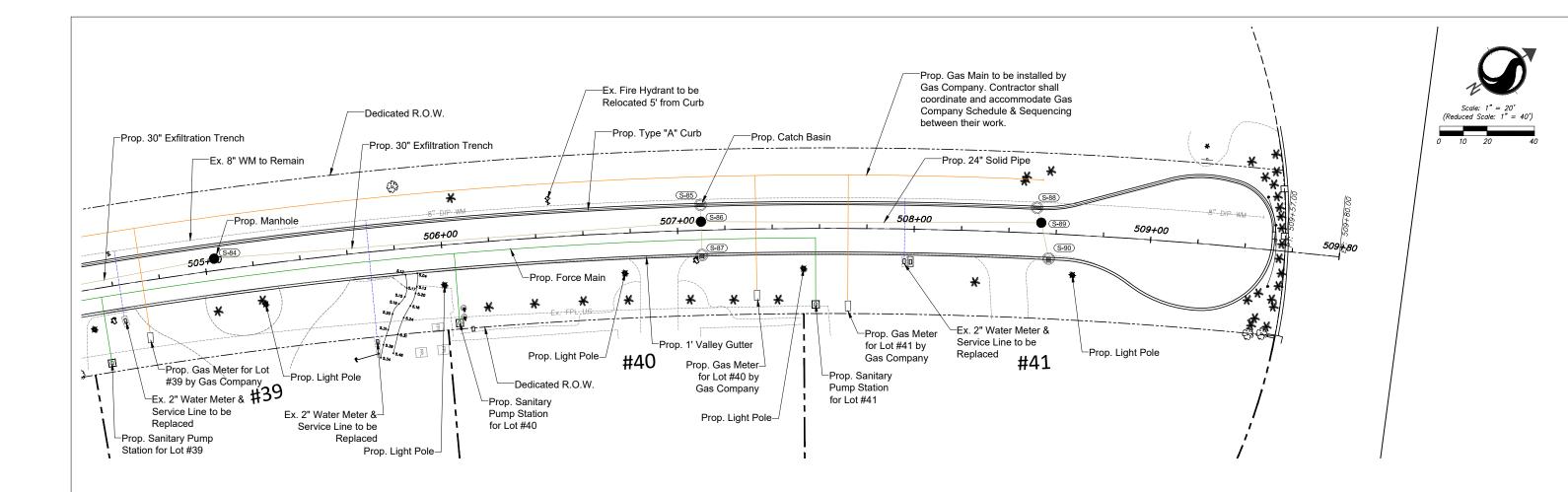
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**UTILITY PLAN** Project No. Scale 215615771 Drawing No. Sheet Revision C-107 of 152

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Contractor to locate all Utilities, verify their elevation, type of pipes and location of existing Drainage prior to construction. If an existing facility is found to conflict with the proposed construction upon excavation the contractor shall immediately notify the Engineer of Record so that appropriate measures can be taken to resolve the problem. Contractor to notify Indian Creek Village and Sunshine State One Call of Florida, Inc. @ 1–800–432–4770 at Least Forty Eight (48) Hours Prior to Excavating. Evidence of such notice shall be furnished to





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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771\_UTILITY PLAN.DWG 
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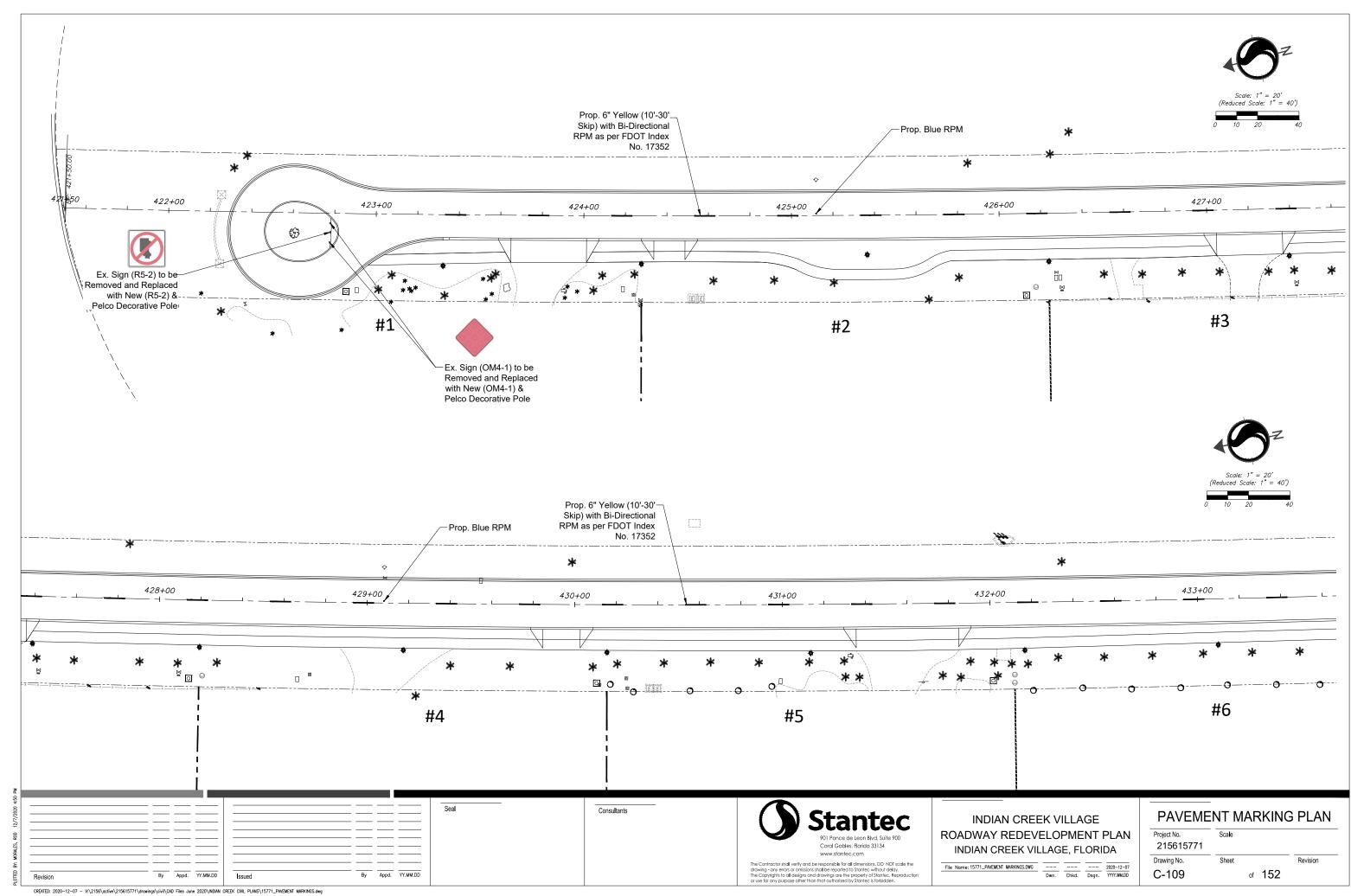
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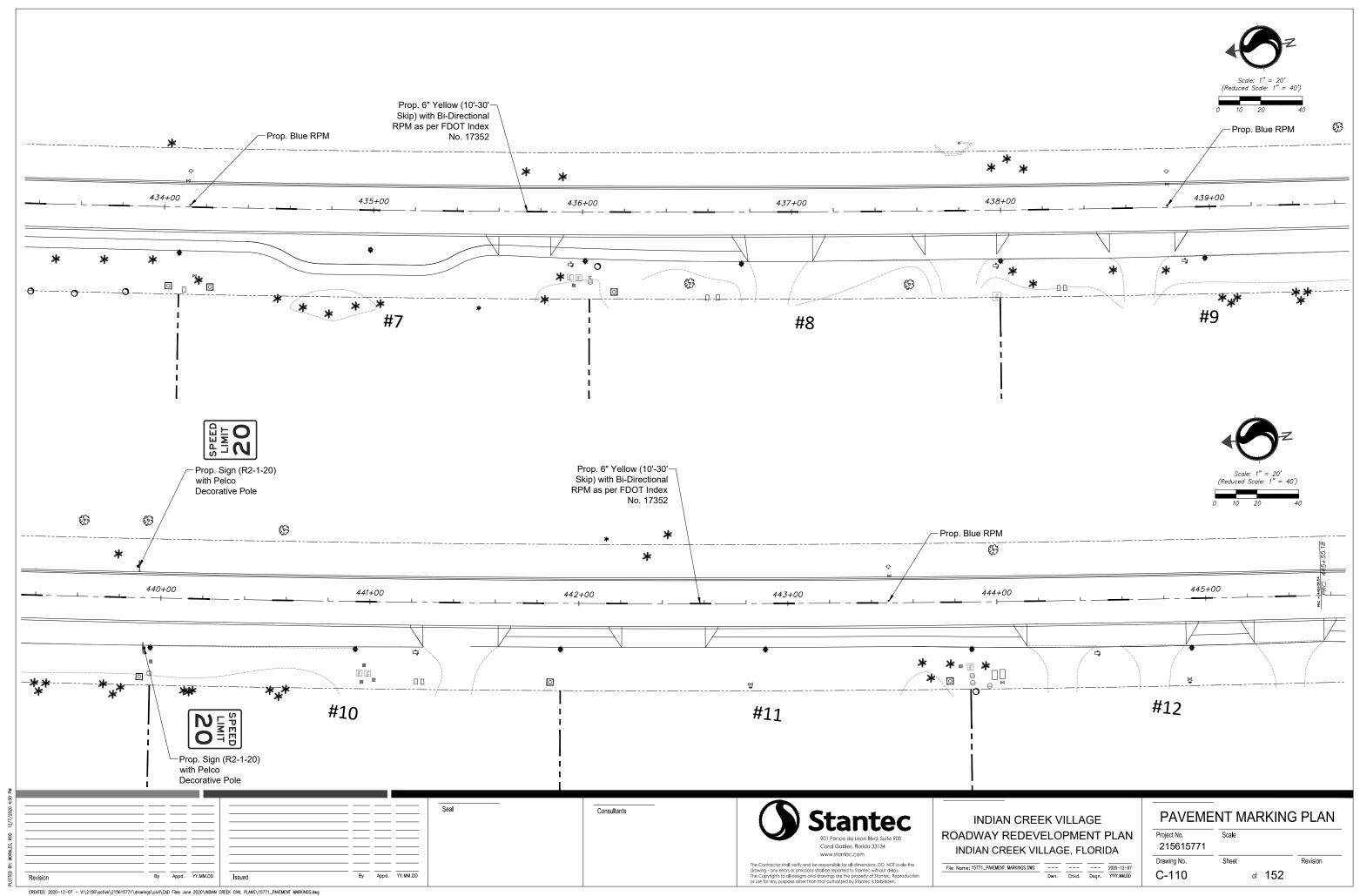
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I	Project No. 215615771	Scale		
:	Drawing No.	Sheet	Revision	
	C-108	of 152		

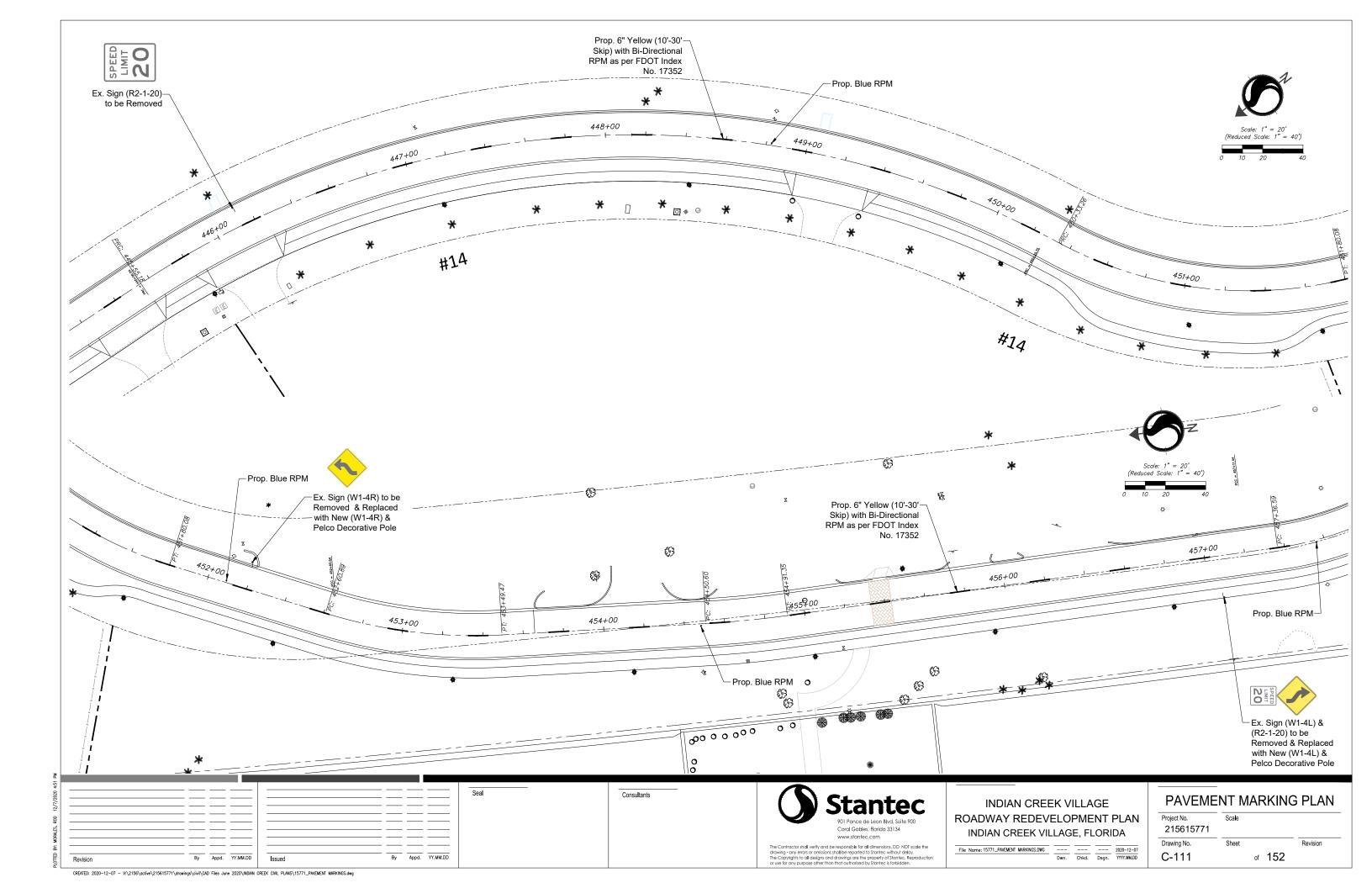
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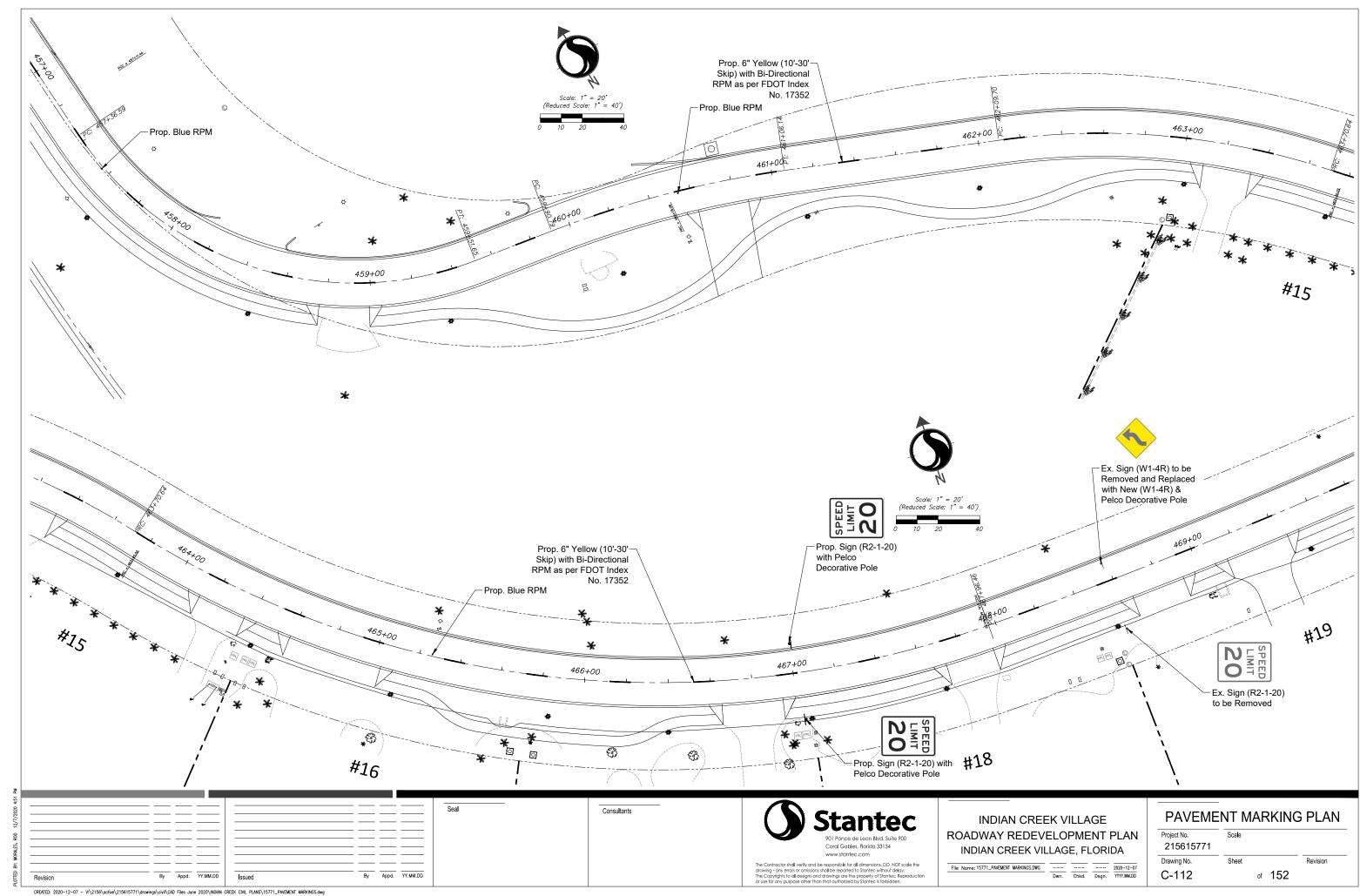
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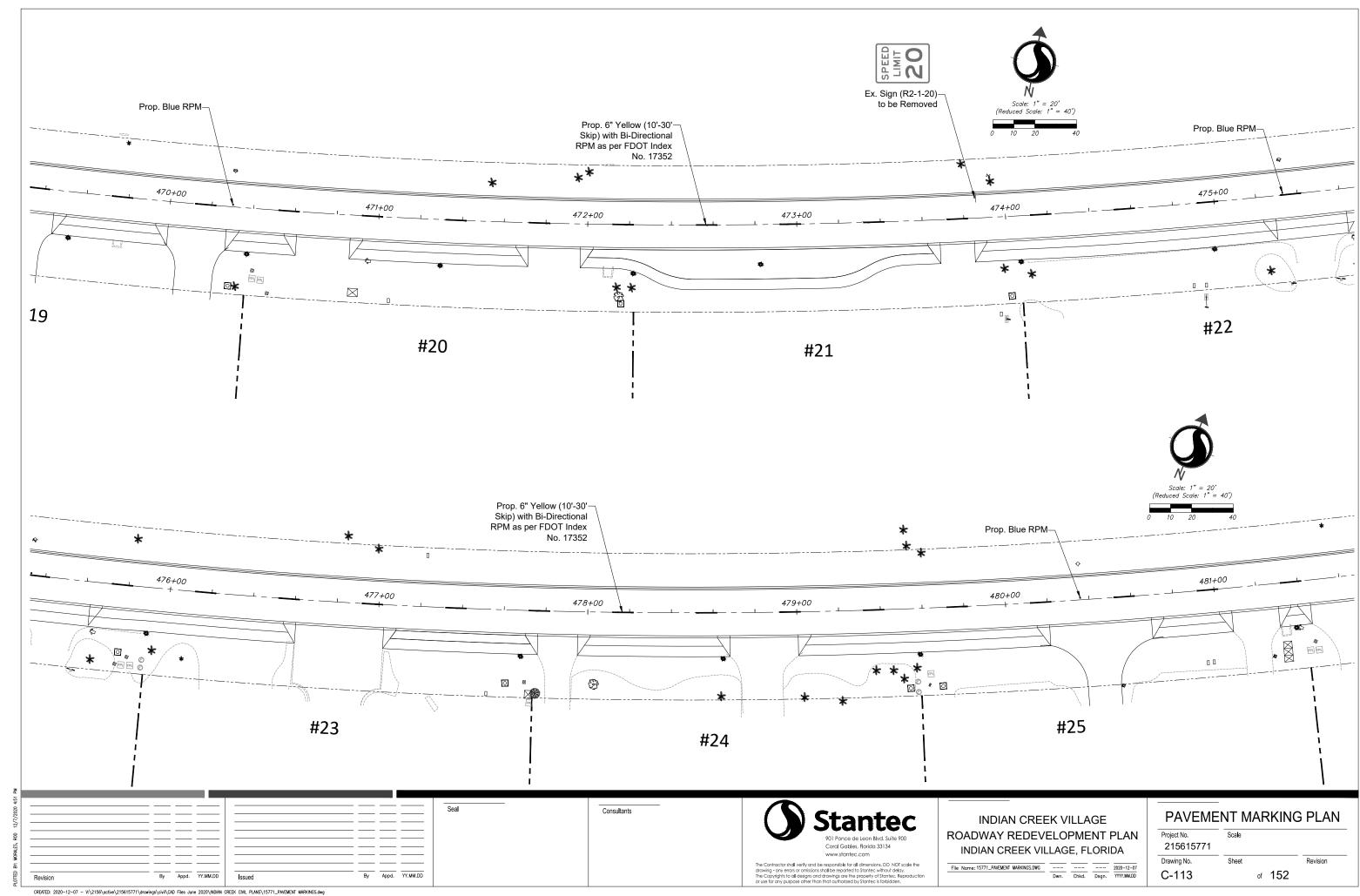
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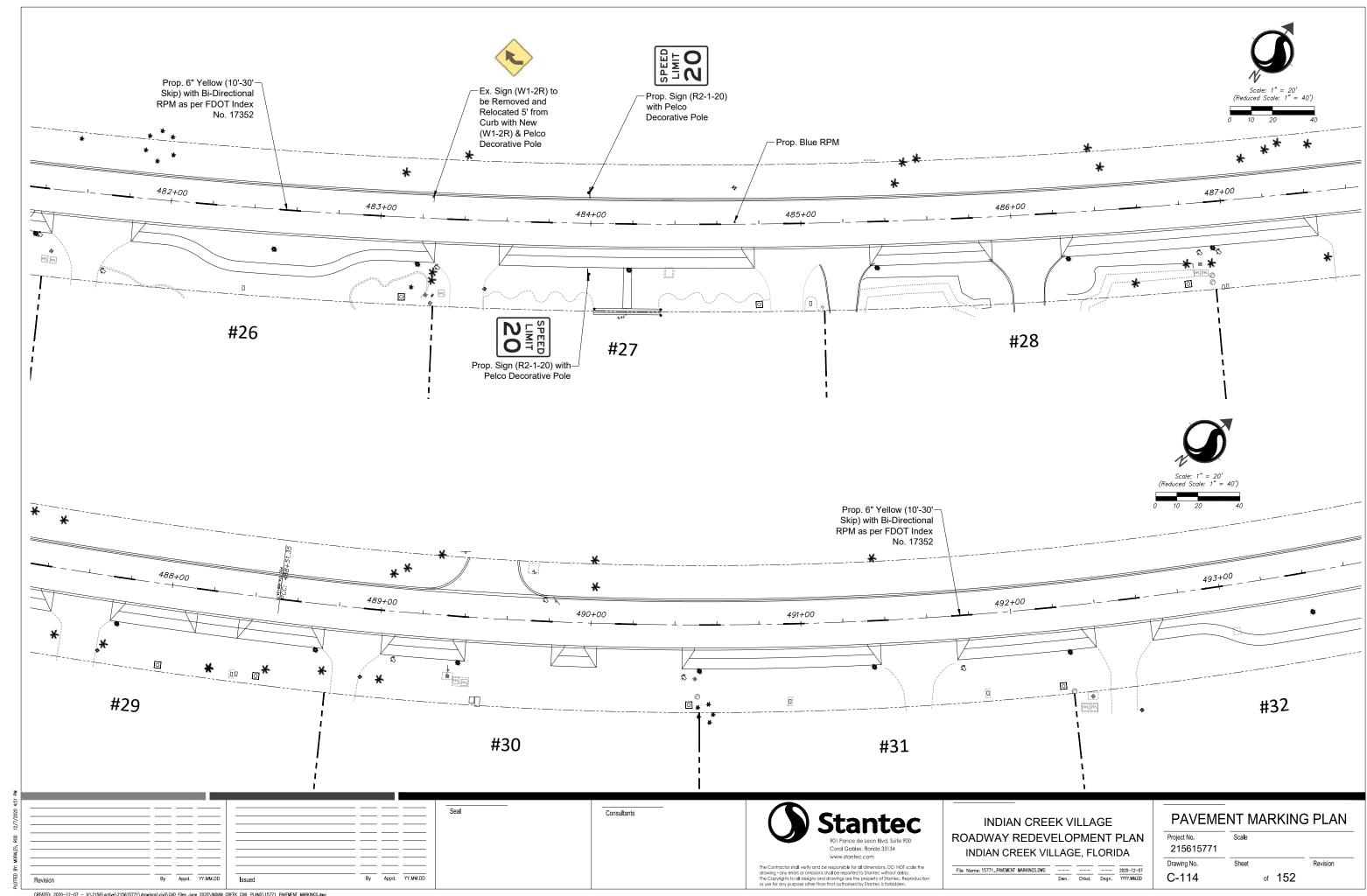


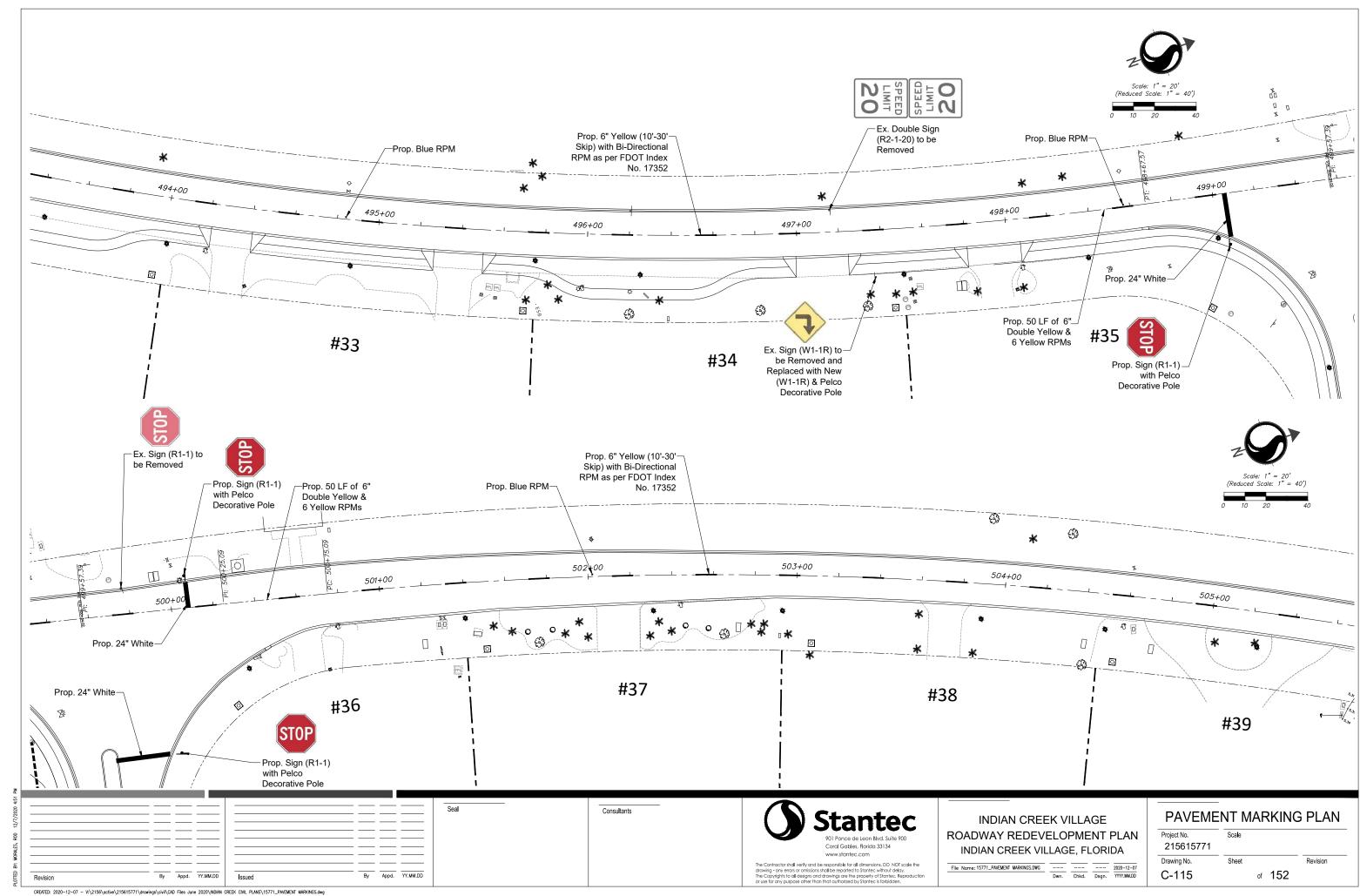


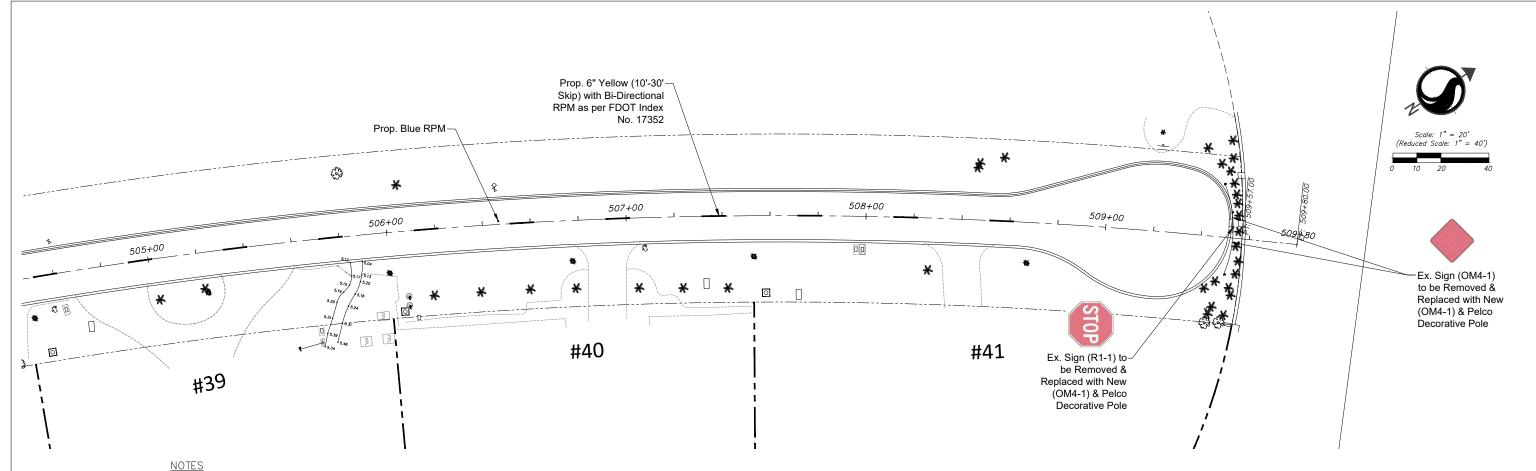












- 1. ALL SIGNING AND PAVEMENT MARKINGS SHALL CONFORM WITH THE CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AND THE FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS AND JANUARY 2020 STANDARD SPECIFICATION eBOOK.
- 2. ALL EXISTING SIGNS ARE TO BE REMOVED UNLESS OTHERWISE SPECIFIED. BEFORE STARTING THE PROJECT, THE CONTRACTOR WILL REVIEW EXISTING SIGNS SHOWN ON THE PLANS TO BE RELOCATED OR TO REMAIN. THE CONTRACTOR WILL NOTIFY IN WRITING TO THE PROJECT ENGINEER OF ANY MISSING SIGNS BEFORE CONSTRUCTION STARTS. SIGNS DAMAGED BY THE CONTRACTOR'S OPERATIONS WILL BE REPLACED AT NO COST TO THE DEPARTMENT. IF EXISTING SIGNS TO BE RELOCATED HAVE A DAMAGED POLE OR A POLE NOT MEETING HEIGHT SPECIFICATION REQUIREMENTS, THE COST OF A NEW POLE WILL BE INCLUDED IN THE RELOCATION BID ITEM.
- 3. ALL PAVEMENT MARKINGS, MESSAGES, AND ARROWS SHALL BE THERMOPLASTIC UNLESS OTHERWISE NOTED
- 4. REFLECTIVE PAVEMENT MARKERS ARE TO BE PLACED ALONG THE ENTIRE LENGTH OF THE PROJECT.
- 5. MATCH EXISTING PAVEMENT MARKINGS AT THE BEGINNING AND AT THE END OF THE PROJECT AND AT ALL SIDE STREETS WITHOUT JOGS OR OFFSETS.
- 6. THE CONTRACTOR SHALL REMOVE EXISTING MARKINGS BY FDOT APPROVED. METHOD WITHOUT DAMAGE TO THE FRICTION COURSE.
- 7. SIGN ASSEMBLY LOCATIONS SHOWN ON PLANS WHICH ARE IN CONFLICT WITH LIGHTING, UTILITIES, DRIVEWAYS, WHEELCHAIR RAMPS, ETC. MAY BE ADJUSTED SLIGHTLY AS DIRECTED BY THE ENGINEER. EXTREME LOCATION CHANGES MUST BE APPROVED BY MIAMI-DADE SIGNALS AND SIGNS DIVISION.

- 8. ALL SIGNS TO BE INSTALLED ON A 2-INCH PELCO POLE, POWDER COAT BLACK GLOSS FINISH (PB-5208) WITH POST CAP (SH-1808) OR EQUAL.
- THE CONTRACTOR SHALL RELOCATE ALL EXISTING POST—MOUNTED STREET NAME AND STOP SIGNS TO A VISIBLE AREA UNDISTURBED BY THE CONSTRUCTION SO AS TO MINIMIZE DAMAGE TO THE SIGNS. NEW STREET NAME SIGNS WILL BE ATTACHED AT THE TOP OF THE NEW STOP SIGNS ON MINOR SIDE STREETS AT THE END OF CONSTRUCTION.
- 10. EXTRUDED ALUMINUM SIGN SUPPORT CLAMPS ARE NOT ACCEPTABLE. ALL RELOCATED SIGNS MUST COMPLY WITH THE LATEST FDOT DESIGN STANDARDS AS IF THEY WERE NEW SIGNS. IF EXISTING CLAMPS, BRACKETS, POLES, ETC. NEED TO BE REPLACED THE COST SHALL BE INCLUDED IN THE RELOCATION
- 11. ANY SIGNING MATERIALS, INCLUDING SUPPORTS, TO BE REMOVED AS NOTED ON PLAN SHEETS, SHALL BE DELIVERED BY THE CONTRACTOR IN EXISTING CONDITION, IN CARE OF THE STOREKEEPER AT THE MIAMI-DADE COUNTY MAINTENANCE YARD, 7100 NW 36 STREET, MIAMI, FL 33166.

Consultants

12 REFLECTIVE PAVEMENT MARKERS AS PER EDOT STANDARD INDEX NO 706-001(INCLUDING BLUE RPMS FOR FIRE HYDRANTS).

Seal

By Appd. YY.MM.DD



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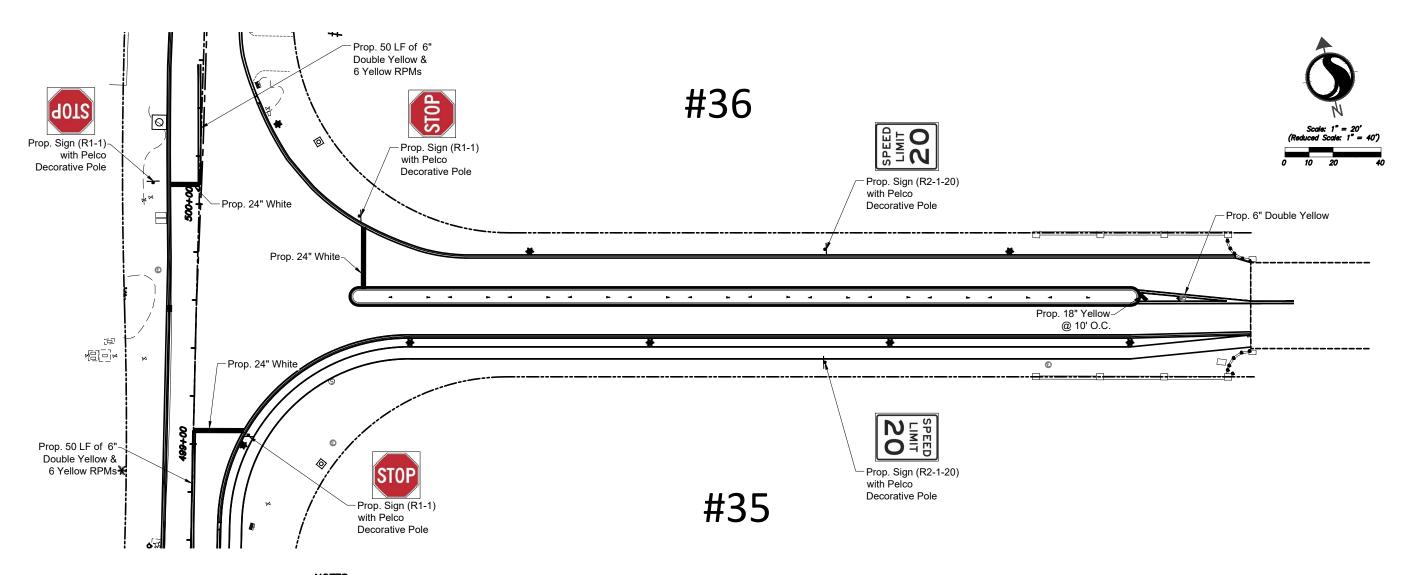
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

 File Name: 15771\_PAVEMENT MARKINGS.DWG
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PAVEMENT MARKING PLAN Project No. Scale 215615771 Drawing No. Sheet C-116 of 152

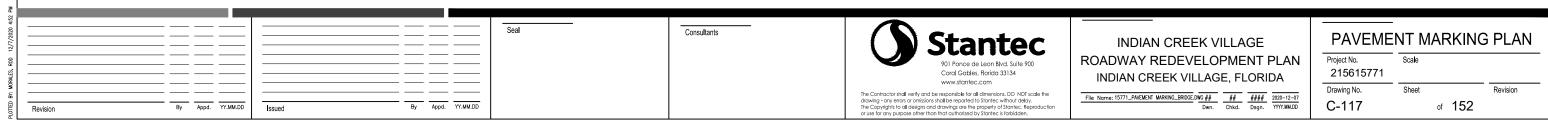
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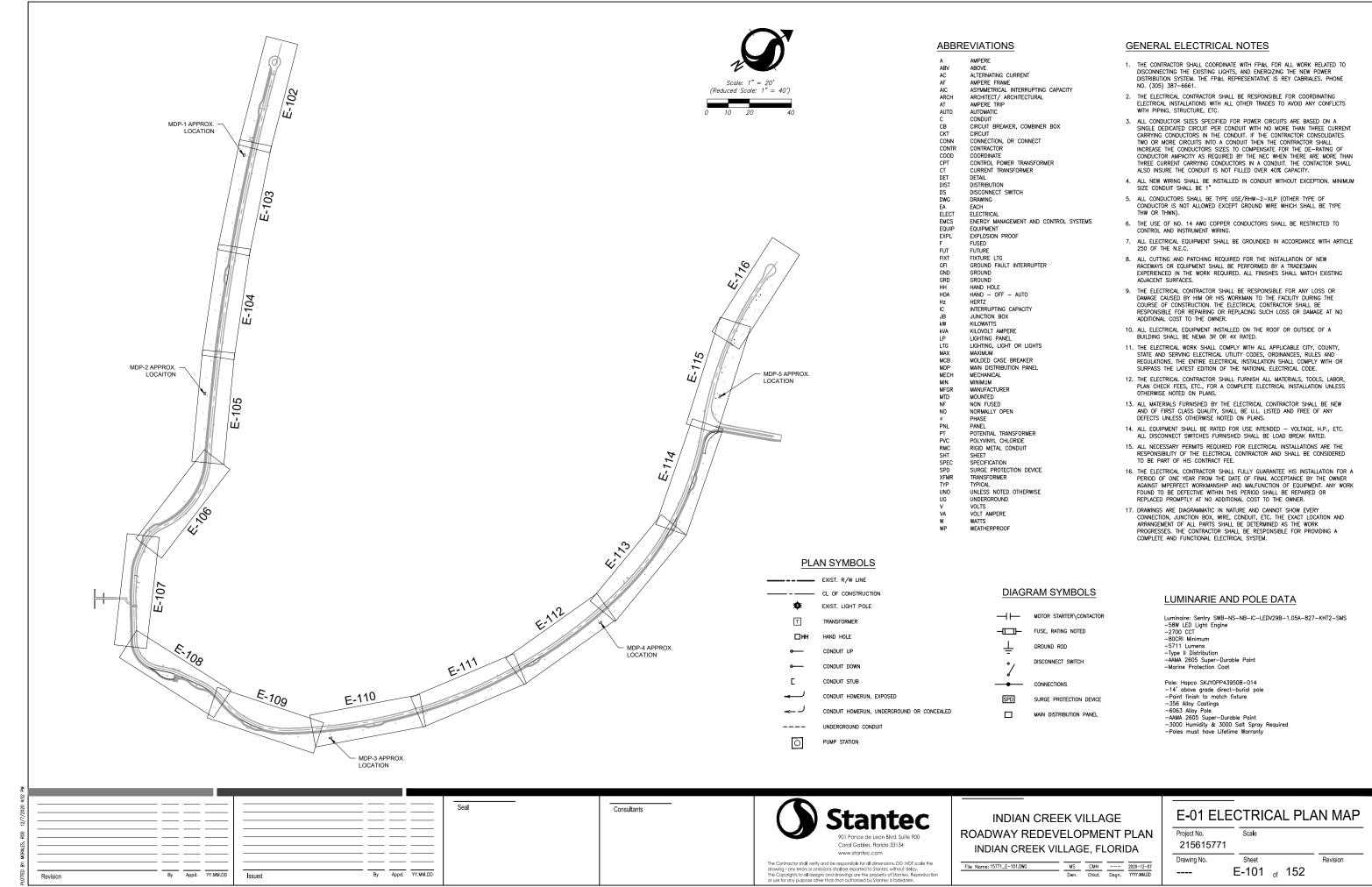


# <u>NOTES</u>

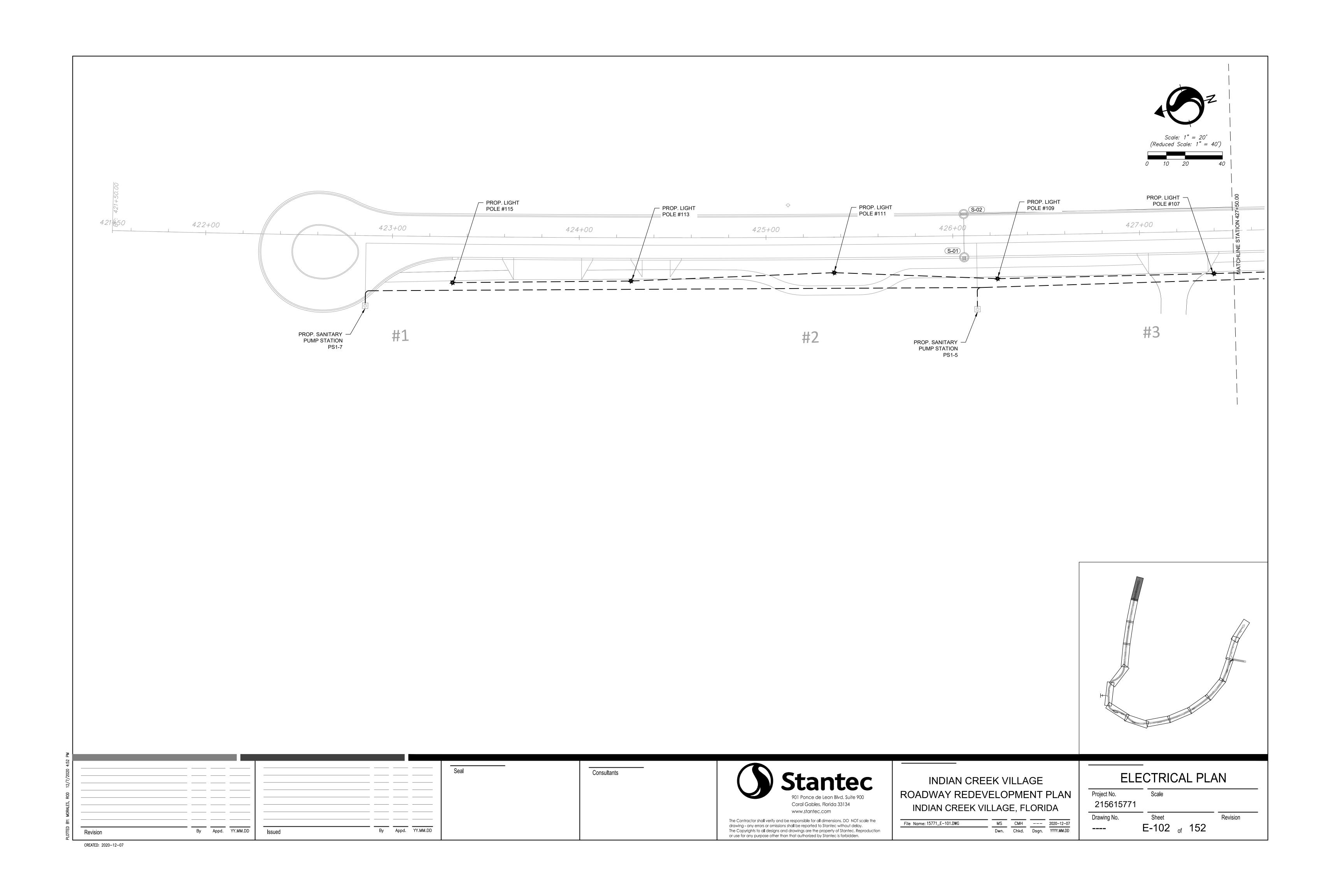
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- 6. THE CONTRACTOR SHALL REMOVE EXISTING MARKINGS BY FDOT APPROVED METHOD WITHOUT DAMAGE TO THE FRICTION COURSE.
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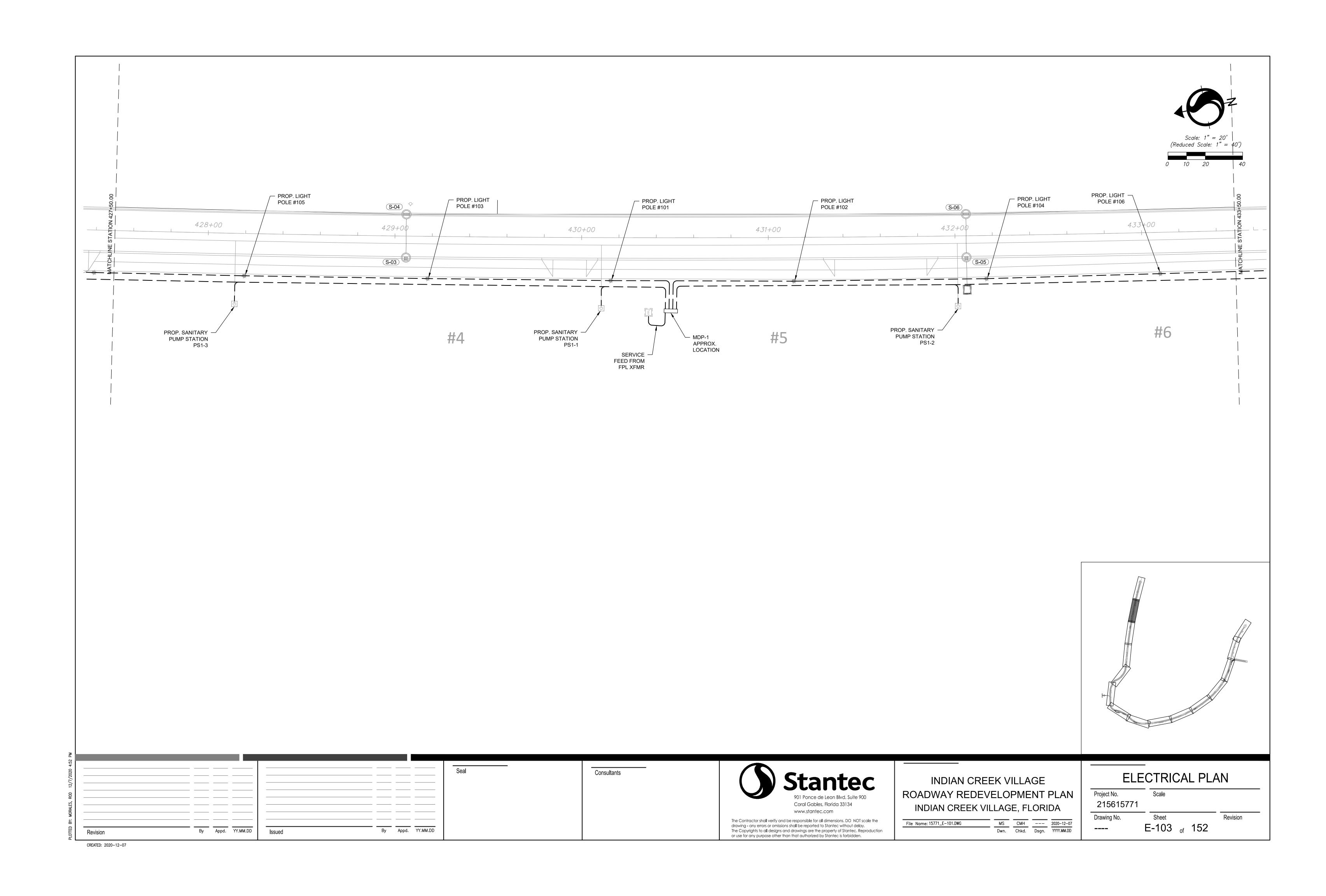
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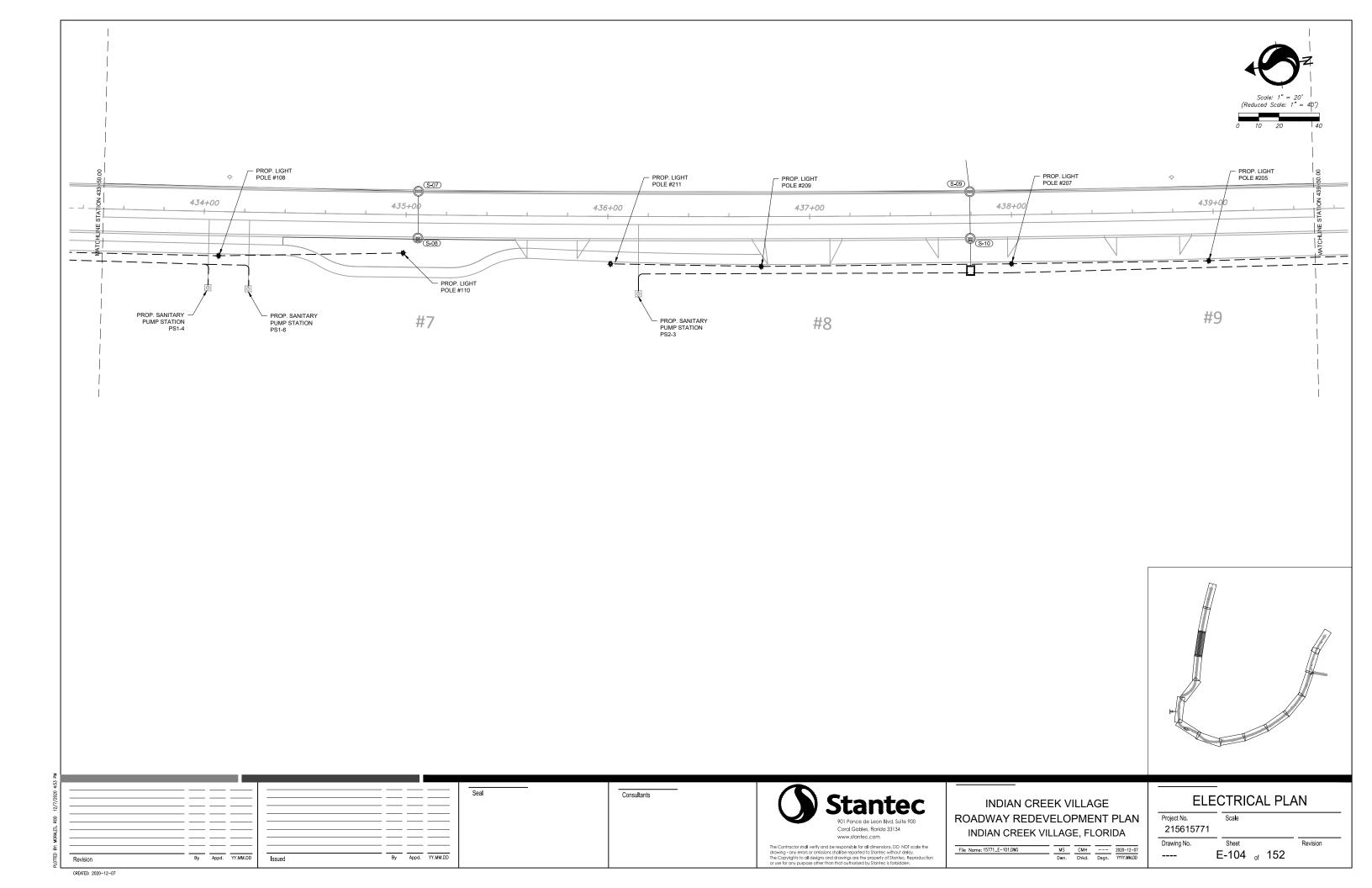


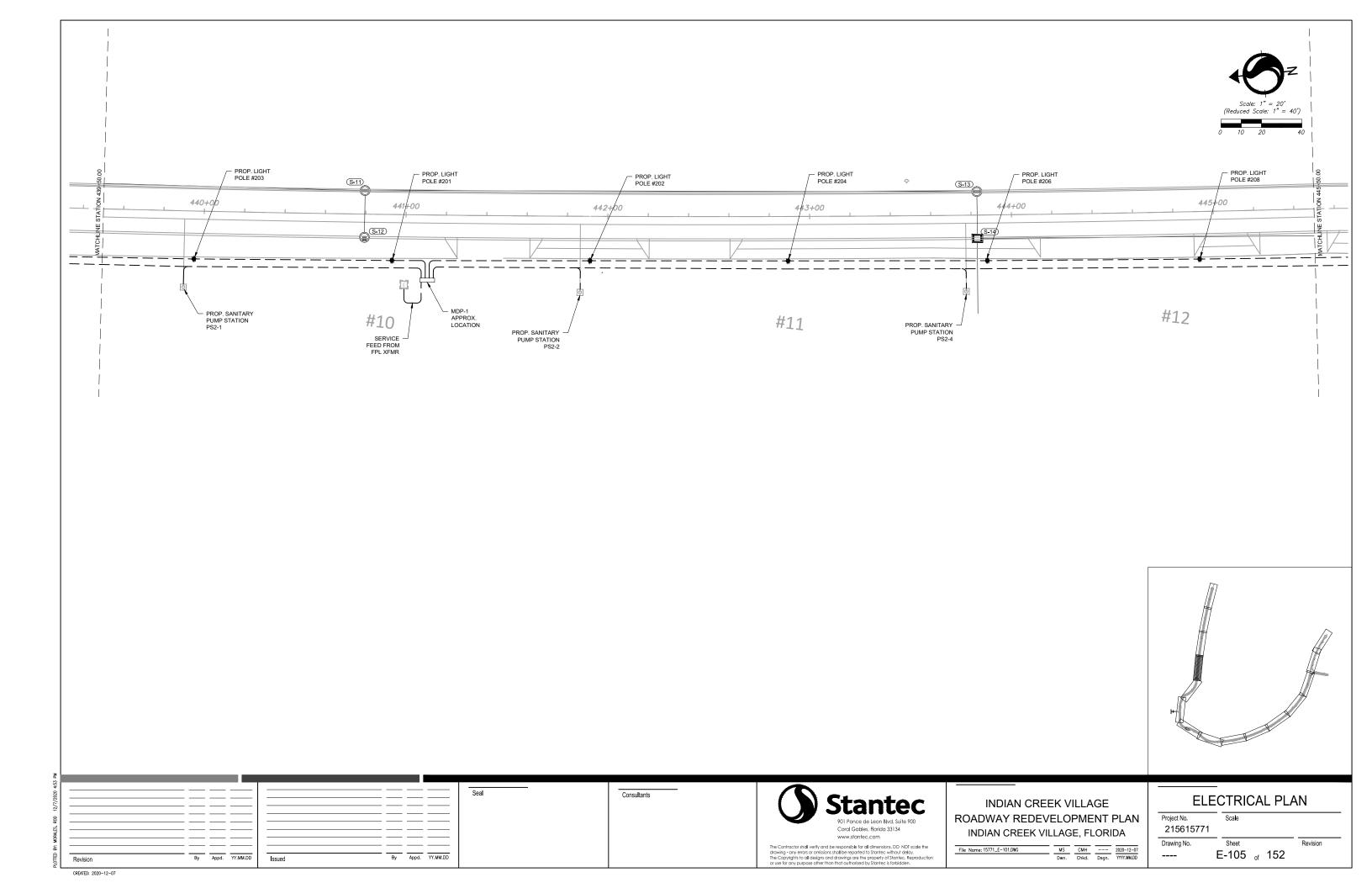


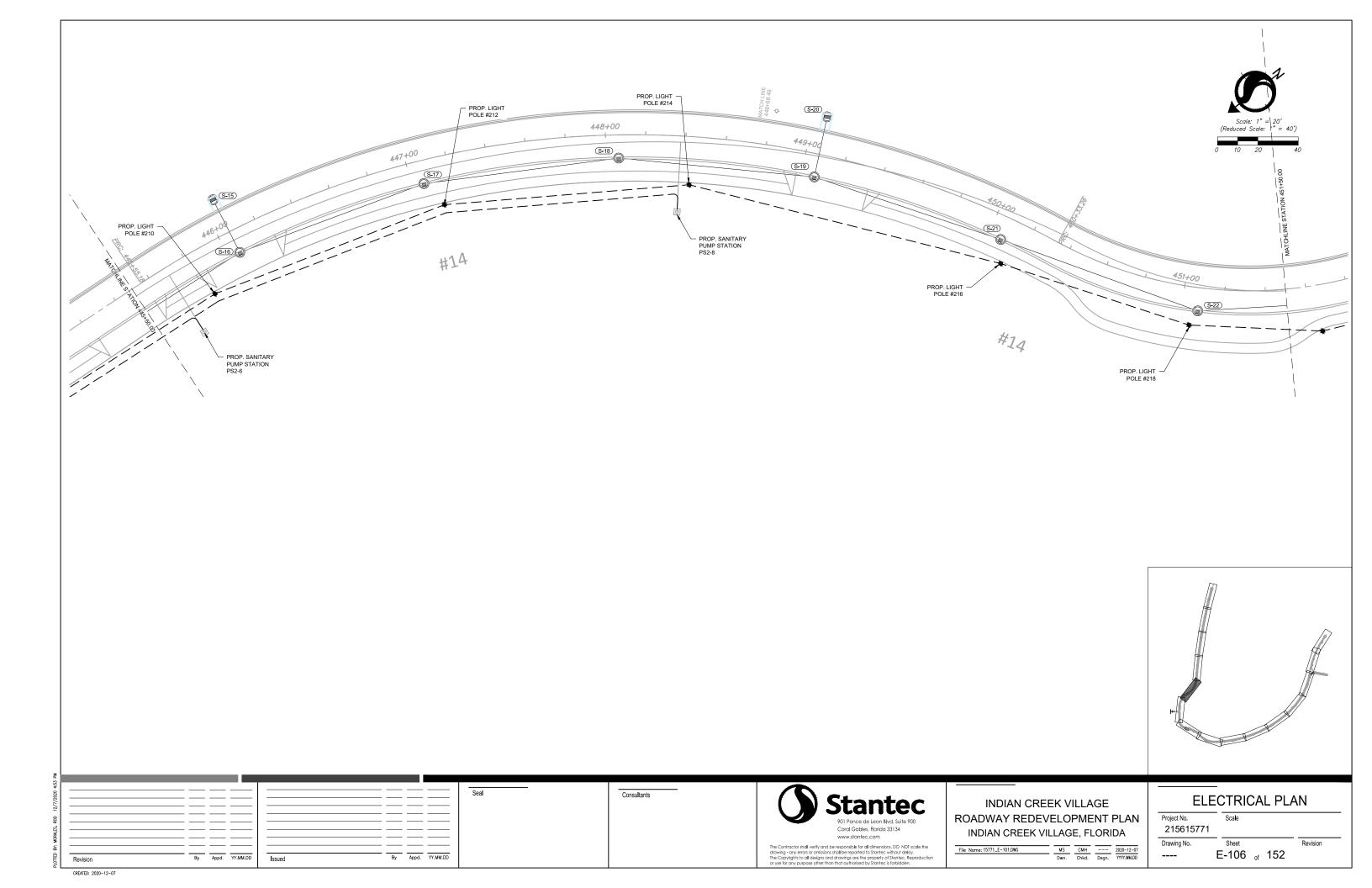
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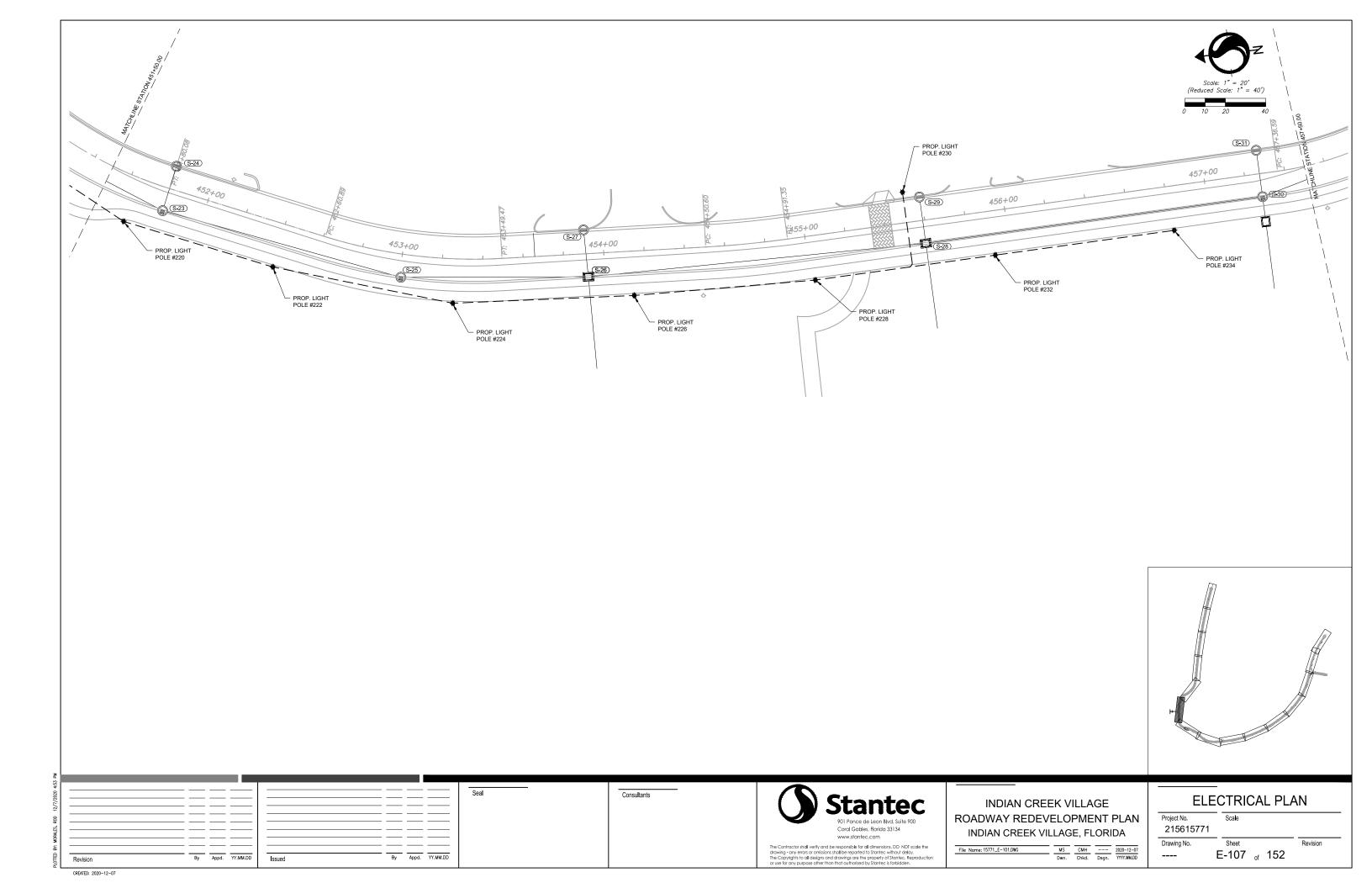


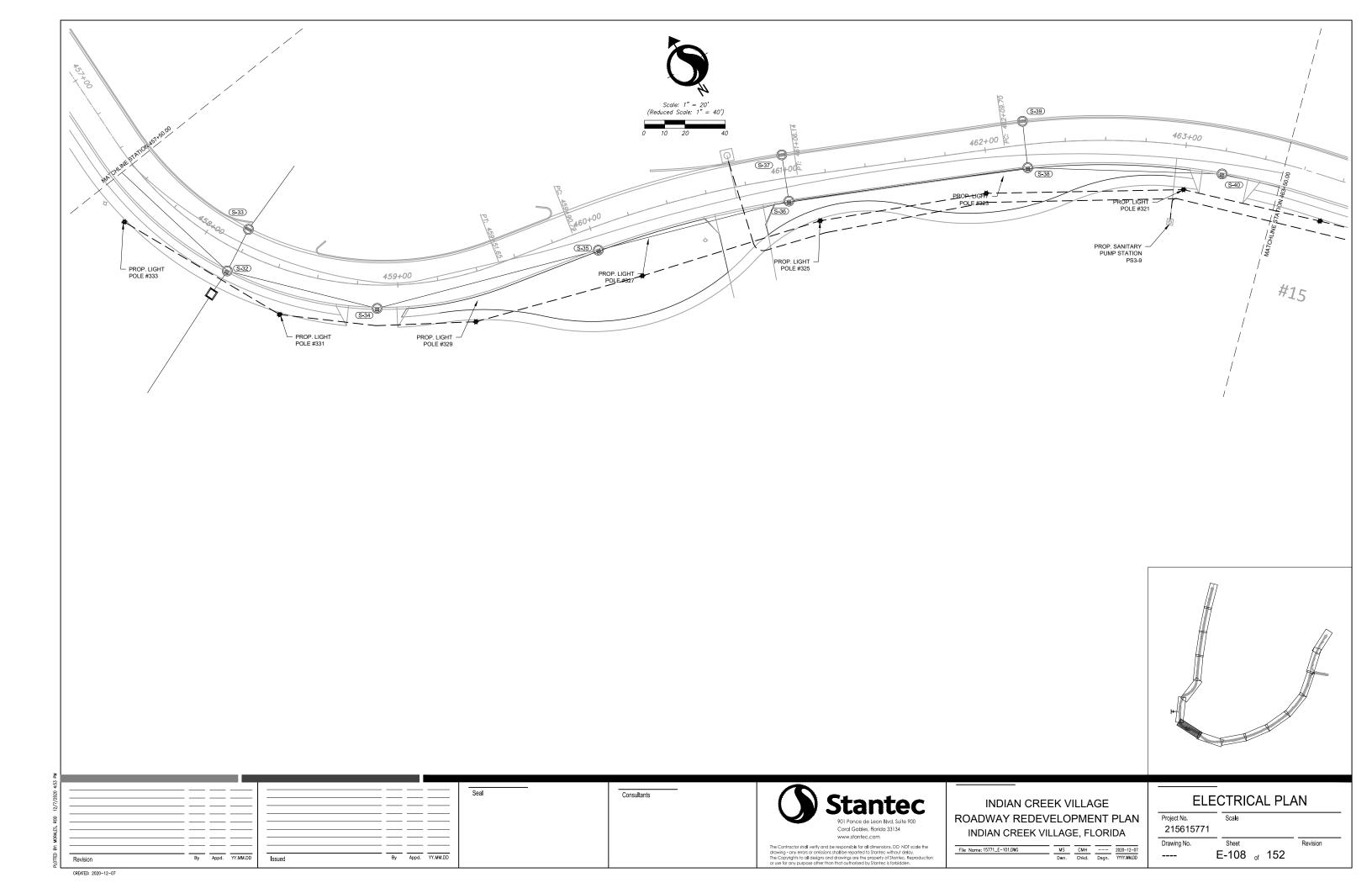


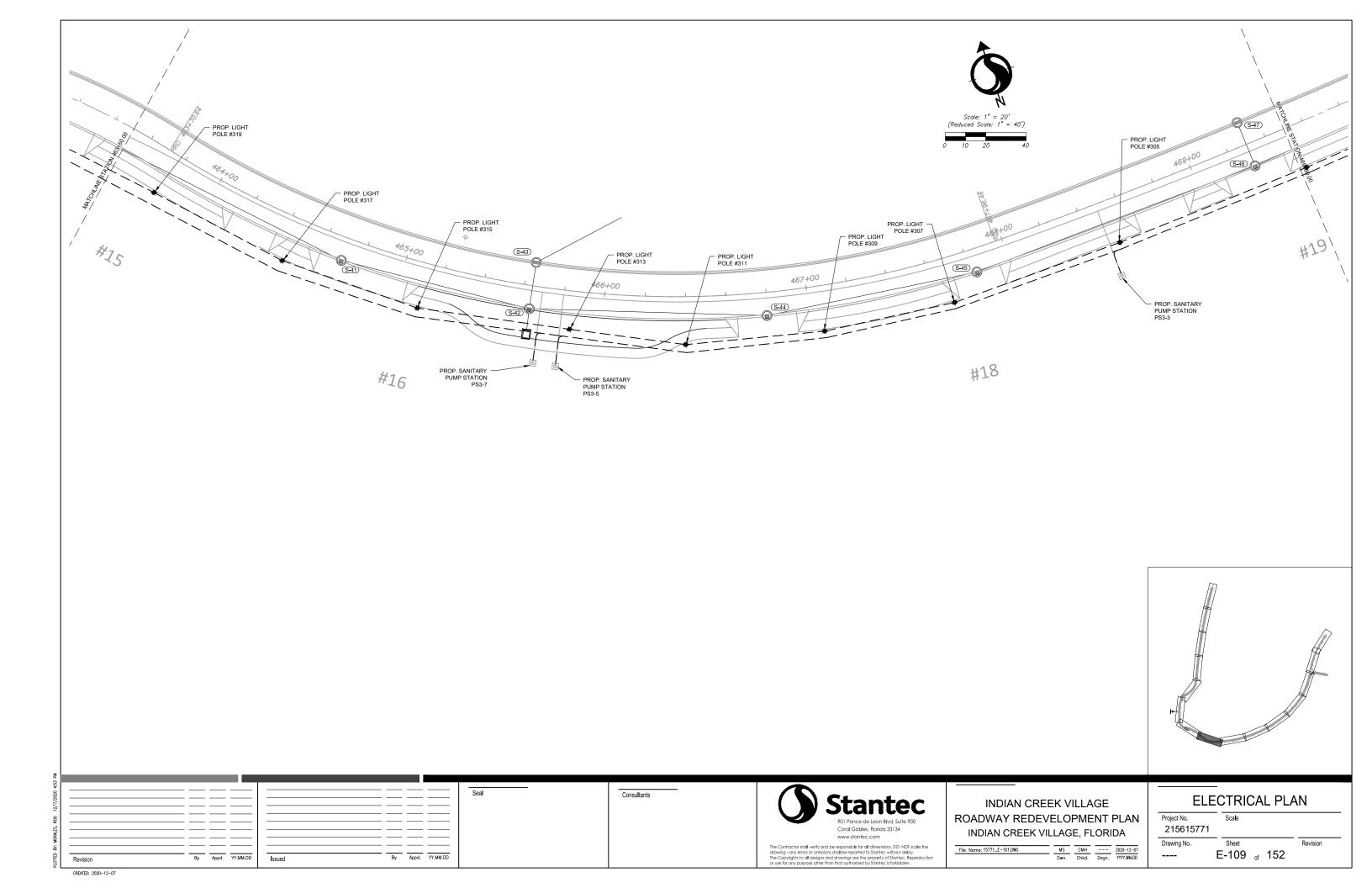


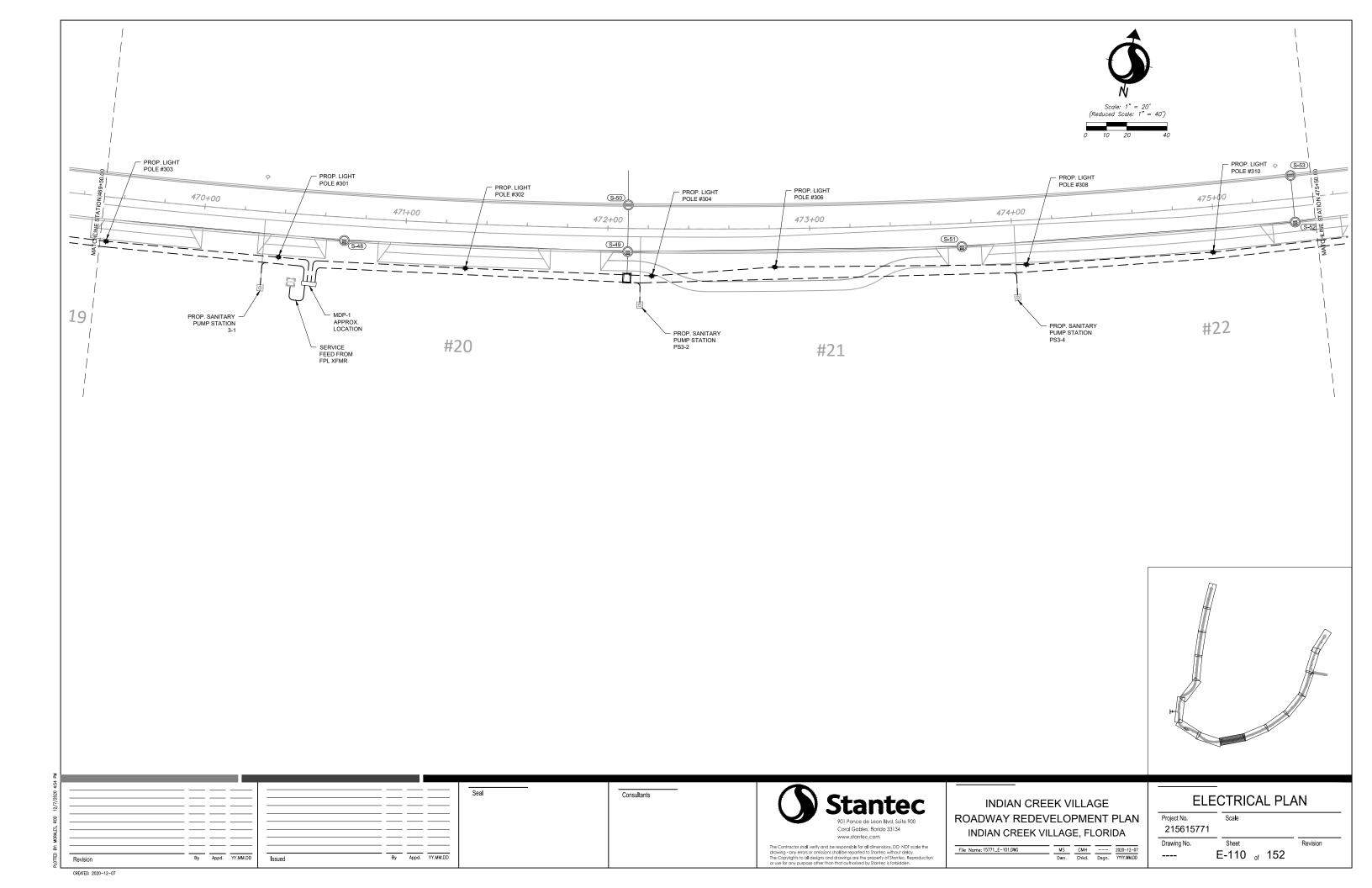


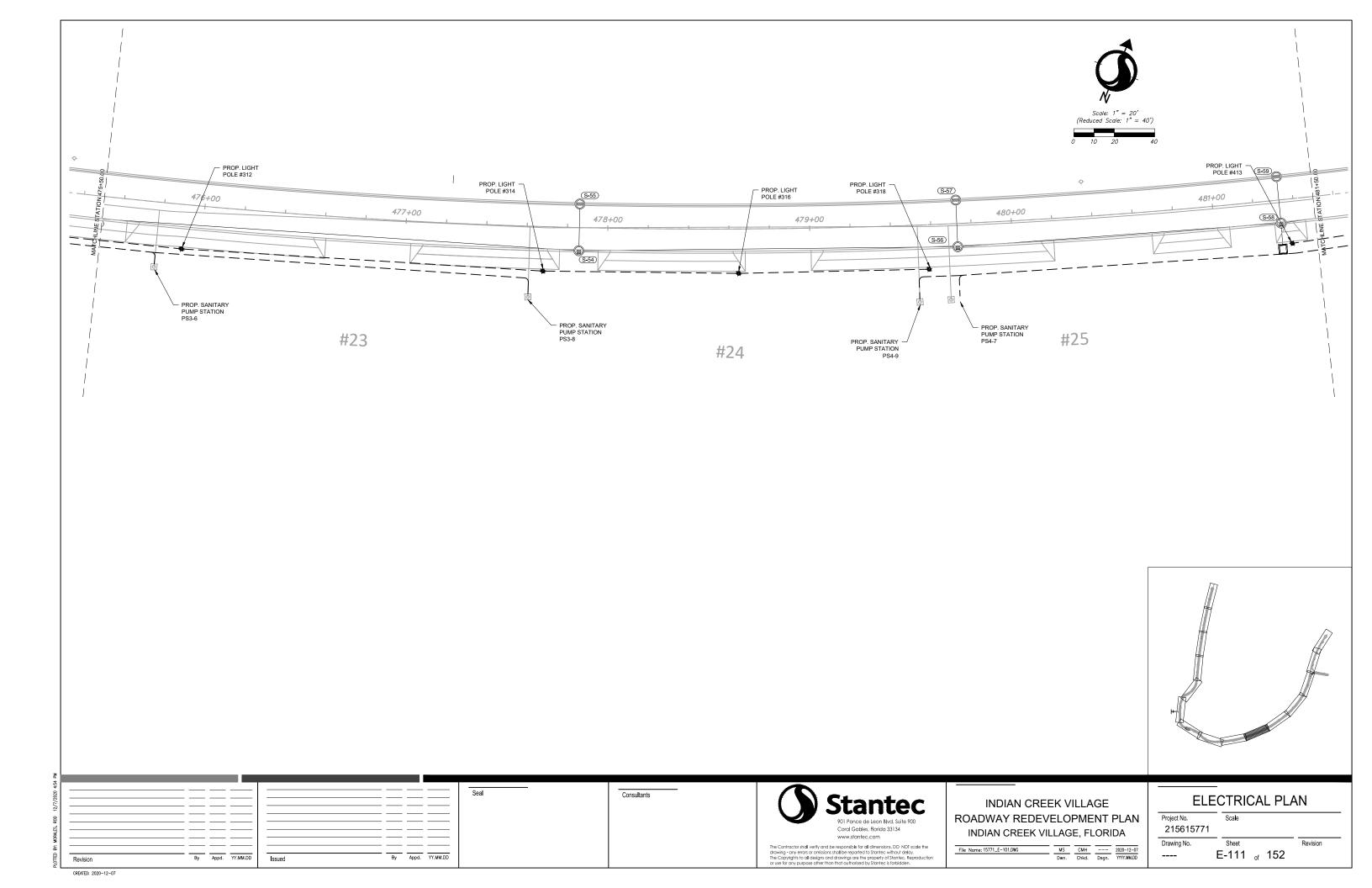


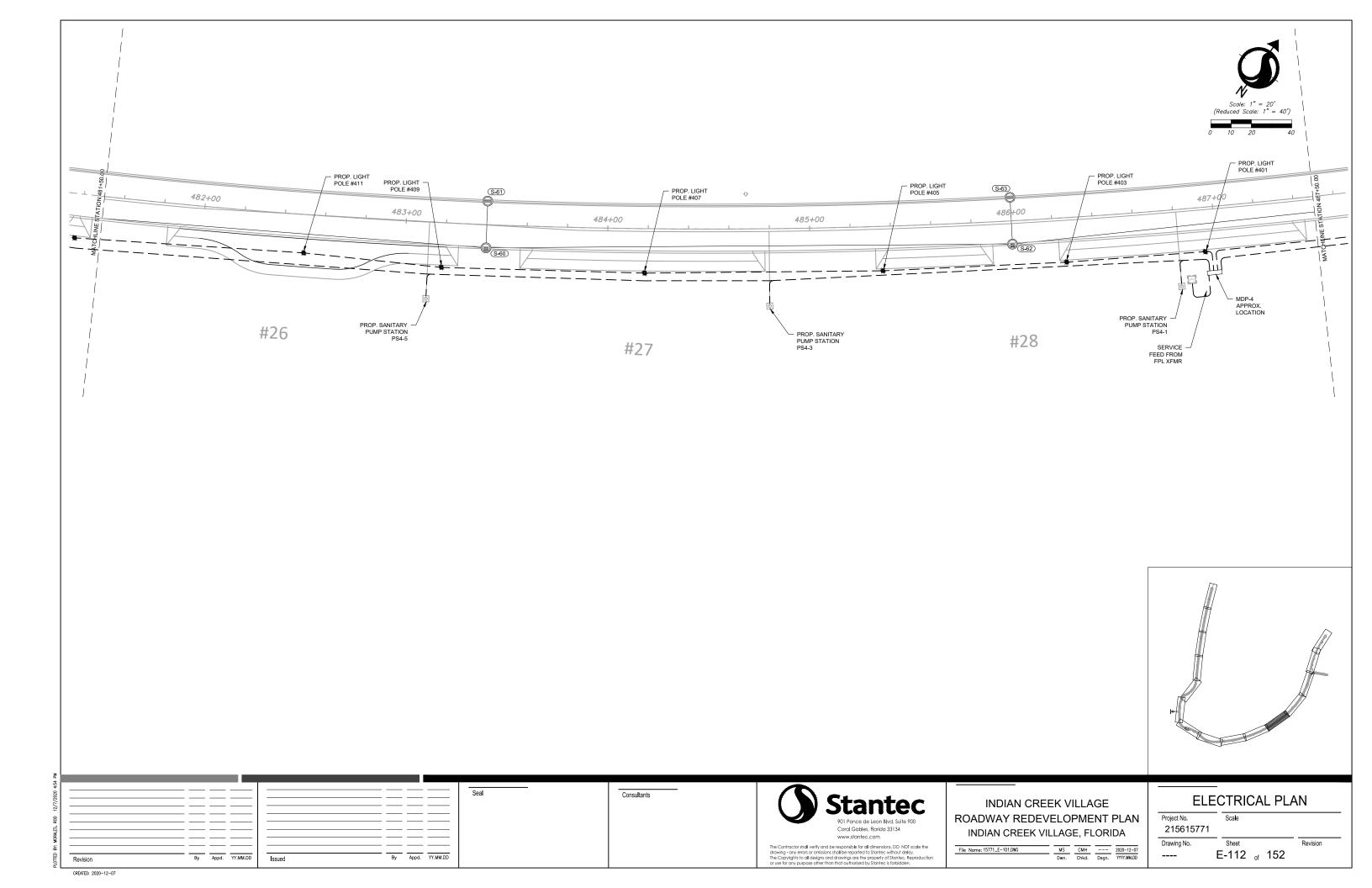


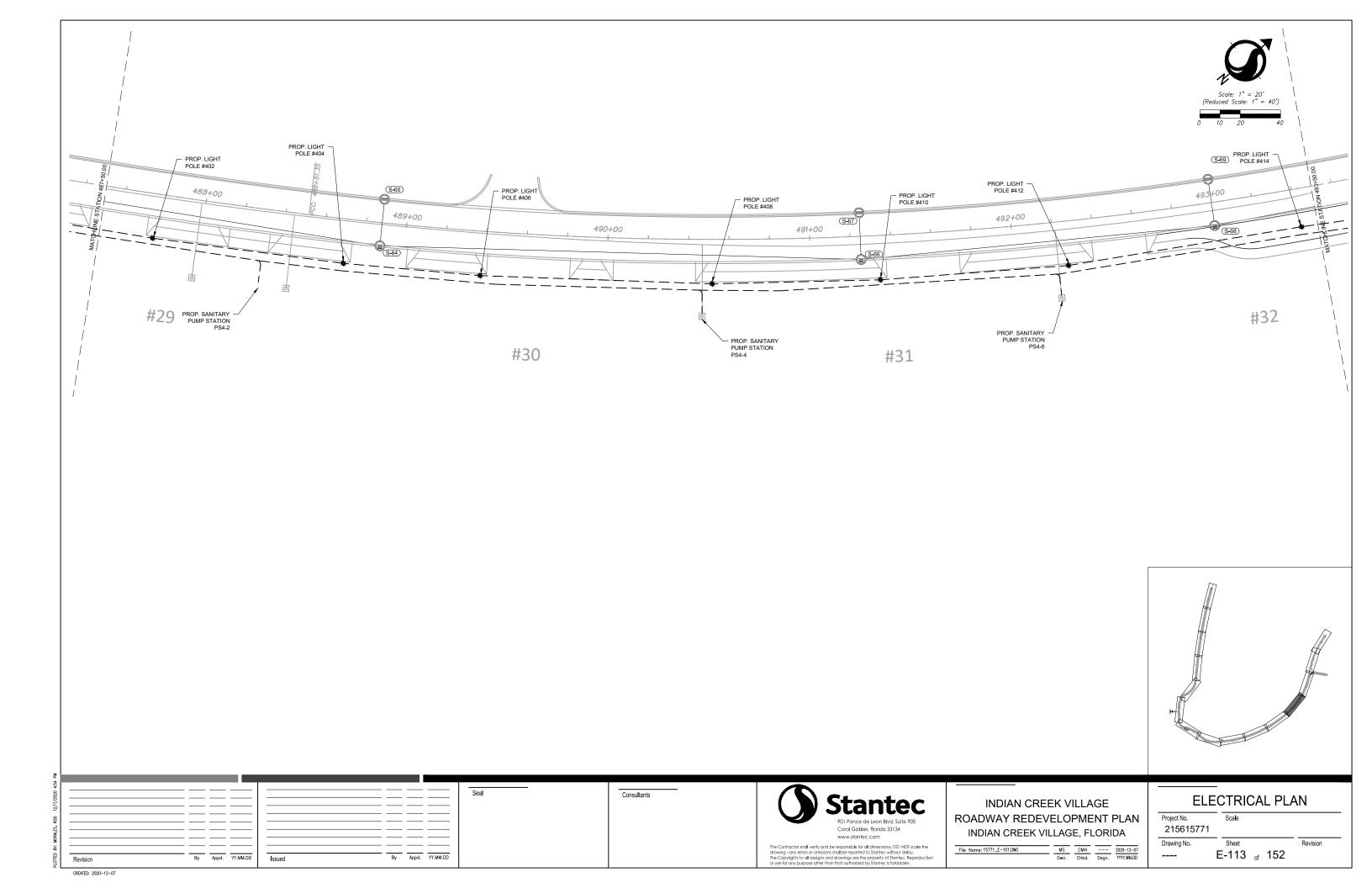


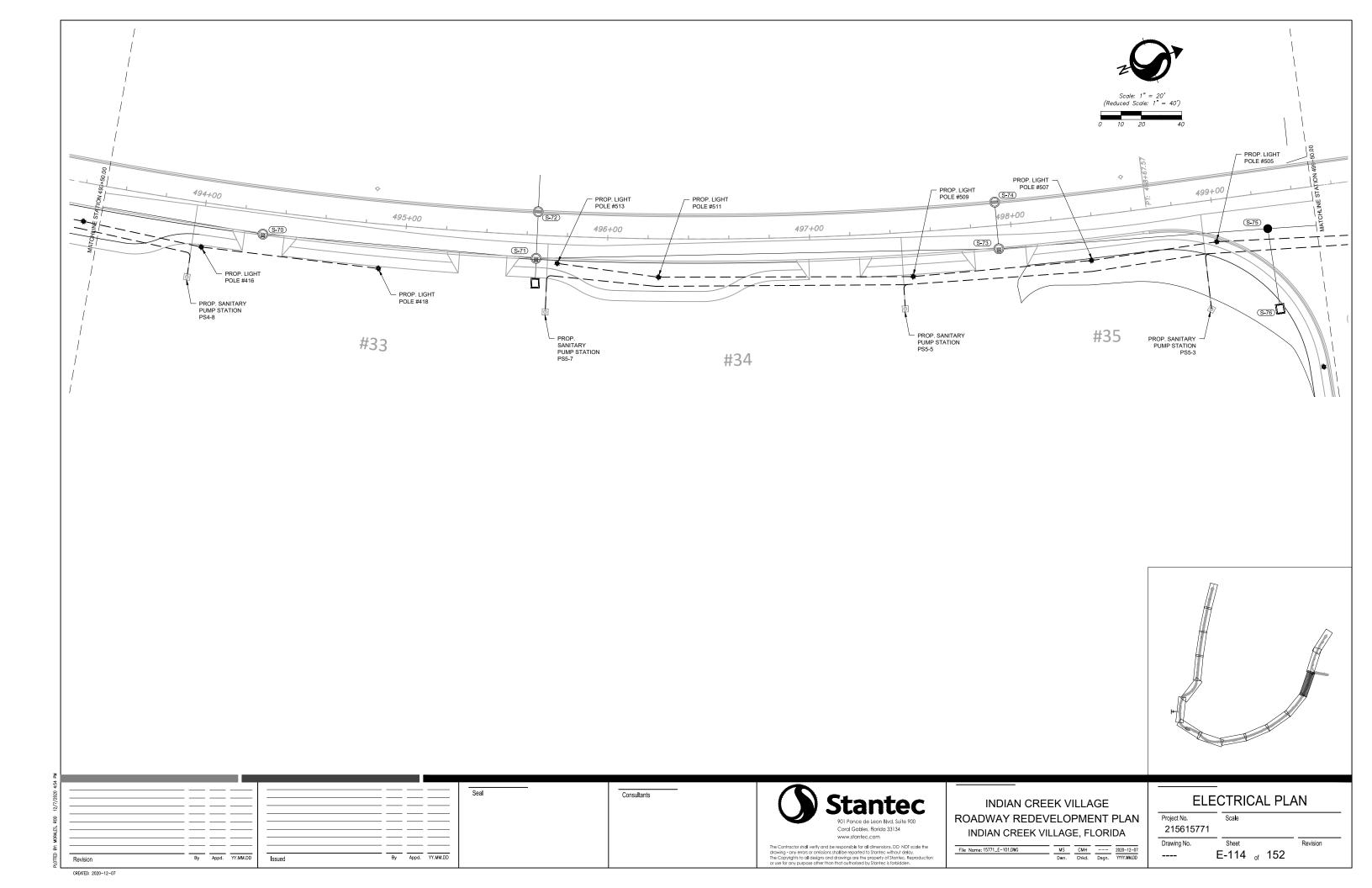


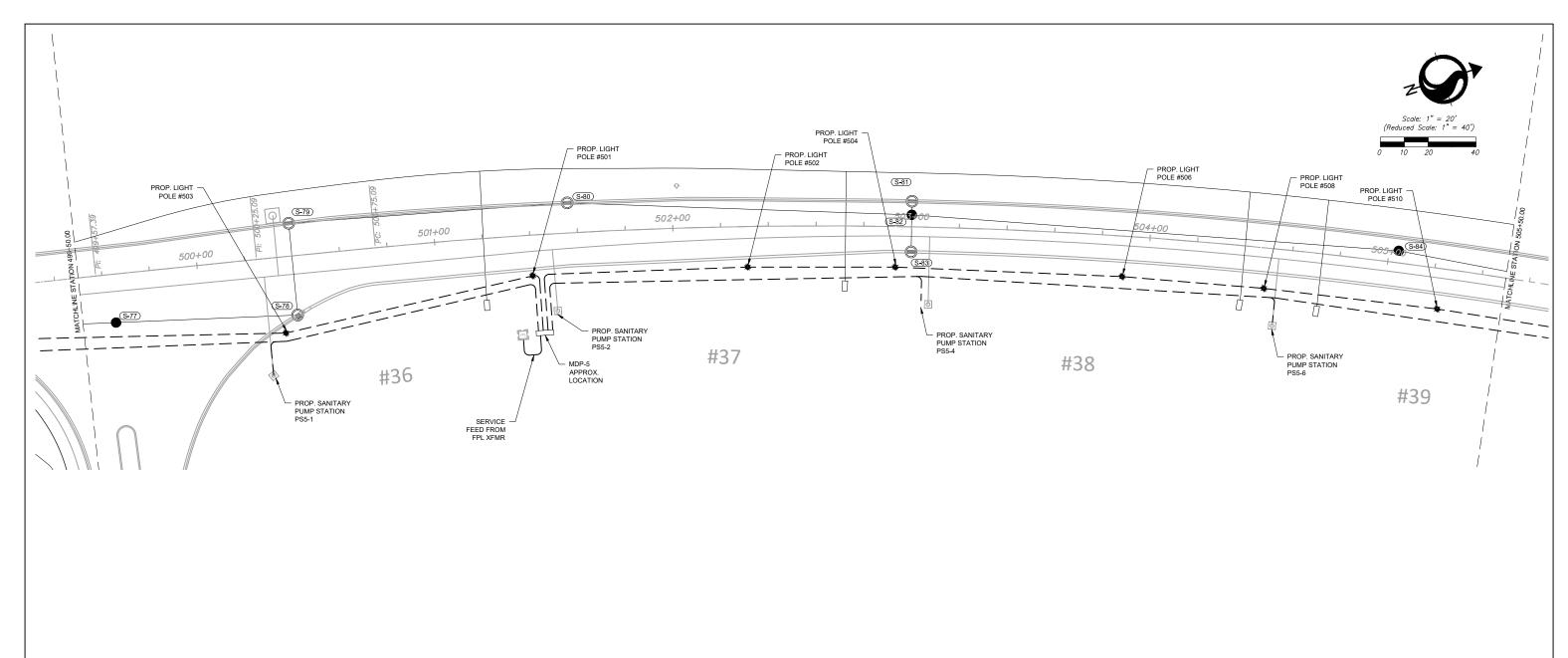


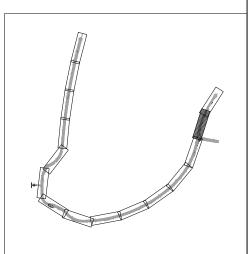


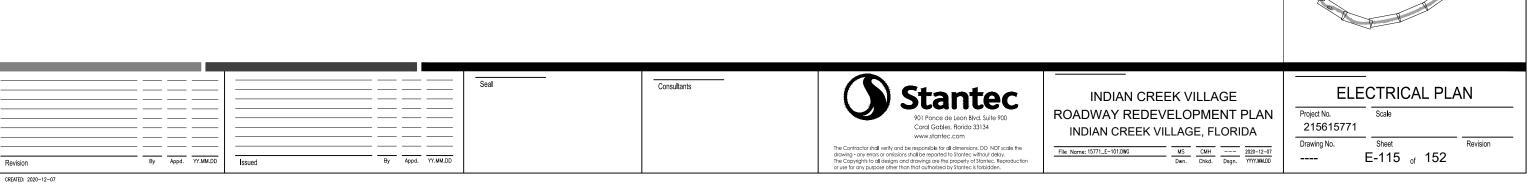


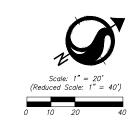


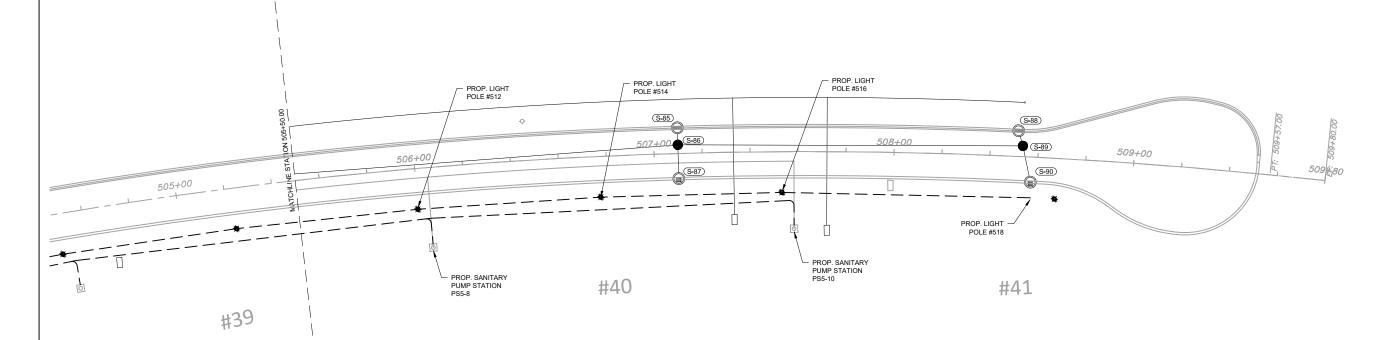


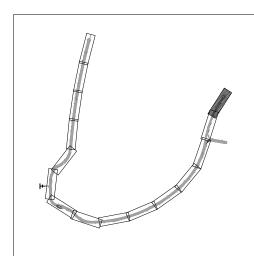


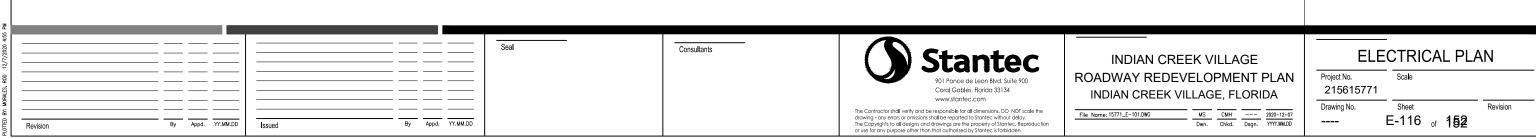


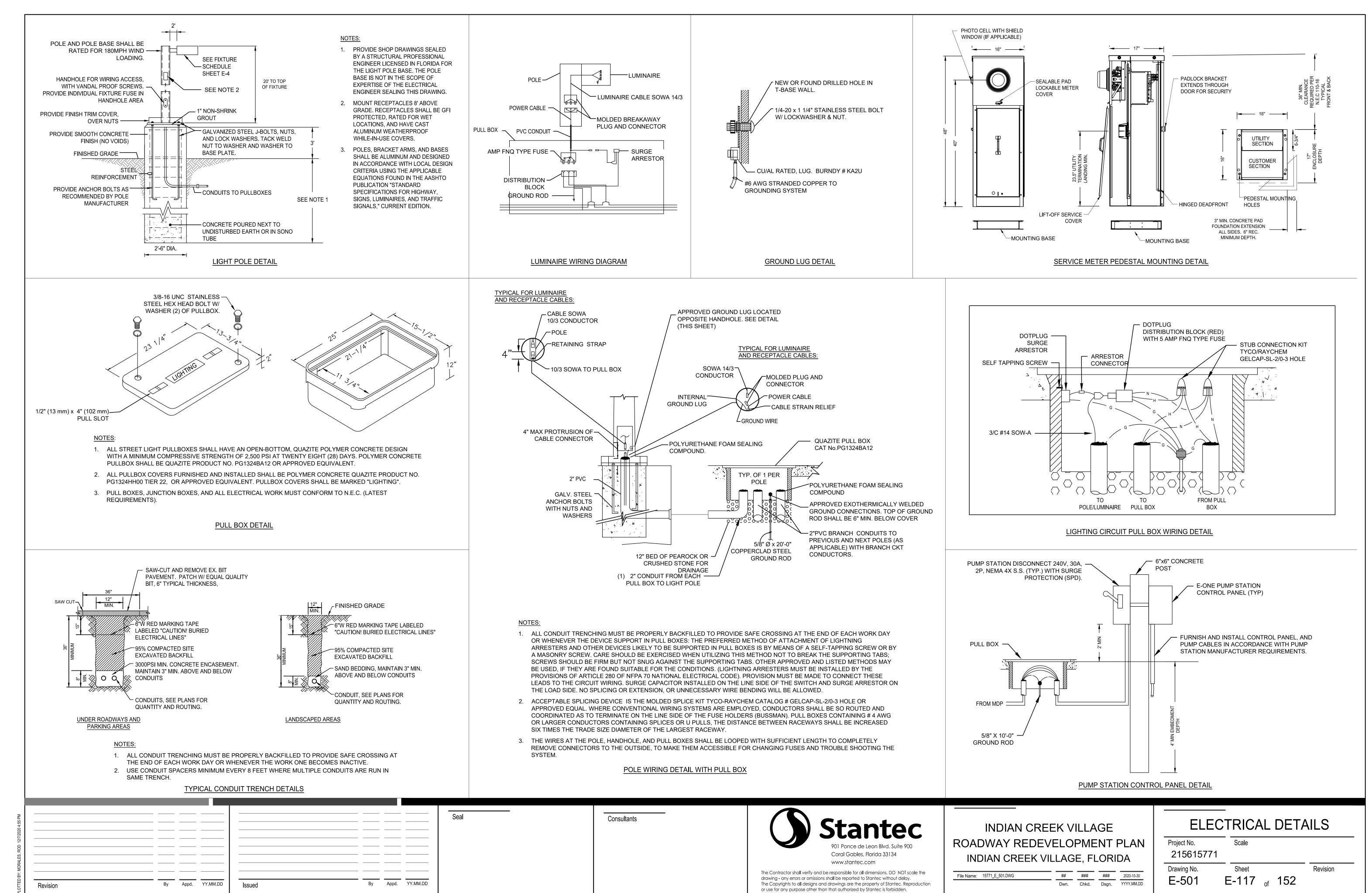


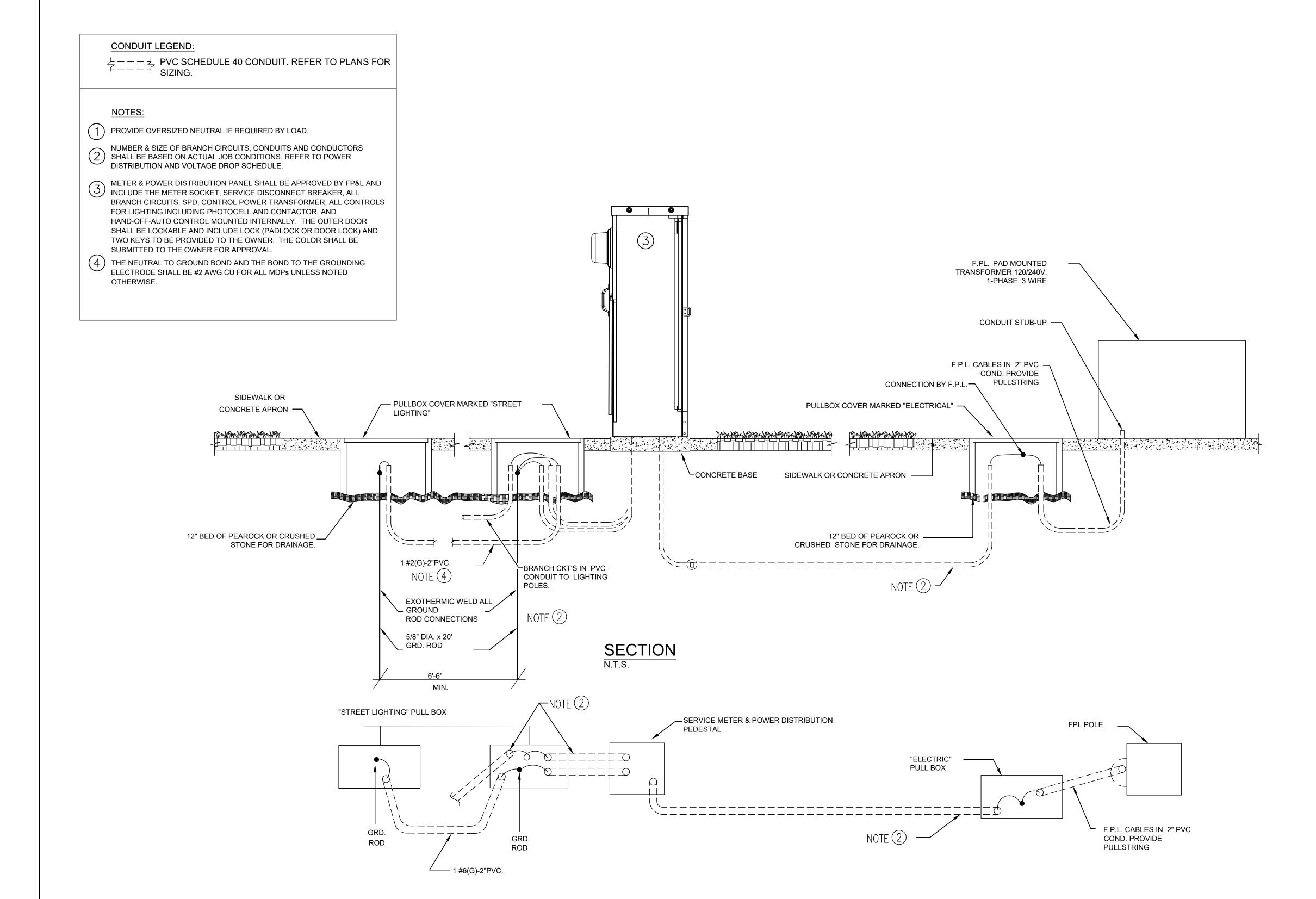






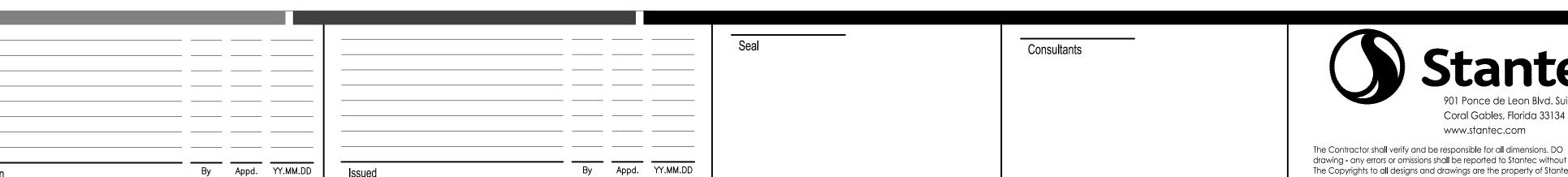






#### NOTES:

- 1. LIGHTNING SURGE PROTECTOR SHALL BE WIRED INSIDE THE METER AND POWER DISTRIBUTION PEDESTAL ENCLOSURE. A MAIN BREAKER IS REQUIRED IN ALL SERVICE PANELS.
- 2. ALL ELECTRICAL EQUIPMENT SHALL BE U.L. APPROVED.
- 3. BUS BAR TO BE COPPER COATED AND HAVE A MINIMUM RATING OF 100 AMPS WHEN MAIN BREAKER EXCEEDS 100 AMPS. BUSBAR TO MATCH BREAKER
- 4. LOCATE CONTACTOR, TRANSFORMER AND H.O.A. SWITCH INSIDE ENCLOSURE. THE ENCLOSURE TO BE SIZED TO ACCOMODATE AS MANY BREAKERS AS CALLED FOR AND ALL OTHER SERVICE EQUIPMENT.
- 5. METER INSTALLATION CONNECTION AND ALL WORK RELATED TO ELECTRICAL POWER SERVICE SHALL BE COORDINATED WITH UTILITY REPRESENTATIVE. EXACT LOCATION EQUIPMENTS DIMENSION AND FOUNDATION. ELECTRICAL CONTRACTOR TO VERIFY AND PROVIDE EQUIPMENT GROUNDING. CONDUCTOR AS PER NEC 250.
- 6. ALL EXPOSED METAL PARTS ARE TO BE BONDED TO THE GROUND ROD.
- 7. ALL NEW ELECTRICAL EQUIPMENT LOCATION AND INSTALLATION SHALL CONFORM TO N.E.C. FOR DEDICATED CLEARANCES SPACE AND GROUNDING REQUIREMENTS.
- 8. THE AVAILABLE FAULT CURRENT FROM THE UTILITY POWER COMPANY IS TO BE VERIFIED FOR PROPER SCCR. RATING OF ELECTRICAL SERVICE EQUIPMENT AND PANELS. SHOP DWG SUBMITTAL TO INCLUDE SCCR. RATING AND LETTER FROM THE UTILITY POWER COMPANY, STATING THE AVAILABLE FAULT.
- 9. CONTRACTOR SHALL COORDINATE WITH F.P.L. ENGINEERS FOR THE INSTALLATION OF THE F.P.L. RISER.
- 10. ALL GROUND RODS SHALL BE INTERCONNECTED.
- 11. PROVIDE EQUIPMENT GROUNDING CONDUCTOR AND SUPPLEMENTARY GROUND-ELECTRODE. SPACE AT LEAST 6FT (AS PER NEC-250).
- 12. ALL CONDUCTORS SHALL BE TYPE XHHW-2. (OTHER TYPE OF CONDUCTOR IS NOT ALLOWED. EXCEPT GROUND WIRE WHICH SHALL BE TYPE THW OR THWN.)





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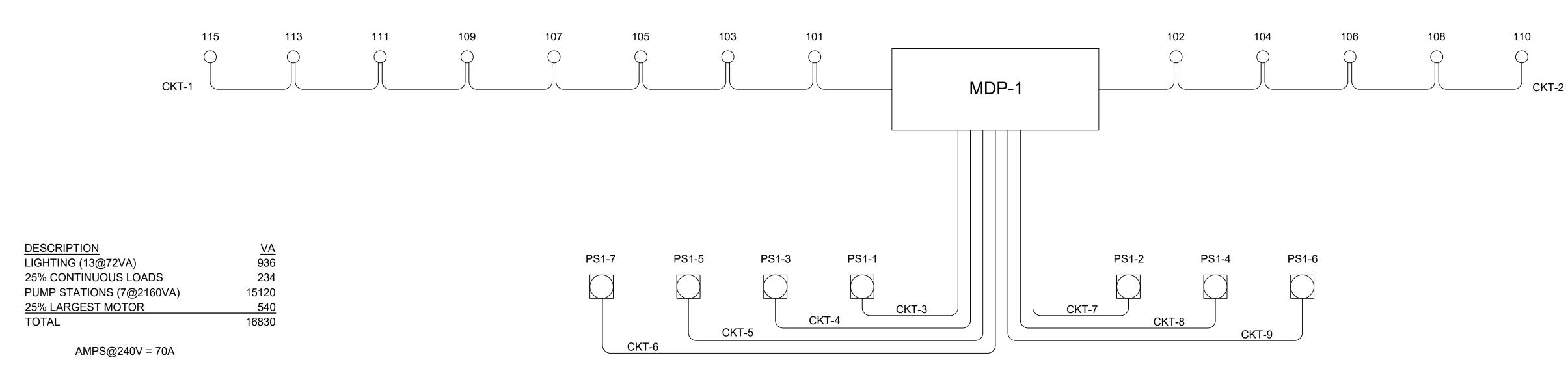
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

File Name: 15771\_E\_502.DWG ## ### ### 2020-12-07
Dwn. Chkd. Dsgn. YYYY.MM.DD

TYPICAL SERVICE MDP Project No. Scale 215615771 Drawing No. Revision E-118 of 152 E-502

By Appd. YY.MM.DD

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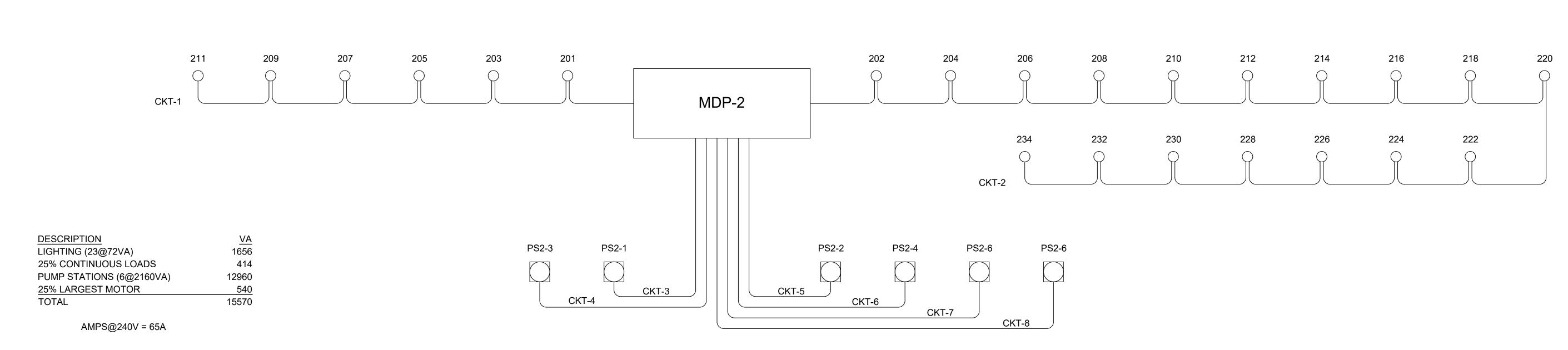


## MDP-1 LOAD CALCULATION

TYPE: UL67				MODIFICATION: NONE
VOLTAGE: 12	0/240V-1PH-3W	DANEL "MD	P-1" SCHEDULE	ENCLOSURE: NEMA 4X
MAINS: 200A.	M.B.	FAINEL WIDT	I SOMEDULE	LOCATION: SEE SITE PLAN
A.I.C.S.: 65 KA	AIC			FED FROM: FP&L
CIRC. No.	SERVICING		CIRCUIT BRE	EAKER
3	525	POLE	TRIP	NOTES
1	LIGHTING	2	20A	
2	LIGHTING	2	20A	
3	PS1-1	2	30A	FINAL SIZE PER MFGR.
4	PS1-3	2	30A	FINAL SIZE PER MFGR.
5	PS1-5	2	30A	FINAL SIZE PER MFGR.
6	PS1-2	2	30A	FINAL SIZE PER MFGR.
7	PS1-4	2	30A	FINAL SIZE PER MFGR.
8	PS1-6	2	30A	FINAL SIZE PER MFGR.
9	PS1-8	2	30A	FINAL SIZE PER MFGR.
10	SPACE	-	-	
11	SPACE	-	-	

					MI	OP-1 VOLTA	GE DROP CALCULA	ATION						
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMAR
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	66.4	1.16	1.16	0.484%	3#3/0 IN 2"C
MDP-1, CKT-1	101	50	6	2	167	62	0.000463	0.3	0.0463	2.1	0.10	1.26	0.524%	2#6 + 1#6G IN 2"0
101	103	120	6	2	167	62	0.000463	0.3	0.1111	1.8	0.20	1.46	0.607%	2#6 + 1#6G IN 2"
103	105	120	6	2	167	62	0.000463	0.3	0.1111	1.6	0.17	1.63	0.679%	2#6 + 1#6G IN 2"
105	107	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	1.75	0.729%	2#6 + 1#6G IN 2"
107	109	140	6	2	167	62	0.000463	0.3	0.1296	1.0	0.13	1.88	0.785%	2#6 + 1#6G IN 2"
109	111	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.96	0.818%	2#6 + 1#6G IN 2'
111	113	120	6	2	167	62	0.000463	0.3	0.1111	0.5	0.06	2.02	0.842%	2#6 + 1#6G IN 2'
113	115	110	6	2	167	62	0.000463	0.3	0.1019	0.3	0.03	2.05	0.853%	2#6 + 1#6G IN 2'
MDP-1, CKT-2	102	120	6	2	167	62	0.000463	0.3	0.1111	1.3	0.14	1.30	0.544%	2#6 + 1#6G IN 2'
102	104	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	1.41	0.588%	2#6 + 1#6G IN 2
104	106	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.49	0.620%	2#6 + 1#6G IN 2'
106	108	110	6	2	167	62	0.000463	0.3	0.1019	0.5	0.05	1.54	0.642%	2#6 + 1#6G IN 2'
108	110	110	6	2	167	62	0.000463	0.3	0.1019	0.3	0.03	1.57	0.653%	2#6 + 1#6G IN 2'
MDP-1, CKT-3	PS1-1	50	6	2	167	2160	0.000463	9.0	0.0463	9.0	0.42	1.58	0.657%	3#6 + 1#6G IN 2'
MDP-1, CKT-4	PS1-3	260	6	2	167	2160	0.000463	9.0	0.2408	9.0	2.17	3.33	1.387%	3#6 + 1#6G IN 2'
MDP-1, CKT-5	PS1-5	460	6	2	167	2160	0.000463	9.0	0.4260	9.0	3.83	4.99	2.081%	3#6 + 1#6G IN 2'
MDP-1, CKT-6	PS1-2	800	6	2	167	2160	0.000463	9.0	0.7408	9.0	6.67	7.83	3.262%	3#6 + 1#6G IN 2'
MDP-1, CKT-7	PS1-4	170	6	2	167	2160	0.000463	9.0	0.1574	9.0	1.42	2.58	1.074%	3#6 + 1#6G IN 2'
MDP-1, CKT-8	PS1-6	380	6	2	167	2160	0.000463	9.0	0.3519	9.0	3.17	4.33	1.803%	3#6 + 1#6G IN 2'
MDP-1, CKT-9	PS1-8	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	4.49	1.873%	3#6 + 1#6G IN 2'

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12. OCOO, E/ 07.			Seal Consultants	Stantec	INDIAN CREEK VILLAGE	RISER DIAGRAM
,				901 Ponce de Leon Blvd. Suite 900 Coral Gables, Florida 33134 www.stantec.com	ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA	Project No. Scale 215615771
, yo	Revision By Appd. YY.MM.DE	_		The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.	File Name: 15771_E_601.DWG ## ### ### 2020-12-07  Dwn. Chkd. Dsgn. YYYY.MM.DD	Drawing No. Sheet Revision E-601 E-119 of 152



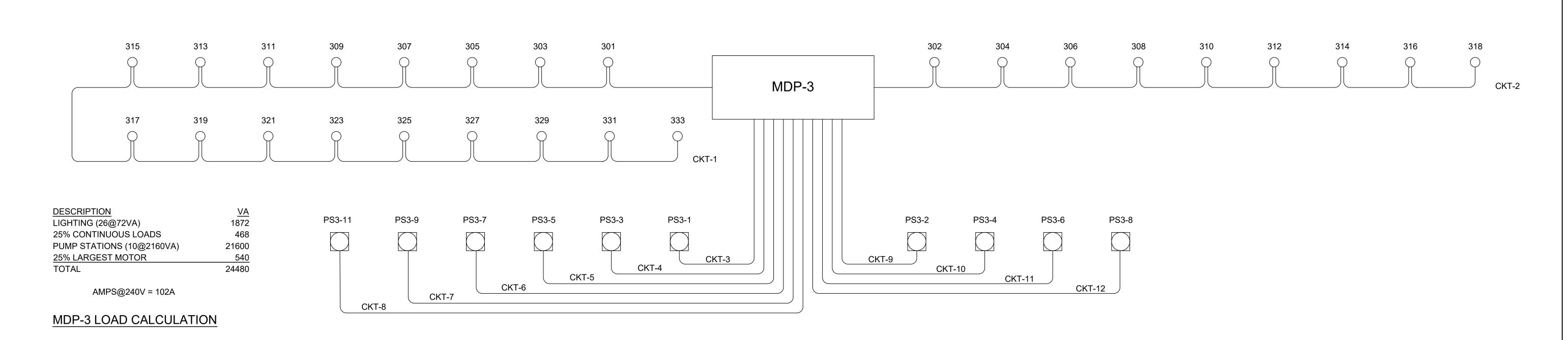
## MDP-2 LOAD CALCULATION

TYPE: UL67				MODIFICATION: NONE	
VOLTAGE: 12	0/240V-1PH-3W	- DANEL "MDE	P-2" SCHEDULE	ENCLOSURE: NEMA 4X	
MAINS: 200A.	M.B.	PAINEL WIDE	-2 SCHEDULE	LOCATION: SEE SITE PLAN	
A.I.C.S.: 65 KA	AIC			FED FROM: FP&L	
CIRC. No.	SERVICING		CIRCUIT BRE	EAKER	
Sii (S. 140.	OLIVIOIIVO	POLE	TRIP	NOTES	
1	LIGHTING	2	20A		
2	LIGHTING	2	20A		
3	PS2-1	2	30A	FINAL SIZE PER MFGR.	
4	PS2-3	2	30A	FINAL SIZE PER MFGR.	
5	PS2-5	2	30A	FINAL SIZE PER MFGR.	
6	PS2-2	2	30A	FINAL SIZE PER MFGR.	
7	PS2-4	2	30A	FINAL SIZE PER MFGR.	
8	PS2-6	2	30A	FINAL SIZE PER MFGR.	
9	SPACE	-	-		
10	SPACE	-	-		

MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.

					M	DP-2 VOLTA	GE DROP CALCULA	ATION						
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMAF
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	59.9	1.05	1.05	0.437%	3#3/0 IN 2"C
MDP-2, CKT-1	201	40	6	2	167	62	0.000463	0.3	0.0370	1.6	0.06	1.11	0.461%	2#6 + 1#6G IN 2
201	203	110	6	2	167	62	0.000463	0.3	0.1019	1.3	0.13	1.24	0.516%	2#6 + 1#6G IN 2
203	205	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	1.34	0.560%	2#6 + 1#6G IN 2
205	207	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.42	0.593%	2#6 + 1#6G IN 2
207	209	140	6	2	167	62	0.000463	0.3	0.1296	0.5	0.07	1.49	0.620%	2#6 + 1#6G IN 2
209	211	80	6	2	167	62	0.000463	0.3	0.0741	0.3	0.02	1.51	0.628%	2#6 + 1#6G IN 2
MDP-2, CKT-2	202	120	6	2	167	62	0.000463	0.3	0.1111	4.4	0.49	1.54	0.640%	2#6 + 1#6G IN 2
202	204	110	6	2	167	62	0.000463	0.3	0.1019	4.1	0.42	1.96	0.816%	2#6 + 1#6G IN 2
204	206	110	6	2	167	62	0.000463	0.3	0.1019	3.9	0.39	2.35	0.980%	2#6 + 1#6G IN 2
206	208	110	6	2	167	62	0.000463	0.3	0.1019	3.6	0.37	2.72	1.134%	2#6 + 1#6G IN 2
208	210	100	6	2	167	62	0.000463	0.3	0.0926	3.4	0.31	3.03	1.263%	2#6 + 1#6G IN 2
210	212	130	6	2	167	62	0.000463	0.3	0.1204	3.1	0.37	3.41	1.419%	2#6 + 1#6G IN 2
212	214	130	6	2	167	62	0.000463	0.3	0.1204	2.8	0.34	3.75	1.561%	2#6 + 1#6G IN 2
214	216	170	6	2	167	62	0.000463	0.3	0.1574	2.6	0.41	4.15	1.731%	2#6 + 1#6G IN 2
216	218	110	6	2	167	62	0.000463	0.3	0.1019	2.3	0.24	4.39	1.830%	2#6 + 1#6G IN 2
218	220	80	6	2	167	62	0.000463	0.3	0.0741	2.1	0.15	4.54	1.893%	2#6 + 1#6G IN 2
220	222	90	6	2	167	62	0.000463	0.3	0.0833	1.8	0.15	4.69	1.956%	2#6 + 1#6G IN 2
222	224	100	6	2	167	62	0.000463	0.3	0.0926	1.6	0.14	4.84	2.016%	2#6 + 1#6G IN 2
224	226	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	4.96	2.066%	2#6 + 1#6G IN 2
226	228	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	5.05	2.106%	2#6 + 1#6G IN 2
228	230	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	5.13	2.139%	2#6 + 1#6G IN 2
230	232	90	6	2	167	62	0.000463	0.3	0.0833	0.5	0.04	5.18	2.156%	2#6 + 1#6G IN 2
232	234	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	5.20	2.166%	2#6 + 1#6G IN 2
MDP-2, CKT-3	PS2-1	140	6	2	167	2160	0.000463	9.0	0.1296	9.0	1.17	2.22	0.923%	3#6 + 1#6G IN 2
MDP-2, CKT-4	PS2-3	520	6	2	167	2160	0.000463	9.0	0.4815	9.0	4.33	5.38	2.243%	3#6 + 1#6G IN 2
MDP-2, CKT-5	PS2-5	90	6	2	167	2160	0.000463	9.0	0.0833	9.0	0.75	1.80	0.750%	3#6 + 1#6G IN 2
MDP-2, CKT-6	PS2-2	290	6	2	167	2160	0.000463	9.0	0.2685	9.0	2.42	3.47	1.444%	3#6 + 1#6G IN 2
MDP-2, CKT-7	PS2-4	480	6	2	167	2160	0.000463	9.0	0.4445	9.0	4.00	5.05	2.104%	3#6 + 1#6G IN 2
MDP-2, CKT-8	PS2-6	740	6	2	167	2160	0.000463	9.0	0.6852	9.0	6.17	7.22	3.007%	3#6 + 1#6G IN 2

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0000/ 1/ 00		Seal Consultants	Stantec	INDIAN CREEK VILLAGE	RISER DIAGRAM
, , , , , , , , , , , , , , , , , , ,			901 Ponce de Leon Blvd. Suite 900 Coral Gables, Florida 33134 www.stantec.com	ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA	Project No. Scale 215615771
) } }	Revision By Appd. YY.MM.D		The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.	File Name: 15771_E_601.DWG         ##         ###         ###         2020-12-07           Dwn.         Chkd.         Dsgn.         YYYY.MM.DD	Drawing No. Sheet Revision E-602 E-120 of 152



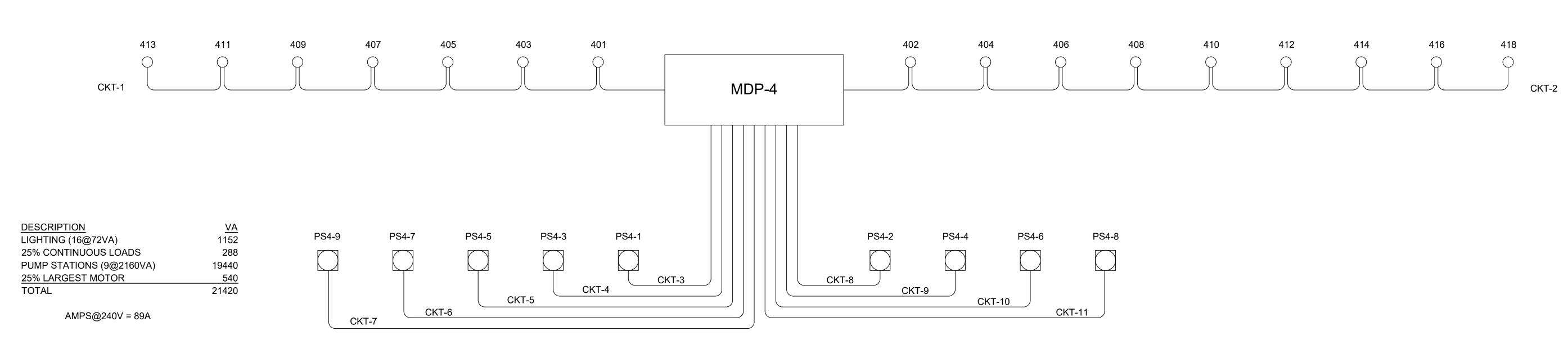
TYPE: UL67				MODIFICATION: NONE
VOLTAGE: 12	0/240V-1PH-3W			ENCLOSURE: NEMA 4X
MAINS: 200A.	M.B.	] PANEL MD	P-3" SCHEDULE	LOCATION: SEE SITE PLAN
A.I.C.S.: 65 KA	AIC			FED FROM: FP&L
CIRC. No.	SERVICING		CIRCUIT BR	EAKER
JII (O. 110.	OLIVIOIIVO	POLE	TRIP	NOTES
1	LIGHTING	2	20A	
2	LIGHTING	2	20A	
3	PS3-1	2	30A	FINAL SIZE PER MFGR.
4	PS3-3	2	30A	FINAL SIZE PER MFGR.
5	PS3-5	2	30A	FINAL SIZE PER MFGR.
6	PS3-7	2	30A	FINAL SIZE PER MFGR.
7	PS3-9	2	30A	FINAL SIZE PER MFGR.
8	PS3-11	2	30A	FINAL SIZE PER MFGR.
9	PS3-2	2	30A	FINAL SIZE PER MFGR.
10	PS3-4	2	30A	FINAL SIZE PER MFGR.
11	PS3-6	2	30A	FINAL SIZE PER MFGR.
12	PS3-8	2	30A	FINAL SIZE PER MFGR.
13	SPACE	-	-	

MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.

MDP-3 VOLTAGE DROP CALCULATION														
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE "F"	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	96.7	1.69	1.69	0.705%	3#3/0 IN 2"C
MDP-3, CKT-1	301	40	6	2	167	62	0.000463	0.3	0.0370	4.4	0.16	1.86	0.773%	2#6 + 1#6G IN 2"C
301	303	90	6	2	167	62	0.000463	0.3	0.0833	4.1	0.34	2.20	0.917%	2#6 + 1#6G IN 2"C
303	305	110	6	2	167	62	0.000463	0.3	0.1019	3.9	0.39	2.59	1.081%	2#6 + 1#6G IN 2"C
305	307	100	6	2	167	62	0.000463	0.3	0.0926	3.6	0.33	2.93	1.221%	2#6 + 1#6G IN 2"C
307	309	70	6	2	167	62	0.000463	0.3	0.0648	3.4	0.22	3.15	1.311%	2#6 + 1#6G IN 2"C
309	311	90	6	2	167	62	0.000463	0.3	0.0833	3.1	0.26	3.41	1.419%	2#6 + 1#6G IN 2"C
311	313	70	6	2	167	62	0.000463	0.3	0.0648	2.8	0.18	3.59	1.496%	2#6 + 1#6G IN 2"C
313	315	80	6	2	167	62	0.000463	0.3	0.0741	2.6	0.19	3.78	1.575%	2#6 + 1#6G IN 2"C
315	317	80	6	2	167	62	0.000463	0.3	0.0741	2.3	0.17	3.95	1.647%	2#6 + 1#6G IN 2"C
317	319	80	6	2	167	62	0.000463	0.3	0.0741	2.1	0.15	4.11	1.711%	2#6 + 1#6G IN 2"C
319	321	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	4.24	1.767%	2#6 + 1#6G IN 2"C
321	323	100	6	2	167	62	0.000463	0.3	0.0926	1.6	0.14	4.38	1.827%	2#6 + 1#6G IN 2"C
323	325	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	4.50	1.876%	2#6 + 1#6G IN 2"C
325	327	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	4.60	1.916%	2#6 + 1#6G IN 2"C
327	329	100	6	2	167	62	0.000463	0.3	0.0926	0.8	0.07	4.67	1.946%	2#6 + 1#6G IN 2"C
329	331	100	6	2	167	62	0.000463	0.3	0.0926	0.5	0.05	4.72	1.966%	2#6 + 1#6G IN 2"C
331	333	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	4.74	1.976%	2#6 + 1#6G IN 2"C
MDP-3, CKT-2	302	100	6	2	167	62	0.000463	0.3	0.0926	2.3	0.22	1.91	0.795%	2#6 + 1#6G IN 2"C
302	304	100	6	2	167	62	0.000463	0.3	0.0926	2.1	0.19	2.10	0.875%	2#6 + 1#6G IN 2"C
304	306	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	2.23	0.930%	2#6 + 1#6G IN 2"C
306	308	150	6	2	167	62	0.000463	0.3	0.1389	1.6	0.22	2.45	1.020%	2#6 + 1#6G IN 2"C
308	310	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	2.57	1.070%	2#6 + 1#6G IN 2"C
310	312	100	6	2	167	62	0.000463	0.3	0.0926	1.0	0.10	2.66	1.110%	2#6 + 1#6G IN 2"C
312	314	190	6	2	167	62	0.000463	0.3	0.1759	0.8	0.14	2.80	1.167%	2#6 + 1#6G IN 2"C
314	316	110	6	2	167	62	0.000463	0.3	0.1019	0.5	0.05	2.85	1.189%	2#6 + 1#6G IN 2"C
316	318	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	2.88	1.199%	2#6 + 1#6G IN 2"C
MDP-3, CKT-3	PS3-1	40	6	2	167	2160	0.000463	9.0	0.0370	9.0	0.33	2.03	0.844%	3#6 + 1#6G IN 2"C
MDP-3, CKT-4	PS3-3	230	6	2	167	2160	0.000463	9.0	0.2130	9.0	1.92	3.61	1.504%	3#6 + 1#6G IN 2"C
MDP-3, CKT-5	PS3-5	510	6	2	167	2160	0.000463	9.0	0.4723	9.0	4.25	5.94	2.476%	3#6 + 1#6G IN 2"C
MDP-3, CKT-6	PS3-7	550	6	2	167	2160	0.000463	9.0	0.5093	9.0	4.58	6.28	2.615%	3#6 + 1#6G IN 2"C
MDP-3, CKT-7	PS3-9	850	6	2	167	2160	0.000463	9.0	0.7871	9.0	7.08	8.78	3.657%	3#6 + 1#6G IN 2"C
MDP-3, CKT-8	PS3-11	1050	2	2	167	2160	0.000191	9.0	0.4001	18.0	7.20	8.89	3.706%	3#2 + 1#2G IN 2"C
MDP-3, CKT-9	PS3-2	200	6	2	167	2160	0.000463	9.0	0.1852	9.0	1.67	3.36	1.400%	3#6 + 1#6G IN 2"C
MDP-3, CKT-10	PS3-4	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	5.03	2.094%	3#6 + 1#6G IN 2"C
MDP-3, CKT-11	PS3-6	600	6	2	167	2160	0.000463	9.0	0.5556	9.0	5.00	6.69	2.789%	3#6 + 1#6G IN 2"C
MDP-3, CKT-12	PS3-8	800	6	2	167	2160	0.000463	9.0	0.7408	9.0	6.67	8.36	3.483%	3#6 + 1#6G IN 2"C

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ALES, ROD 12/7/2020 4:5		Seal	Consultants	Stantec 901 Ponce de Leon Blvd. Suite 900 Coral Gables, Florida 33134	INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA	RISER DIAGRAM  Project No. Scale 215615771
Revision	By Appd. YY.MM.DD Issued	By Appd. YY.MM.DD		www.stantec.com  The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.	File Name: 15771_E_601.DWG ## ### ### 2020-12-07 Dwn. Chkd. Dsgn. YYYY.MM.DD	Drawing No. Sheet Revision E-603 E-121 of 152

CREATED: 2020-12-07



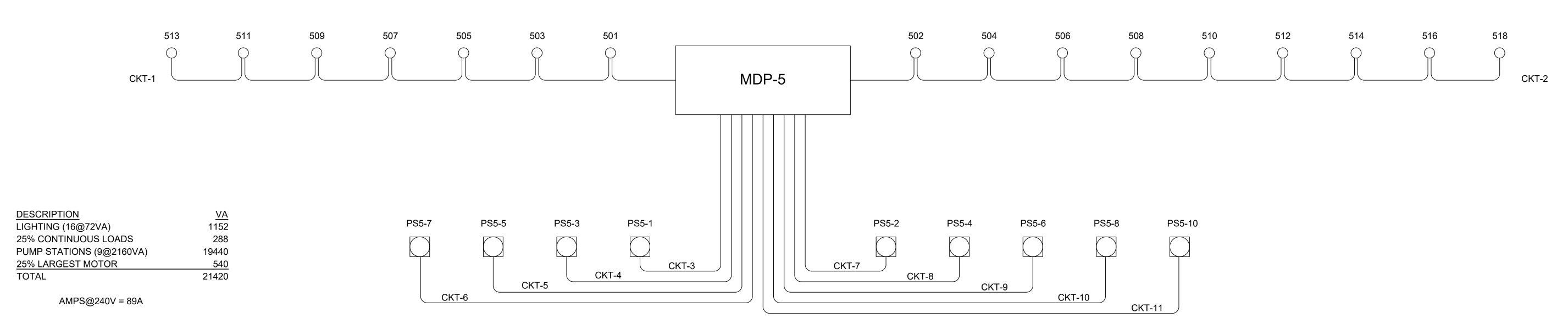
## MDP-4 LOAD CALCULATION

YPE: UL67				MODIFICATION: NONE				
/OLTAGE: 12	0/240V-1PH-4W	DANEI "ME	P-4" SCHEDULE	ENCLOSURE: NEMA 4X				
MAINS: 200A.	M.B.	TAINLE IVIL	7-4 SCHEDOLL	LOCATION: SEE SITE PLAN				
A.I.C.S.: 65 KA	AIC		FED FROM: FP&L					
CIRC. No.	SERVICING		CIRCUIT BRE	EAKER				
on to. He.		POLE	TRIP	NOTES				
1	LIGHTING	2	20A					
2	LIGHTING	2	20A					
4	PS4-1	2	30A	FINAL SIZE PER MFGR.				
4	PS4-3	2	30A	FINAL SIZE PER MFGR.				
5	PS4-5	2	30A	FINAL SIZE PER MFGR.				
6	PS4-7	2	30A	FINAL SIZE PER MFGR.				
7	PS4-9	2	30A	FINAL SIZE PER MFGR.				
8	PS4-2	2	30A	FINAL SIZE PER MFGR.				
9	PS4-4	2	30A	FINAL SIZE PER MFGR.				
10	PS4-6	2	30A	FINAL SIZE PER MFGR.				
11	PS4-8	2	30A	FINAL SIZE PER MFGR.				
12	SPACE	-	-					
14	SPACE	-	-					

MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.

					MI	OP-4 VOLTA	GE DROP CALCULA	ATION						
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMAR
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	85.1	1.49	1.49	0.621%	3#3/0 IN 2"C
MDP-4, CKT-1	401	40	6	2	167	62	0.000463	0.3	0.0370	1.8	0.07	1.56	0.649%	2#6 + 1#6G IN 2"(
401	403	80	6	2	167	62	0.000463	0.3	0.0741	1.6	0.11	1.67	0.697%	2#6 + 1#6G IN 2"
403	405	100	6	2	167	62	0.000463	0.3	0.0926	1.3	0.12	1.79	0.746%	2#6 + 1#6G IN 2"
405	407	130	6	2	167	62	0.000463	0.3	0.1204	1.0	0.12	1.92	0.798%	2#6 + 1#6G IN 2"(
407	409	110	6	2	167	62	0.000463	0.3	0.1019	0.8	0.08	1.99	0.831%	2#6 + 1#6G IN 2"0
409	411	80	6	2	167	62	0.000463	0.3	0.0741	0.5	0.04	2.03	0.847%	2#6 + 1#6G IN 2"
411	413	130	6	2	167	62	0.000463	0.3	0.1204	0.3	0.03	2.06	0.860%	2#6 + 1#6G IN 2"
MDP-4, CKT-2	402	100	6	2	167	62	0.000463	0.3	0.0926	2.3	0.22	1.71	0.710%	2#6 + 1#6G IN 2"
402	404	110	6	2	167	62	0.000463	0.3	0.1019	2.1	0.21	1.92	0.798%	2#6 + 1#6G IN 2"
404	406	80	6	2	167	62	0.000463	0.3	0.0741	1.8	0.13	2.05	0.854%	2#6 + 1#6G IN 2"
406	408	130	6	2	167	62	0.000463	0.3	0.1204	1.6	0.19	2.24	0.932%	2#6 + 1#6G IN 2"
408	410	90	6	2	167	62	0.000463	0.3	0.0833	1.3	0.11	2.34	0.977%	2#6 + 1#6G IN 2"
410	412	110	6	2	167	62	0.000463	0.3	0.1019	1.0	0.11	2.45	1.020%	2#6 + 1#6G IN 2"
412	414	120	6	2	167	62	0.000463	0.3	0.1111	0.8	0.09	2.54	1.056%	2#6 + 1#6G IN 2"
414	416	70	6	2	167	62	0.000463	0.3	0.0648	0.5	0.03	2.57	1.070%	2#6 + 1#6G IN 2"
416	418	100	6	2	167	62	0.000463	0.3	0.0926	0.3	0.02	2.59	1.080%	2#6 + 1#6G IN 2"
MDP-4, CKT-3	PS4-1	40	6	2	167	2160	0.000463	9.0	0.0370	9.0	0.33	1.82	0.760%	3#6 + 1#6G IN 2"
MDP-4, CKT-4	PS4-3	240	6	2	167	2160	0.000463	9.0	0.2222	9.0	2.00	3.49	1.454%	3#6 + 1#6G IN 2"
MDP-4, CKT-5	PS4-5	400	6	2	167	2160	0.000463	9.0	0.3704	9.0	3.33	4.82	2.010%	3#6 + 1#6G IN 2"
MDP-4, CKT-6	PS4-7	750	6	2	167	2160	0.000463	9.0	0.6945	9.0	6.25	7.74	3.225%	3#6 + 1#6G IN 2"
MDP-4, CKT-7	PS4-9	780	6	2	167	2160	0.000463	9.0	0.7223	9.0	6.50	7.99	3.329%	3#6 + 1#6G IN 2"
MDP-4, CKT-8	PS4-2	150	6	2	167	2160	0.000463	9.0	0.1389	9.0	1.25	2.74	1.142%	3#6 + 1#6G IN 2"
MDP-4, CKT-9	PS4-4	370	6	2	167	2160	0.000463	9.0	0.3426	9.0	3.08	4.57	1.906%	3#6 + 1#6G IN 2"
MDP-4, CKT-10	PS4-6	550	6	2	167	2160	0.000463	9.0	0.5093	9.0	4.58	6.07	2.531%	3#6 + 1#6G IN 2"
MDP-4, CKT-11	PS4-8	780	6	2	167	2160	0.000463	9.0	0.7223	9.0	6.50	7.99	3.329%	3#6 + 1#6G IN 2"

M 99					1		
ALES, ROD 12/7/2020 4:5			Seal	Consultants	Stantec 901 Ponce de Leon Blvd. Suite 900 Coral Gables, Florida 33134	INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA	RISER DIAGRAM  Project No. Scale 215615771
PLOTTED BY: MOR/	Revision By Appd. YY.MM.D	D Issued By Appd. YY.MM.D			Www.stantec.com  The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.	File Name: 15771_E_601.DWG ## ### ### 2020-12-07  Dwn. Chkd. Dsgn. YYYY.MM.DD	Drawing No. Sheet Revision E-604 E-122 of 152



## MDP-5 LOAD CALCULATION

YPE: UL67				MODIFICATION: NONE		
VOLTAGE: 12	0/240V-1PH-3W	DANEL "MD	P-5" SCHEDULE	ENCLOSURE: NEMA 4X		
MAINS: 200A.	M.B.	PANEL WID	P-3 SCHEDULE	LOCATION: SEE SITE PLAN		
A.I.C.S.: 65 KA	AIC			FED FROM: FP&L		
CIRC. No.	SERVICING		CIRCUIT BRE	EAKER		
J.1. (J. 110.	SERVIONO	POLE	TRIP	NOTES		
1	LIGHTING	2	20A			
2	LIGHTING	2	20A			
4	PS5-1	2	30A	FINAL SIZE PER MFGR.		
4	PS5-3	2	30A	FINAL SIZE PER MFGR.		
5	PS5-5	2	30A	FINAL SIZE PER MFGR.		
6	PS5-7	2	30A	FINAL SIZE PER MFGR.		
7	PS5-9	2	30A	FINAL SIZE PER MFGR.		
8	PS5-2	2	30A	FINAL SIZE PER MFGR.		
9	PS5-4	2	30A	FINAL SIZE PER MFGR.		
10	PS5-6	2	30A	FINAL SIZE PER MFGR.		
11	PS5-8	2	30A	FINAL SIZE PER MFGR.		
12	SPACE	-	-			
14	SPACE	-	-			

MAIN C/B AND BRANCH C/B ARE IN SERIES SHORT CIRCUIT CURRENT RATING.

					M	DP-5 VOLTA	GE DROP CALCULA	ATION						
CKT. No. OR PANEL	SERVICING	SEGMENT LENGTH (FT)	WIRE SIZE (AWG)	NUMBER OF WIRES	TEMPERATURE	TOTAL POWER (VA)	CONDUCTOR RESISTANCE (OHMS/FEET)	STATION LOAD (AMPS)	SEGMENT RESISTANCE (OHMS)	TOTAL AMPS	SEGMENT VOLTAGE DROP	ACCUMULATED VOLTAGE DROP	OVERALL VOLTAGE DROP	FEEDER SUMMARY
SERVICE	MDP-5	50	3/0	2	167	62	0.0000875	0	0.0088	85.1	1.49	1.49	0.621%	3#3/0 IN 2"C
MDP-5, CKT-1	501	40	6	2	167	62	0.000463	0.3	0.0370	1.8	0.07	1.56	0.649%	2#6 + 1#6G IN 2"C
501	503	110	6	2	167	62	0.000463	0.3	0.1019	1.6	0.16	1.71	0.714%	2#6 + 1#6G IN 2"C
503	505	150	6	2	167	62	0.000463	0.3	0.1389	1.3	0.18	1.89	0.789%	2#6 + 1#6G IN 2"C
505	507	70	6	2	167	62	0.000463	0.3	0.0648	1.0	0.07	1.96	0.817%	2#6 + 1#6G IN 2"C
507	509	100	6	2	167	62	0.000463	0.3	0.0926	0.8	0.07	2.03	0.847%	2#6 + 1#6G IN 2"C
509	511	130	6	2	167	62	0.000463	0.3	0.1204	0.5	0.06	2.10	0.873%	2#6 + 1#6G IN 2"C
511	513	60	6	2	167	62	0.000463	0.3	0.0556	0.3	0.01	2.11	0.879%	2#6 + 1#6G IN 2"C
MDP-5, CKT-2	502	120	6	2	167	62	0.000463	0.3	0.1111	2.3	0.26	1.75	0.728%	2#6 + 1#6G IN 2"C
502	504	70	6	2	167	62	0.000463	0.3	0.0648	2.1	0.13	1.88	0.784%	2#6 + 1#6G IN 2"C
504	506	110	6	2	167	62	0.000463	0.3	0.1019	1.8	0.18	2.07	0.861%	2#6 + 1#6G IN 2"C
506	508	70	6	2	167	62	0.000463	0.3	0.0648	1.6	0.10	2.17	0.903%	2#6 + 1#6G IN 2"C
508	510	80	6	2	167	62	0.000463	0.3	0.0741	1.3	0.10	2.26	0.943%	2#6 + 1#6G IN 2"C
510	512	90	6	2	167	62	0.000463	0.3	0.0833	1.0	0.09	2.35	0.979%	2#6 + 1#6G IN 2"C
512	514	90	6	2	167	62	0.000463	0.3	0.0833	0.8	0.06	2.41	1.006%	2#6 + 1#6G IN 2"C
514	516	90	6	2	167	62	0.000463	0.3	0.0833	0.5	0.04	2.46	1.023%	2#6 + 1#6G IN 2"C
516	518	110	6	2	167	62	0.000463	0.3	0.1019	0.3	0.03	2.48	1.034%	2#6 + 1#6G IN 2"C
MDP-5, CKT-3	PS5-1	130	6	2	167	2160	0.000463	9.0	0.1204	9.0	1.08	2.57	1.072%	3#6 + 1#6G IN 2"C
MDP-5, CKT-4	PS5-3	260	6	2	167	2160	0.000463	9.0	0.2408	9.0	2.17	3.66	1.524%	3#6 + 1#6G IN 2"C
MDP-5, CKT-5	PS5-5	420	6	2	167	2160	0.000463	9.0	0.3889	9.0	3.50	4.99	2.079%	3#6 + 1#6G IN 2"C
MDP-5, CKT-6	PS5-7	610	6	2	167	2160	0.000463	9.0	0.5649	9.0	5.08	6.57	2.739%	3#6 + 1#6G IN 2"C
MDP-5, CKT-7	PS5-9	40	6	2	167	2160	0.000463	9.0	0.0370	9.0	0.33	1.82	0.760%	3#6 + 1#6G IN 2"C
MDP-5, CKT-8	PS5-2	200	6	2	167	2160	0.000463	9.0	0.1852	9.0	1.67	3.16	1.315%	3#6 + 1#6G IN 2"C
MDP-5, CKT-9	PS5-4	360	6	2	167	2160	0.000463	9.0	0.3334	9.0	3.00	4.49	1.871%	3#6 + 1#6G IN 2"C
MDP-5, CKT-10	PS5-6	520	6	2	167	2160	0.000463	9.0	0.4815	9.0	4.33	5.82	2.426%	3#6 + 1#6G IN 2"C
MDP-5, CKT-11	PS5-8	700	6	2	167	2160	0.000463	9.0	0.6482	9.0	5.83	7.32	3.052%	3#6 + 1#6G IN 2"C

2/7/2020 4:56 PM			Seal	Consultants	Stantec	INDIAN CREEK VILLAGE	RISER DIAGRAM
ORALES, ROD 1					901 Ponce de Leon Blvd. Suite 900 Coral Gables, Florida 33134 www.stantec.com	ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA	Project No. Scale 215615771
PLOTTED BY: MC	Revision By Appd. YY.MM.DD	Issued By Appd. YY.MM.DD			The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to Stantec without delay.  The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.	File Name: 15771_E_601.DWG ## ### ### 2020-12-07  Dwn. Chkd. Dsgn. YYYY.MM.DD	Drawing No. Sheet Revision E-605 E-123 of 152

CREATED: 2020-12-07

				su	BMITTAL	ų į
SHEET NUMBER	SHEET TITLE	SCALE	90% CD LANDSCAPE SUBMITTAL 12/07/2020			
			J.	• = ISSUED		R = REVISION
NDSCAPE	ARCHITECTURE DRAWINGS					
_0000	COVER SHEET	n/a	T.A1			
_0001	DRAWING SUBMITTAL LOG and SHEET INDEX	n/a	•			
man-	(MIDOSADE DATA SOCIEDADE					
D000	LANDSCAPE DATA SCHEDULE	n/a	•			
.D001	LANDSCAPE DATA SCHEDULE	n/a				
.D002	SITE ELEMENTS SCHEDULE	n/a				
D101	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D101 D102	LANDSCAPE INVENTORY AND DISPOSITION PLAN  LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D102	LANDSCAPE INVENTORY AND DISPOSITION PLAN  LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D103	LANDSCAPE INVENTORY AND DISPOSITION PLAN  LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				-
D104	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				1
D106	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D107	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D108	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D109	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
D110	LANDSCAPE INVENTORY AND DISPOSITION PLAN	1/16" = 1'-0"				
P000	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a				
P001	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a				
P002	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a	•			
P003	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a				
P004	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a	X			
P005	LANDSCAPE / MAINTENANCE / CONSTRUCTION GENERAL NOTES	n/a	Children t			
P101	PLANTING PLAN	1/16" = 1'-0"	•			
P102	PLANTING PLAN	1/16" = 1'-0"				
P103	PLANTING PLAN	1/16" = 1'-0"	•			
P104	PLANTING PLAN	1/16" = 1'-0"				
P105	PLANTING PLAN PLANTING PLAN	1/16" = 1'-0" 1/16" = 1'-0"				
P106 P107	PLANTING PLAN PLANTING PLAN	1/16" = 1'-0"				
2107	PLANTING PLAN PLANTING PLAN	1/16" = 1'-0"				
P109	PLANTING PLAN PLANTING PLAN	1/16" = 1'-0"				
P110	PLANTING PLAN	1/16" = 1'-0"				
- ers 3		1 1 1 1 1 1 1 1				
P501	PLANTING DETAILS	n/a				1
P502	PLANTING DETAILS	n/a	78			
P503	PLANTING DETAILS	n/a	-			
P601	PLANTING SCHEDULE	n/a				1 1

				Seal				-	_	
				Seal	Consultants	Stantec 5801 PELICAN BAY BLVD., SUITE 300	INDIAN CREEK VILLAGE	Drawing Submittal L	_og and Sheet Index	
						NAPLES, FLORIDA, 34108  www.stantec.com	ROADWAY REDEVELOPMENT PLAN	Project No.	Scale	
						The Contractor shall verify and be responsible for all dimensions, DO NOT scale the drawina -	INDIAN CREEK VILLAGE, FLORIDA	215615771	N/A	
				KEVIN G. MANGAN, PLA FL LIC. NO.: LA 0001337		any errors or omissions shall be reported to Stantec without delay. The Copyrights to all designs and drawings are the property of Stantec. Reproduction or use for any purpose other than that authorized by Stantec is forbidden.		Drawing No.	Sheet	<u> </u>
Revision	By Appd. YY.MM.DD	90% Landscape Construction Documents Submittal (NFC) FD Sued By	) KM 20.12.07 y Appd. YY.MM.DD	STANTEC CONSULTING SERVICES INC. 5801 PELICAN BAY BLVD., SUITE 300 NAPLES, FLORIDA, 34108		These drawings may include information provided by others. Stantec has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated herein as a result.			L0001	C

NUM	Species	Caliper	Condition	Disposition	Notes	Height
	Other Tree		Good		Clusia	l l l l l l l l l l l l l l l l l l l
	Other Tree	2			Clusia	
	Other Tree	2	Good		Clusia	
	Other Tree	2			Clusia	
	Other Tree		Good		Clusia	
	Other Tree	2	Good		Clusia	
	Other Tree	2	Good		Clusia	
	Other Tree	2	Good		Clusia	
	Other Tree	24	Good			
	Other Tree	24	Good		Sea grape multi trunk Ficus rutusa	
	Olleander		Poor		Ficus rutusa	
					10 anyond	
	Ligustrum		Good		10 spread	
	Other Tree		Good		Ficus Retusa 72 caliber	
	Other Tree		Fair		Magnolia	
	Other Tree		Good		Podocarpus	
	Other Tree		Good		Magnolia	
	Other Tree		Good		Podocarpus	
	Other Tree		Good		Podocarpus	
	Other Tree		Good		Podocarpus	
	Other Tree		Good		Podocarpus	
21	Other Tree		Good		Podocarpus	
22	Other Tree		Good		Podocarpus	
23	Other Tree		Good		Podocarpus	
24	Oleander		Poor			
25	Other Tree	3	Good		Tabbibuia	
26	Golden Shower Tree	18	Good			
27	Ligustrum	4	Good			
	Green Buttonwood	6	Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Green Buttonwood		Good			
	Other Tree	- 6	Good		Ficus Nitiea 70 caliber	
			Good		Multi trunk	
	Ligustrum	30				
	Other Tree	20	<u> </u>		Cluster of trees	
	Gumbo Limbo	<del>-  </del>	Good		CI	
	Sea Grape	<del>-  </del>	Good		Cluster of trees	
	Sea Grape	30	Good		Cluster of trees	
	Sea Grape	_	Good		40 cal	
	Sea Grape	36	Good		Cluster of trees	
	Other Tree		Good		Tulip 40 cal	
	Oleander –		Good		Multi trunk	
	Other Tree		Good		Ficus specimen tree	
	Other Tree		Good		Ficus retusa specimen	
	Cuban Ficus		Good			
	Other Tree		Good		Screw pine	
	Other Tree		Good		Screw pine	
52	Other Tree	8	Good		Screw pine	
53	Black Olive	10	Good			
54	Black Olive	10				
55	Black Olive	8				
	Black Olive	6				
	Other Tree	12	Good		Pink tabebuia	
	Other Tree			1	Ficus specimen	

DNUM	Species	Condition	Disposition	Notes	Height_OA	Height_CT	Height_	_GV
59	Sabal Palm Smooth Trunk	Good				16		
60	Sabal Palm Smooth Trunk	Dead				16		
	Sabal Palm Smooth Trunk	Good				16		
	Sabal Palm Smooth Trunk	Good				16		
	Sabal Palm Booted	Good				14		
	Sabal Palm Smooth Trunk Sabal Palm Smooth Trunk	Good Good				16 16		
	Sabal Palm Booted	Good				10		
	Sabal Palm Smooth Trunk	Good				10		
	Sabal Palm Smooth Trunk	Good				16		
	Other Palm	Fair		Reclinata 4 ti	runk			-
70	Sabal Palm Smooth Trunk	Good				16		
71	Sabal Palm Smooth Trunk	Good				16		
72	Sabal Palm Smooth Trunk	Good				16		
73	Sabal Palm Smooth Trunk	Good		Under tree		16		
	Coconut Palm	Good				10		
	Sabal Palm Smooth Trunk	Good				14		
	Sabal Palm Smooth Trunk	Good				18		
	Chinese Fan Palm	Good						
	Chinese Fan Palm Chinese Fan Palm	Good Good						
	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good						
84	Chinese Fan Palm	Good		Double				
85	Chinese Fan Palm	Good		Double				-
86	Chinese Fan Palm	Good						-
87	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good		Double				
	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good						
	Chinese Fan Palm	Good		D				
	Other Palm Sabal Palm Smooth Trunk	Good Good		Date palm				
	Sabal Palm Smooth Trunk	Good				14		
	Sabal Palm Smooth Trunk					14		
	Sabal Palm Smooth Trunk	Good				16		
	Sabal Palm Smooth Trunk	<del> </del>				18		
98	Sabal Palm Smooth Trunk	Good				16		
99	Sabal Palm Smooth Trunk	Good				20		
100	Sabal Palm Smooth Trunk	Poor				14		
101	Sabal Palm Smooth Trunk	Good				13		
	Sabal Palm Smooth Trunk	<del> </del>				18		
	Sabal Palm Smooth Trunk					18		
	Sabal Palm Smooth Trunk	Poor				18		
	Washingtonia Palm	Good				35		
	Washingtonia Palm Sabal Palm Smooth Trunk	Fair Good				35 18		
	Sabal Palm Smooth Trunk	Good				18		
	Sabal Palm Smooth Trunk	Poor				18		
	Sabal Palm Smooth Trunk	Good				16		
	Sabal Palm Smooth Trunk	Poor				20		
	Sabal Palm Smooth Trunk	Poor				20		
113	Medjool Date Palm	Good						
	Medjool Date Palm	Good						
	Medjool Date Palm	Good						
	Medjool Date Palm	Good						
	Other Palm	Good		Reclinata	18			
	Sabal Palm Smooth Trunk	Good				18		
	Sabal Palm Smooth Trunk	Good				20		
	Sabal Palm Smooth Trunk	Good				18		
	Sabal Palm Smooth Trunk Sabal Palm Smooth Trunk	Good Good				20 18		
	Sabal Palm Smooth Trunk	<u> </u>				20		
	Sabal Palm Smooth Trunk	<del> </del>				20		
124	Janar i ann announ Hunk	10004		1	1			

	Species	Condition	Disposition	Notes	Height_OA	Height_CT	Height_GW
126	Sabal Palm Smooth Trunk	Good				25	
	Sabal Palm Smooth Trunk					18	
	Sabal Palm Smooth Trunk					14	
	Florida Royal Palm	Good		Double	-		1
	Florida Royal Palm	Good		Double		10	1
	Sabal Palm Smooth Trunk	Poor				18	
	Sabal Palm Smooth Trunk	Good				14	
	Sabal Palm Smooth Trunk					18	
	Sabal Palm Smooth Trunk	Good Good				17	
	Florida Royal Palm Sabal Palm Booted	Good					
	Sabal Palm Smooth Trunk	Good				22	
	Other Palm	Good		Reclinata		16	
	Sabal Palm Smooth Trunk	Good		Recimata		18	
	Sabal Palm Smooth Trunk					18	
	Sabal Palm Smooth Trunk	Good				18	
	Sabal Palm Smooth Trunk					16	
	Sabal Palm Smooth Trunk					14	
	Sabal Palm Smooth Trunk					14	
	Sabal Palm Smooth Trunk	Poor				14	
	Sabal Palm Smooth Trunk					18	
	Other Palm	Good		Reclinata		25	
		Poor				18	
	Other Palm	Good		Date palm			
	Sabal Palm Smooth Trunk	Good		, ,		14	
151	Sabal Palm Smooth Trunk	Good				16	
152	Sabal Palm Smooth Trunk	Good				18	
	Sabal Palm Smooth Trunk	Good				18	
154	Other Palm	Good		Date palm			1
155	Pygmy Date Palm	Good		•			
	Sabal Palm Smooth Trunk	Poor				18	
157	Sabal Palm Smooth Trunk	Good				18	
158	Sabal Palm Smooth Trunk	Good				16	
159	Sabal Palm Smooth Trunk	Good				16	
160	Sabal Palm Smooth Trunk	Good				14	
161	Sabal Palm Smooth Trunk	Good				16	
162	Sabal Palm Smooth Trunk	Good				22	
163	Chinese Fan Palm	Good				6	
164	Sabal Palm Smooth Trunk	Good				18	
165	Sabal Palm Smooth Trunk	Good				18	
166	Sabal Palm Smooth Trunk	Poor				18	
167	Alexander Palm	Good					2
168	Florida Royal Palm	Good					,
169	Alexander Palm	Good					
170	Florida Royal Palm	Good					-
171	Florida Royal Palm	Good		Triple			1
172	Alexander Palm	Good		Double			-
173	Alexander Palm	Good		Triple			-
	Florida Royal Palm	Good					1
	Florida Royal Palm	Good					-
	Florida Royal Palm	Good					-
	Florida Royal Palm	Dead					
	Florida Royal Palm	Good					-
	Florida Royal Palm	Good					-
	Florida Royal Palm	Good					1
	Florida Royal Palm	Good					É
	Florida Royal Palm	Good					1
	Florida Royal Palm	Good			-		1
	Florida Royal Palm	Good			+		1
	Sabal Palm Smooth Trunk	Good			+		1
	Florida Royal Palm	Good			-		2
	Florida Royal Palm	Good			-		2
	Florida Royal Palm	Good			+		2
	Sabal Palm Smooth Trunk	Good			+	12	
	Sabal Palm Smooth Trunk				-	8	
	Sabal Palm Booted	Good			-	10	
192	Sabal Palm Booted	Good				11	

Revision By Appd. YY.MM.DD Issued FD KM 20.12.07

Seal

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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

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Project No.	Scale	
215615771	N/A	
Drawing No.	Sheet	Revision
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PALM SCH									
	Species	Condition	Disposition	Notes	Height_OA	Height_	СТ	Height_	_GW
	Sabal Palm Booted	Good					5		
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm Florida Royal Palm	Good Good							22 22
	Sabal Palm Smooth Trunk	Good					20		
	Florida Royal Palm	Poor				1	۷۷		a
	Florida Royal Palm	Good							<u>9</u> 14
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good				1_			22
	Florida Royal Palm	Good							22
210	Sabal Palm Smooth Trunk	Good					25		
211	Sabal Palm Smooth Trunk	Poor					18		
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
	Florida Royal Palm	Good							22
		Good				-	24		
		Good				_	25		
		Poor					30		
		Fair					12		
		Good Good				1	35 22		
	Sabal Palm Smooth Trunk	Good							
	Florida Royal Palm	Good					10		20
	Florida Royal Palm	Good							20
	Sabal Palm Smooth Trunk	Good					16		
	Florida Royal Palm	Good							16
	Sabal Palm Smooth Trunk	Good					18		
	Other Palm	Good		Reclinata	1	0			
228	Sabal Palm Smooth Trunk	Good					18		
229	Sabal Palm Smooth Trunk	Good					26		
230	Sabal Palm Smooth Trunk	Good					16		
		Good					24		
		Poor					22		
		Good					22		
	Sabal Palm Smooth Trunk	Good					16		
	Florida Royal Palm	Good				-			40
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good				1			35
	Florida Royal Palm Florida Royal Palm	Good Good							35 35
	Florida Royal Palm Florida Royal Palm	Good							35
	Florida Royal Palm	Good				1			35 35
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good							35
	•	Poor					20		
		Poor					16		
248	Sabal Palm Smooth Trunk	Poor					18		
249	Sabal Palm Smooth Trunk	Poor					16		
	Sabal Palm Smooth Trunk	Poor					18		
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good							35
	Florida Royal Palm	Good					35		
	Florida Royal Palm	Good				-	35		
	Florida Royal Palm	Good				1			35
	Florida Royal Palm	Good				1			35
	Florida David Dal	ICc!							, , ,
258	Florida Royal Palm Other Palm	Good Good		Date palm					35 10

IDNUM	Species	Condition	Disposition	Notes	Height_OA	Height_CT	Height_GW
260	Sabal Palm Smooth Trunk	Poor				20	
261	Florida Royal Palm	Good					35
262	Florida Royal Palm	Good					35
263	Florida Royal Palm	Good					35
264	Florida Royal Palm	Good					35
265	Florida Royal Palm	Good					35
266	Florida Royal Palm	Good					35
267	Other Palm	Good		Reclinata trij	ple		16
268	Sabal Palm Smooth Trunk	Good				22	
269	Florida Royal Palm	Good					35
270	Florida Royal Palm	Good					35
271	Florida Royal Palm	Good					35
272	Florida Royal Palm	Good					35
273	Other Palm	Good		Foxtail triple			12
274	Other Palm	Good		Reclinata trip	ole		10
275	Other Palm	Good		Foxtail doubl	e		18
276	Other Palm	Good		Date palm			18
277	Sabal Palm Booted	Good				9	
278	Other Palm	Good		Date palm			18
279	Other Palm	Good		Date palm			18
280	Sabal Palm Smooth Trunk	Fair				18	
281	Queen Palm	Poor					16
282	Queen Palm	Poor					16
283	European Fan Palm	Good		Double		12	
284	Other Palm	Good					22
285	European Fan Palm	Good		Triple			S
286	Other Palm	Good		Bismarck			28
287	Sabal Palm Smooth Trunk	Good				12	
288	Sabal Palm Smooth Trunk	Good				22	
289	Sabal Palm Smooth Trunk	Good				14	
290	Sabal Palm Smooth Trunk	Good				10	
291	Areca Palm	Good			12		
292	Sabal Palm Smooth Trunk	Good				14	

SHRUB SC	HEDULE				
IDNUM	Species	Height	Condition	Disposition	Notes
293	Other Shrub	5	Good		Ficus
294	Other Shrub	5	Good		Ficus
295	Other Shrub	7	Good		Podocarpus
296	Other Shrub	7	Good		Podocarpus
297	Other Shrub	10	Good		Ficus
298	Other Shrub	7	Good		Ficus
299	Other Shrub	6	Good		Podocarpus
300	Other Shrub	6	Good		Podocarpus
301	Other Shrub	4	Good		Ixora
302	Other Shrub	7	Good		podocarpus
303	Other Shrub	8	Good		Ficus
304	Other Shrub	8	Good		Ficus
305		4	Good		Ficus
306	Other Shrub	4	Fair		Ixora
307	Other Shrub	5	Fair		Ixora
308	Other Shrub	5	Fair		Ixora
309	Other Shrub	7	Good		Podocarpus
310	Other Shrub	7	Good		Podocarpus

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Project No.	Scale	
215615771	N/A	
Drawing No.	Sheet	Revision
	LD001	00

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	MENTS SCHEDULE			MENTS SCHEDULE	
	SiteAsset	Notes		SiteAsset	Notes
	Utility Box	Flush		Other	Cable
	Utility Box	El., . l.		Backflow Preventer	
	Utility Box	Flush		Utility Box	
	Other	Water		Utility Box	NA / - 1
	Other	Water		Other	Water
	Irrigation Valvebox	Calala		Other	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Hydrant		Utility Box	
	Other	Hydrant slab		Utility Box	0.4 :11 0.1
	Other	Hydrant slab		Other	Mailbox 2 l
	Other	Utility		Other	Cable
	Other	Utility		Other	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
18	Other	Fire hydrant	85	Manhole	Sewer
	Other	Fire hydrant		Manhole	
	Other	Fire hydrant	87	Other	Cable
21	Irrigation Valvebox		88	Other	Cable
22	Irrigation Valvebox		89	Other	Other
23	Other	Cable	90	Other	Cable
24	Other	Cable	91	Utility Box	
25	Other	Water	92	Utility Box	
26	Other	Water	93	Other	Water
27	Other		94	Other	Phone
28	Other		95	Other	Mailbox
29	Other	Water	96	Utility Box	
30	Other	Water		Utility Box	
31	Manhole			Other	Water
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Hydrant		Utility Box	
	Other	Hydrant		Other	Cable
	Other	Hydrant		Other	Cable
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Cable		Utility Box	
	Other	Utility		Utility Box	
	Other	Utility		Utility Box	
	Utility Box	Electric		Utility Box	
	Utility Box	Licetife		Utility Box	
	Other	Cable		Utility Box	
	Other	CUDIC		•	
	Other	Cable		Utility Box Other	Water
	Other	Cable			
				Other	Water
	Other	Hydrant		Utility Box	
	Other	Hydrant		Utility Box	
	Other	Hydrant		Utility Box	Calal
	Utility Box			Other	Cable
	Utility Box			Other	Cable
	Utility Box			Utility Box	
	Utility Box	\\\ /=+ - ··		Utility Box	-
	Other	Water		Utility Box	
	Utility Box			Utility Box	
	Utility Box			Manhole	
	Utility Box			Utility Box	
	Utility Box			Utility Box	
	Backflow Preventer			Utility Box	
	Utility Box			Utility Box	
	Other	Water	130	Utility Box	
64	Other	Water	131	Other	Cable
65	Utility Box		132	Other	
66	Utility Box		133	Other	Cable
	Other	Cable	124	Utility Box	

TE ELE	MENTS SCHEDULE		SITE ELE	MENTS SCHEDULE	
MUM	SiteAsset	Notes	IDNUM	SiteAsset	1
135	Utility Box		202	Utility Box	
	Other	Water		Utility Box	_
	Other	Water		Other	/\
	Other	Cable		Utility Box	_
	Other	Cable		Utility Box	+
	Utility Box			Utility Box	+
	Utility Box			Utility Box Other	+
	Utility Box Other	Water		Other	1
	Utility Box	vvatei		Manhole	+
	Utility Box			Manhole	+
	Utility Box			Manhole	+
	Utility Box			Utility Box	
	Utility Box			Utility Box	
	Utility Box			Other	٦
150	Utility Box		217	Other	Ī
151	Utility Box		218	Backflow Preventer	
152	Utility Box		219	Other	(
153	Other	Cable	220	Other	(
154	Irrigation Valvebox		221	Utility Box	
155	Backflow Preventer		222	Utility Box	
	Utility Box		223	Utility Box	
	Utility Box		224	Utility Box	
	Other	Water		Other	1
	Other	Cable		Utility Box	-
	Other	Cable		Utility Box	+
	Manhole	Diverse		Utility Box	+
	Other	Phone		Utility Box	+
	Utility Box Utility Box			Utility Box	+
	Utility Box			Other Other	+
	Utility Box			Other	+
	Utility Box			Other	+
	Utility Box			Backflow Preventer	+
	Other	Water		Utility Box	
170	Other	Water		Utility Box	
171	Other	Water		Utility Box	
172	Backflow Preventer		239	Utility Box	
173	Utility Box		240	Utility Box	
	Utility Box		241	Utility Box	
	Other	Water	242	Utility Box	
	Other	Water		Utility Box	
	Other	Water		Utility Box	_
	Utility Box			Utility Box	_
	Utility Box	Calala		Utility Box	-
	Other Other	Cable		Manhole	$\perp$
	Other	Cable Cable		Other	10
	Other	Cable		Other Other	1
	Other	Mailbox 2 by 2		Utility Box	+
	Utility Box	Widness Z by Z		Utility Box	+
	Utility Box			Other	$\dagger$
	Other	Cable		Manhole	+
	Other	Cable		Manhole	$\dagger$
189	Other	Water		Other	F
190	Other	Hydrant		Utility Box	
191	Utility Box			Utility Box	
192	Utility Box		259	Other	7
193	Other	Hydrant	260	Utility Box	
	Other	Water		Utility Box	
195	Utility Box			Other	$\int$
	Utility Box		263	Utility Box	$\int$
	Other	Water	264	Utility Box	
	Utility Box		265	Other	
	Utility Box			Other	10
	Utility Box			Manhole	$\perp$
201	Utility Box	1	1 200	Manhole	1

> Cable Cable

Water

Phone

Cable

Water

Cable

Cable

Mailbox 2 by 2

NAPLES, FLORIDA, 34108

		SITE ELE	MENTS SCHEDULE	
Notes		IDNUM	SiteAsset	Notes
		269	Other	Column
		270	Utility Box	
Vater		271	Utility Box	
		272	Utility Box	
		273	Utility Box	
		274	Other	Cable
		275	Other	Cable
Cable		276	Utility Box	
Cable		277	Utility Box	
		278	Utility Box	
		279	Utility Box	
		280	Backflow Preventer	
		281	Utility Box	
		282	Utility Box	
Water		283	Other	Water
Water		284	Other	Water
		285	Other	Water
Cable		286	Backflow Preventer	
Cable		287	Utility Box	
		288	Utility Box	
		289	Manhole	
		290	Other	Cable
		291	Other	Cable
Mailbox	2 by 2	292	Utility Box	
	,-		Utility Box	
		294		Column
		295	Backflow Preventer	
		296	Utility Box	
			Utility Box	
			Utility Box	
			Other	Water
		300	Utility Box	
			Utility Box	1

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Site Elements Schedule Scale Project No. 215615771 N/A Sheet Drawing No. Revision LD002 00





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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan

Project No. Scale
215615771 1/16"=1'-0"

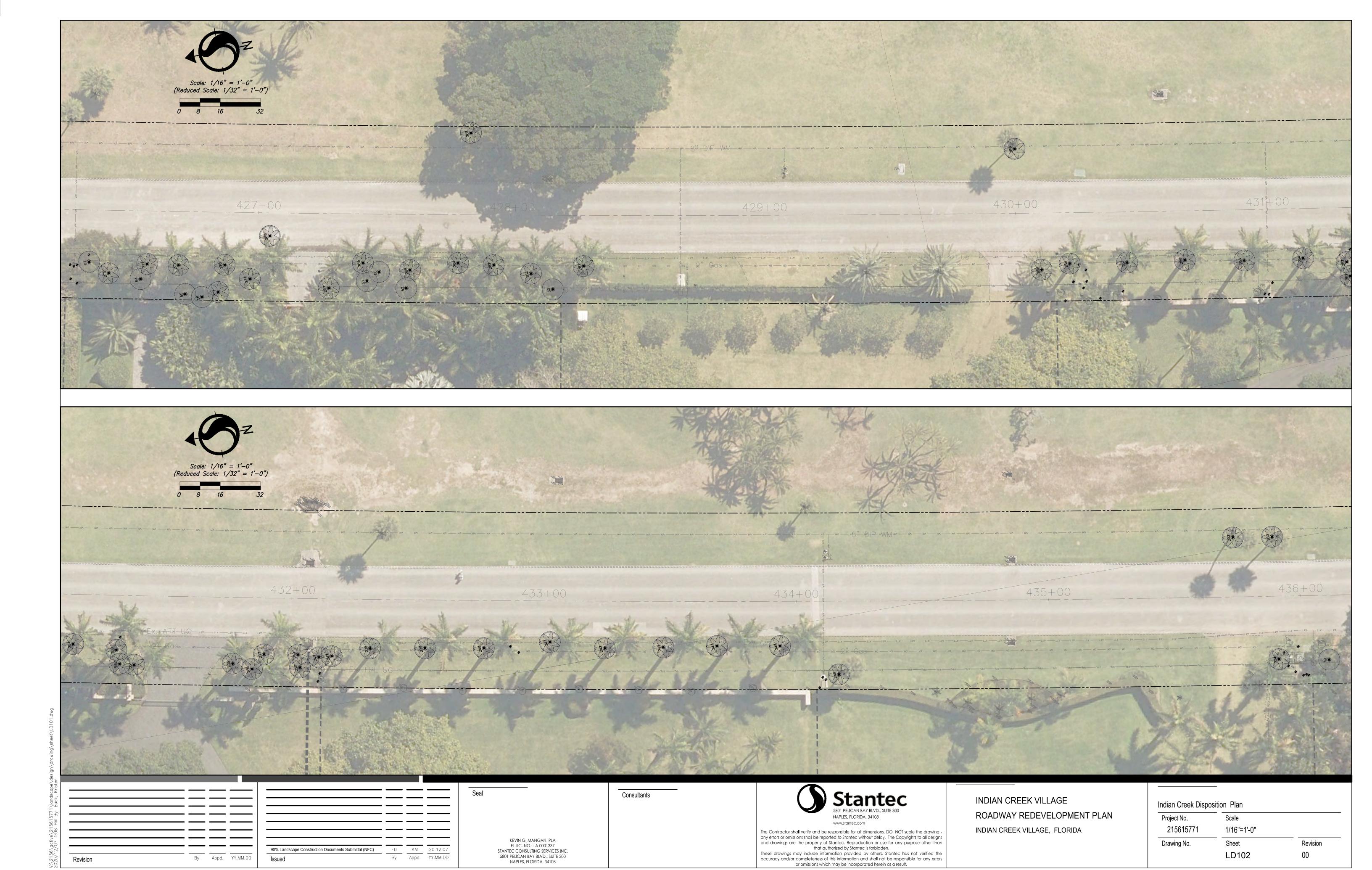
Drawing No. Sheet Revision

LD101

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Revision

ORIGINAL SHEET - ANSI D HORIZ (22" x 34")



LD102

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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

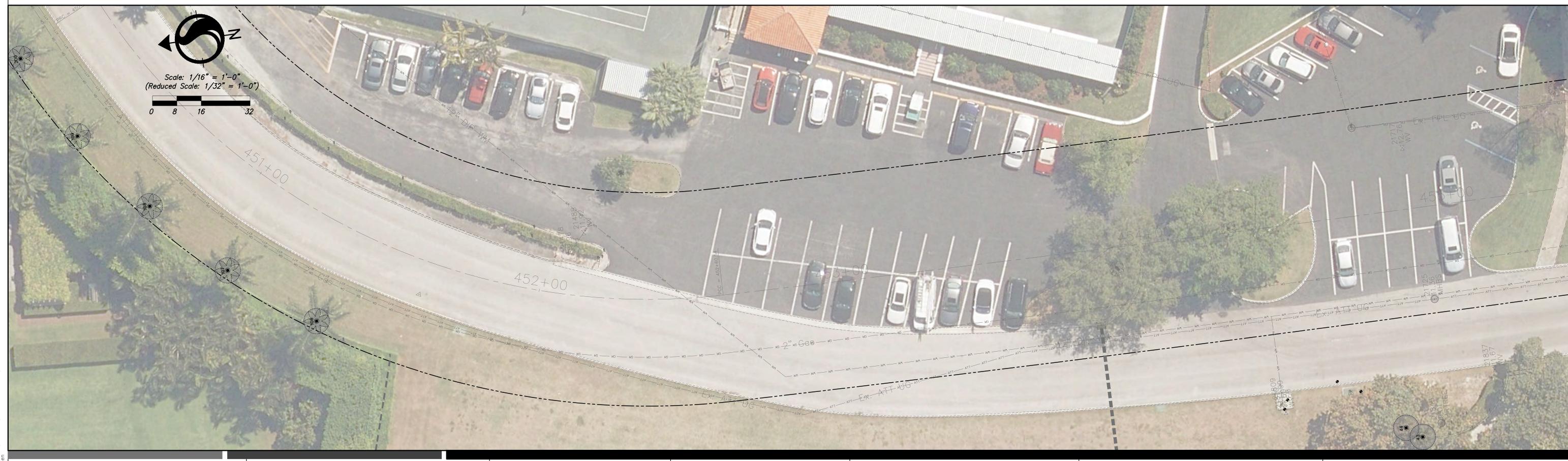
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Indian Creek Disposition Plan Scale Project No. 215615771 1/16"=1'-0"

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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

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INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan

Project No. Scale
215615771 1/16"=1'-0"

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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

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INDIAN CREEK VILLAGE, FLORIDA

 Indian Creek Disposition Plan

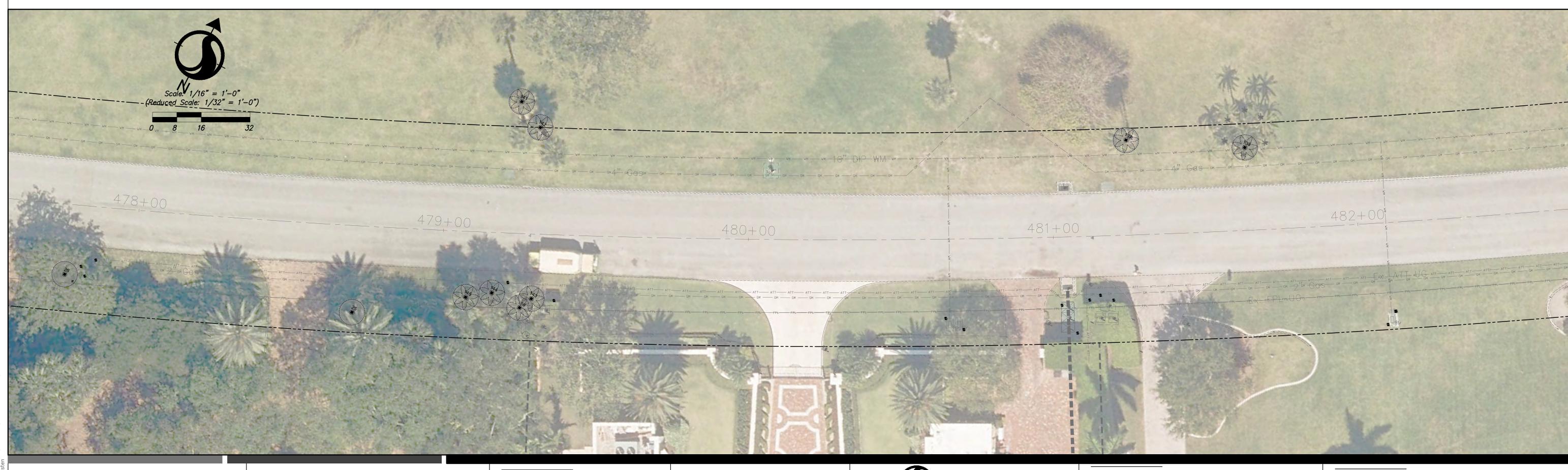
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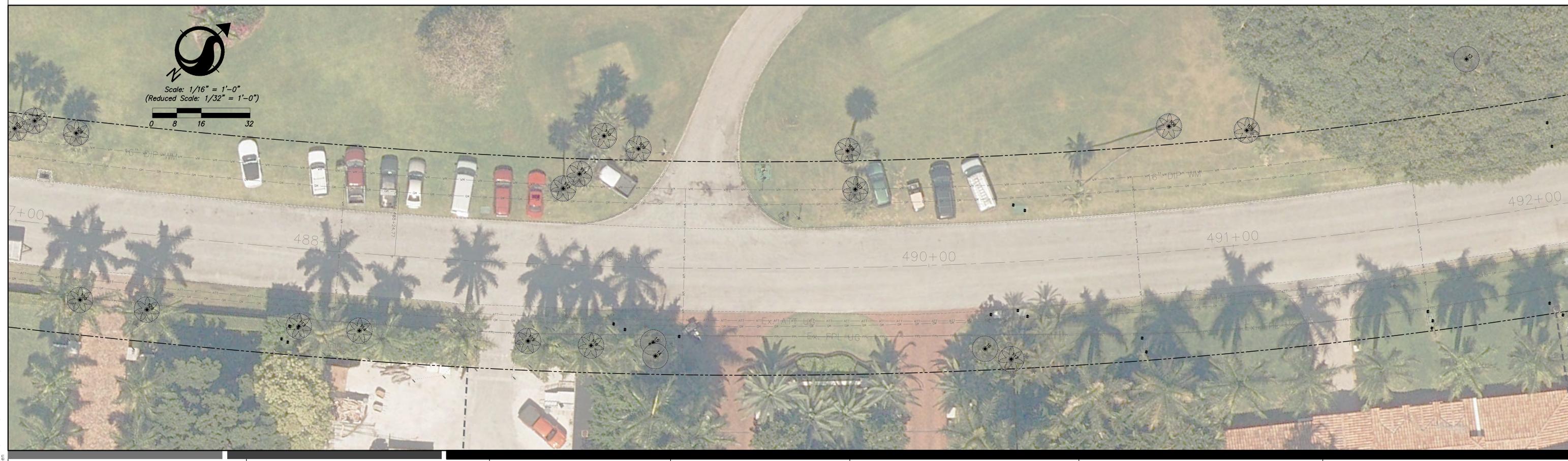
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Indian Creek Disposition Plan

Project No. Scale
215615771 1/16"=1'-0"

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INDIAN CREEK VILLAGE
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INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Disposition Plan

Project No.

215615771

Drawing No.

Sheet

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ORIGINAL SHEET – ANSI D HORIZ (22" x 34")

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Indian Creek Disposition Plan Scale Project No. 215615771 1/16"=1'-0" Drawing No. Revision LD109 00

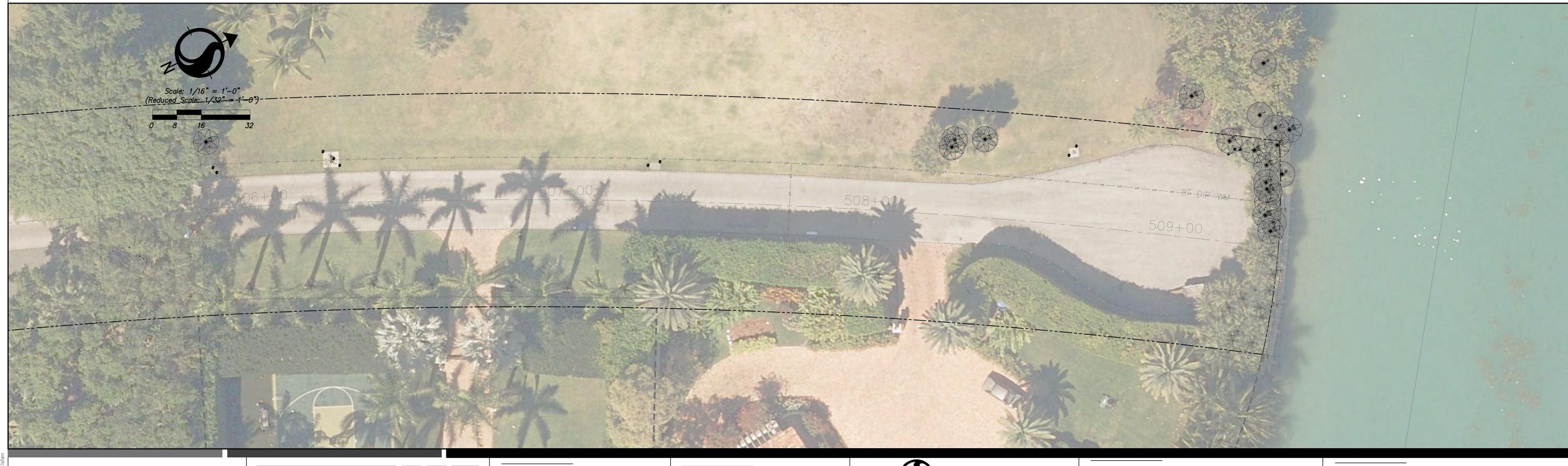
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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

 Indian Creek Disposition Plan

 Project No.
 Scale

 215615771
 1/16"=1'-0"

 Drawing No.
 Sheet
 Revision

 LD110
 00

Revision

ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

## **DIVISION 32 - EXTERIOR IMPROVEMENTS** (LANDSCAPING)

## LANDSCAPE GENERAL NOTES

## PART 1 - GENERAL NOTES (LANDSCAPE GENERAL NOTES)

#### 1.1. SCOPE:

- A. Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the contract drawings and specified herein.
- Install all work in conformance with industry standard trade practices as outlined in CSI Standards unless otherwise noted or amended on the drawings.

#### 1.2. RELATED WORK SPECIFIED ELSEWHERE:

- A. DIVISION 00 PROCUREMENT AND CONTRACTING REQUIREMENTS
- DIVISION 01 GENERAL REQUIREMENTS
- DIVISION 02 EXISTING CONDITIONS
- DIVISION 03 CONCRETE
- DIVISION 04 MASONRY
- DIVISION 05 METALS
- DIVISION 06 WOODS, PLASTICS, AND COMPOSITES
- DIVISION 07 THERMAL AND MOISTURE PROTECTION
- **DIVISION 09 FINISHES**
- DIVISION 10 SPECIALTIES
- DIVISION 11 EQUIPMENT
- DIVISION 12 FURNISHINGS
- DIVISION 22 PLUMBING
- **DIVISION 31 EARTHWORKS**
- O. DIVISION 33 UTILITIES

#### 1.3. QUALITY ASSURANCE

- A. Provide plant materials in compliance with applicable state and federal laws relating to inspection for diseases and insect infestation.
- All plants must be healthy, vigorous material, free of pests and diseases.
- Plant materials in some instances may exceed No. 1 grade in order to meet the minimum requirements of this project.
- D. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug.
- Observation at growing site DOES NOT preclude the right of rejection at job site. Plants damaged by neglect or improper handling during transit or at the job site as determined by the Landscape Architect may be rejected at no cost to the project.
- All plant material shall be of No. 1 grade or better quality at time of installation and shall be maintained in this same condition until completion of the guarantee period. Decline in condition of plant material during any period (installation, establishment, guarantee) shall be grounds for rejection and replacement as determined by the Landscape Architect at the contractor's expense.
- Employ only qualified personnel familiar with the required work.
- H. All plant material shall be installed in a sound, workmanlike manner and according to accepted good planting procedures with the quality of plant materials as hereinafter described. All elements of site and soil preparation, landscaping, and irrigation shall be installed so as to meet all applicable ordinances and code requirements. It is the contractors responsibility to ensure all applicable codes and ordinances are being met.
- Off-site topsoil and topsoil on-site testing:
  - Provide source of off-site soil to the Landscape Architect for purposes of soil investigation and
  - Take random representative soil samples from project areas to be planted.
  - At the Landscape Contractor's expense, test soil samples from both sources for ph, alkalinity, total soluble salts, porosity, sodium content and organic matter and provide results to Landscape Architect for review and acceptance. Lab analysis of soils must contain recommended remediation instructions for the Landscape Architect's consideration.

## 1.4. REFERENCED STANDARDS:

- A. "Florida Grades and Standards for Nursery Plants", published by The Florida Department of Agriculture and Consumer Services.
- "American Standards for Nursery Stock" (ANSI Z60.1-2014), as amended.
- Florida State Statute 553.81 "Protection of Underground Pipelines".
- The Federal Highway Administration Manual of Uniform Traffic Control Devices, Millennium Edition.
- Florida Department of Transportation (FDOT) Design Standards, latest edition, Traffic Control Through Work Zones, Series 600 indices.
- Florida Department of Transportation (FDOT) Roadway and Traffic Design Standards, latest edition,
- Florida Department of Transportation (FDOT) Maintenance Rating Program, latest revision.
- ASTM International American Society for Testing and Materials.
- AASHTO The American Association of State Highway Transportation Officials. Americans with Disabilities Act (ADA), The ADA Compliance Handbook, latest edition.
- The Florida Accessibility Code.

- National Arborist Association Standards.
- "Arboriculture Second Edition" by Richard W. Harris, as amended.
- Land Development Code (LDC) as defined by local municipality, city, or county standards.
- The South Florida Water Management District Xeriscape Plant Guide 2.

#### 1.5. SUBMITTALS:

- A. Submit one (1) quart samples of the following materials:
  - Sandy Loam Topsoil
  - Organic Amendment
  - Mulch Potting Soil
- Submit a minimum of three (3) representative soils samples for laboratory soil test analysis results for on-site topsoil and imported sandy loam topsoil. Label each sample with the date, location keyed to a site plan or other location system, visible soil condition, and sampling depth. Laboratory test results shall include the following data based on the test results: state recommendations for soil treatments and soil amendments to be incorporated to produce satisfactory planting soil suitable for healthy, viable plants indicated. Include, at a minimum, recommendations for nitrogen, phosphorous, and potassium fertilization, and for micronutrients.
- Submit manufacturer's data for the following:
- Fertilizer
- Potting Soil
- Steel, Aluminum, or Polyethylene Edging
- Submit digital photographs of all plant materials for Landscape Architect approval PRIOR TO DELIVERY to the site.
- File Certificate of Inspection of plant material by state and federal authorities with Landscape Architect.
- File the Grower's and/or State Certificate of Inspection of plant material to the Landscape Architect two (2) weeks minimum before commencement of work.
- By providing a bid on these Landscape Contract Documents, the Landscape Contractor is certifying that all plant materials as specified herein is available and will be provided to this project.
- Any substitutions in size and/or plant material species must be approved by the Landscape Architect in writing PRIOR TO PROCUREMENT AND/OR DELIVERY TO THE PROJECT SITE. All plants will be subject to the acceptance by the Landscape Architect BEFORE planting can begin.
- INSTALLATION PERIOD: The contractor is responsible for maintaining in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, at the end of the installation phase by the Owner and Landscape Architect. Contractor to request inspection of project in writing at end of installation period. Landscape Architect and Owner acceptance shall initiate the establishment period.
- ESTABLISHMENT PERIOD: Contractor to guarantee, maintain, replace failed plant materials, and water plant material for a ninety (90) day establishment period following date of installation period completion. Contractor to request inspection of project in writing after ninety (90) day establishment period. Landscape Architect and Owner acceptance shall allow the the contractor to request the quarantee period phase start.
- GUARANTEE PERIOD: If all work is satisfactory and complete in accordance with the conditions of the contract documents, the contractor shall request in writing an acknowledgment of substantial completion from the Owner and Landscape Architect. Acknowledgment of substantial completion constitutes the beginning of the one (1) year guarantee period. Contractor to notify the Landscape Architect ten (10) business days prior to end of guarantee period to schedule a site review with the Landscape Architect and Owner of plant material at which time a final determination of plant health and replacement of failed plant materials as determined by the Landscape Architect will be identified at no cost to the project.

## 1.6. PRODUCT DELIVERY, STORAGE AND HANDLING:

- PREPARATION FOR DELIVERY:
  - Balled and burlapped (B&B) plants: dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
  - Container grown plants: deliver plants in containers sufficiently rigid to hold ball shape and protect root mass during shipping.
  - All rootballs shall conform to the size standards set forth in "American Standards for Nursery Stock".

## DELIVERY:

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- Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. protect materials from deterioration during delivery and while stored at site.
- Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on the job site.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner WILL NOT be held responsible for theft or damage.
- If balled plants cannot be planted within 24-hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
- Protect with cloth or other approved means of "windburn" prevention during delivery to prevent damage to root ball or desiccation of leaves. Contractor to field verify all deliveries and condition of materials PRIOR TO UNLOADING. All plant materials that are damaged or not conforming to specifications are to be rejected and removed from the site immediately. Any replacement of rejected material due to not meeting standards of care as determined by the Landscape Architect will be replaced at no cost to the project.
- Contractor shall take all due care and implement safe guards during transit to not bruise trunks, break branches or fronds, and prevent unnecessary structural stress to the plant material. Plant material not meeting standards of care and damaged as determined by the Landscape Architect will be replaced at no cost to the project.
- Notify the Landscape Architect of delivery schedule 48-hours in advance so plant material may be observed upon arrival at job site.

8. Remove rejected plant material IMMEDIATELY from site upon instruction to do so.

#### 1.7. JOB CONDITIONS:

#### A. PLANTING RESTRICTIONS:

- 1. Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice.
- 2. The Landscape Contractor shall field verify all information above and below ground, prior to initiating planting installation.
- The Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and acceptance of the Landscape Architect PRIOR TO commencement of plant installation.

#### B. PROTECTIONS:

- 1. DO NOT move equipment over existing or newly placed structures without approval of Landscape Architect, Owner, and General Contractor.
- 2. Provide board-roading and sheeting as required to protect paving and other improvements from
- 3. IN NO WAY shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
- 4. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans. The Landscape Contractor shall install a 4.0' height orange nylon or chain link type fence affixed with nails or staples to sturdy posts (metal fence stakes or 2x4 wood, set to a depth of 2'-0" minimum) surrounding all existing vegetation and/or vegetation to be protected and relocated. Fencing to be installed in the Critical Protection Zone - the area surrounding a tree within a circle described by a radius of one (1) foot for each inch of tree trunk diameter measured at 54" above finished grade (for groups of trees, locate fence between trees and construction activity) - the fence shall be located to protect a minimum of 75% of the critical protection zone. Shrubs and groundcover vegetation shall have a minimum 5.0' buffer between fence and construction zone. No construction debris, vehicles, chemicals, or other construction activity shall be allowed within the root zone and/or critical protection zone, either directly or indirectly.

#### C. UTILITIES:

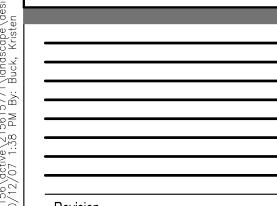
- 1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate where required to minimize possibility of damage to underground
- 2. Contractor shall acquaint himself with all site conditions. Where excavation is required, the contractor shall promptly notify the local public works department and underground utility locating entity, power company, and any other utilities (gas companies, cable tv, phone, etc.) forty-eight (48) hours minimum prior to construction operation and prior to any connection to existing utility locations. Failure to do so will make the contractor liable for any and all damage, costs, and penalties there to arising from its operations. It is the contractors responsibility to protect all utilities (existing and newly installed) from damage. Report any conflicts to the Landscape Architect within two (2) business days for resolution prior to construction.
- 3. The contractor shall comply with Florida State Statute 553.81 "Protection of Underground Pipelines" for projects located within the State of Florida.
- 4. Should the Landscape Contractor cause damage to any utilities, necessary repairs shall be made as quickly as practicable, at the Landscape Contractor's expense, under supervision of the Landscape Architect and/or Owner.
- Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned. Coordinate landscape installation work with the irrigation contractor to prevent damage to
- underground sprinkler systems. Inspect irrigation system and ensure that adequate water is available before beginning planting operations. Irrigation systems will not provide sufficient quantities of water for newly planted materials. The landscape contractor is responsible for deep root hand watering.

## 1.8. WARRANTY:

- A. Warrant plants and trees for one (1) year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and/or upon notification by Landscape Architect. Replace plants, including trees, which in the opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- Replace plants and trees with same kind and size as originally planted, at no cost to Owner. Provide one (1) year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects, wildlife, or diseases.
- At the end of the warranty period, staking and guying materials shall be removed from the site by the Landscape Contractor unless otherwise agreed upon.

## 1.9. MAINTENANCE:

- A. Water must be made available on site. Provide necessary hoses and other watering equipment or vehicles required to complete work.
- Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, cleaning and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- A written notice requesting final inspection and acceptance should be submitted to Landscape Architect seven (7) working days prior to completion. At that time Owner and Landscape Architect will prepare a final punch list to be reviewed with the Landscape Contractor. When such project is deemed complete by the Landscape Architect, an on-site inspection by Owner, Landscape Contractor and Landscape Architect will be completed prior to written acceptance.
- D. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The contractor shall provide Owner with a recommended maintenance program.



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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

Landscape / Maintenance / Construction General Notes Scale Project No. 215615771 N/A Drawing No. Revision 00 LP000

## PART 2 - PRODUCTS (LANDSCAPE GENERAL NOTES)

#### 2.1. PLANTS:

- A. QUANTITIES: The drawings, plant list, and specifications are complementary: anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plans PRIOR TO procurement and/or installation.
- B. The Landscape Contractor must notify the Landscape Architect thirty (30) days BEFORE INSTALLATION if plant material cannot be found meeting the specifications required in the contract documents.
- C. The Landscape Contractor is responsible to meet the plant material specifications provided in the Contract Documents. Plant material specifications provided ARE A MINIMUM. All minimum specifications shall be met and if any one of the specifications must be increased so that other collective minimum requirements are met, it is the contractors responsibility to do so.
- E. Plants shall be equal to well formed No. 1 grade or better (unless otherwise noted in the drawings), symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of the species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form. Plants deemed unacceptable by the Landscape Architect either before or after planting shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- E. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
- F. Plants shall have a well-developed fibrous root system.
- G. All root balls shall conform to the size standards set forth in the "American Standards for Nursery Stock".
- H. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
- I. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the owner.
- J. Plants shall meet the sizes indicated on the plant list. Where a size or caliper range is stated, at least 80% of the material shall be closer in size to the top of the range stated.
- K. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. Trees grown in grow bags or grow bag type material must have the grow bag removed entirely prior to planting.
- L. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.

#### 2.2. SOIL PREPARATION MATERIALS:

- A. ORGANIC AMENDMENT: Well decomposed, stable, weed free organic compost. The product shall contain no substances toxic to plants, shall be free of nematodes, and shall be reasonably free (<1% dry weight) of man-made foreign matter. The compost will possess no objectionable odors and shall not resemble the raw material from which it is derived. The product shall have a Ph of between 5.3 and 6.5 (as determined in accordance with ASTM E70), a soluble salt concentration of less than 10 ds/m, and an organic matter content of 30-65% dry weight, with 98% passing through a 3/4" screen.
- B. FLORIDA PEAT shall be sterilized to make it free of all viable nut grass and other undesirable weeds.
- PRE-MIXED SOILS will be considered "as equals" when samples are submitted for the Landscape Architect's review with manufacturer's data and laboratory test reports. Samples not accompanied by the manufacturer's data and laboratory test reports will not be reviewed and are rejected.
- D. SANDY LOAM TOPSOIL:
  - 1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign grasses. Soil containing nut grass and other undesirable weeds shall be rejected.
  - 2. Physical properties as follows: clay between 7-27 percent; silt between 28-50 percent; sand less than 52 percent.
- E. SHARP SAND: Clean, washed sand, (fine aggregate) meeting ASTM C-33.
- F. HERBICIDE: Apply an approved herbicide according to manufacturer's rate and specification within limits of all areas to be planted. Provide all manufacturer data to Landscape Architect for approval prior to application. Protect existing plants to remain from over-spray or spray within root zone. Contractor to ensure total weed eradication.
- G. Scarify subsoil to a depth of three (3) inches then apply an approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Provide all manufacturer data to Landscape Architect for approval prior to application. Follow manufacturer's recommended waiting period prior to new landscape installation.

## 2.3. COMMERCIAL FERTILIZER:

A. ORGANIC FERTILIZER: Shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.

TREES: 8-6-6 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper

PALMS: 13-3-13 plus minor elements - slow release; 1/2 lb fertilizer per 1/2 inch caliper

SHRUBS & GROUNDCOVERS: 8-10-10 plus minor elements - slow release; 1/2 lb fertilizer per 100 ft2

90% Landscape Construction Documents Submittal (NFC)

TURF: 16-4-8 plus minor elements - slow release; 1 lb fertilizer per 1000 ft2

By Appd. YY.MM.DD

## Note

The cost for landscape fertilizer as described above shall be included in the per plant price.

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2.4. MULCH:

- A. Contractor shall mulch all plant beds and tree rings throughout and completely to a consistent three (3)
- inch depth with clean, weed free melaleuca in dark brown color unless otherwise specified.
- B. Samples required for approval by the Landscape Architect prior to procurement and/or installation.C. Typical Specification: www.GOMULCH.com "Florimulch Brown" or approved equal.

#### 2.5. WATER:

- A. The preferred water source shall be potable, suitable for irrigation, and shall be free from ingredients harmful to plant life
- A water source utilizing well or lake water shall be designed and maintained in a manner which eliminates staining of the building, walks, walls, and other site improvements. Provide a strainer / filter for all water sources derived from a well or lake source.
- C. Reclaimed water sources must meet the Environmental Protection Agency's standards and must maintain setback separation from public bathing areas, food service, and healthcare facilities as prescribed by the Florida Department of Environmental Protection (FDEP) (F.A.C. 62-610.471) and the Florida Department of Health (FDOH).
- IRRIGATION AFTER PLANTING AND DURING ESTABLISHMENT: Regular irrigation after planting is essential for survival and establishment of all plant materials. Establishment is the amount of time required for plant materials to grow a sufficient root system to support growth in their planted environment. Regular irrigation after planting shall follow the below schedule guidelines for vitality and establishment of plant materials:

#### < 2" CALIPE

Irrigate daily for two (2) weeks; every-other day for two (2) months; weekly until established.

#### 2" - 4" CALIPER:

Irrigate daily for one (1) month; every-other day for three (3) months; weekly until established.

#### > 4" CALIPER:

Irrigate daily for six (6) weeks; every-other day for five (5) months; weekly until established.

- 1. At each irrigation, apply two to three gallons per inch trunk caliper to the root ball surface. Apply it in a manner so all water soaks the entire root ball. Do not water if root ball is wet/saturated on the irrigation day.
- 2. When irrigating for vitality, delete daily irrigation when planting in winter or when planting in cool climates. Establishment takes three (hardiness zones 10-11) to four (hardiness zones 8-9) months per inch trunk caliper. Never apply irrigation if the soil is saturated.

#### 2.6. MISCELLANEOUS MATERIALS (IF APPLICABLE):

- A. Steel edging.
- Jute erosion mesh / matt.
- Coconut husk matting / Coir natural fiber matting.
- Filter fabric: Tencate Mirafi 140 N non-woven fabric (unless otherwise noted) or approved equal.
- E. Tree wrapping paper: waterproof 6" wide crepe.
- F. Staking and guying materials:
  - 1. Wood stakes: 2" x 4" dense pine, pressure treated, painted dark brown.
  - 2. Turn buckles: galvanized steel, 3/8-inch eye, 6-inch opening.
  - 3. Tie wire: 12 gauge galvanized wire.
  - 4. Black hose: 2 ply, fiber reinforced hose, minimum 1/2-inch inside diameter.
- Tree paint: asphaltic base paint with antiseptic properties, manufactured for use on tree wounds.
- H. Pea gravel: washed 3/8-inch diameter native pea gravel.
- I. Crushed stone: 1" diameter crushed limestone.
- . Antidesicant: Wiltpruf (nursery specialty products, inc., stubbins road, grotton falls, n.y.) or approved equal.
- C. Fungicide: zinc ethylene bisdithiocarbonate (zineb) or equal.
- L. Plastic sheet: 4 mil black polyethylene, perforated at twenty four inches on center.

## PART 3 - EXECUTION (LANDSCAPE GENERAL NOTES)

## 3.1. CONDITION OF SURFACES:

- A. The Landscape Contractor will be responsible for any required excavation and for raking and smoothing of grade. It is recommended that the Landscape Contractor coordinate with the grading contractor to establish subgrades for planting areas as required below.
- B. Examine subgrade upon which work is to be performed. Notify the Landscape Architect of unsatisfactory conditions immediately.

## 3.2. MIXING SOILS:

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- A. PLANTING MIX: Shall consist of sandy loam topsoil,organic amendments, and sharp washed sand. Sand component may be increased or decreased based on sand content of topsoil submitted to the Landscape Architect.
  - 1. ROYAL PALMS: 60% sharp washed sand and 40% approved topsoil / solid waste compost.
  - 2. TREES / ALL OTHER PALMS: 90% washed sharp sand and 10% approved topsoil / solid waste
  - 3. SHRUBS, AND GROUND COVERS: 70% washed sharp sand and 30% approved topsoil / solid waste compost

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Pre-mixed soils may be accepted in lieu of above mix as noted herein. Contractor to submit soil analysis test of the soil mixture for approval by the Landscape Architect.

- C. Take imported, unamended soil from sources that are naturally well-drained sites where topsoil occurs at least 4 inches deep, not from agricultural land, bogs, or marshes; and that do not contain undesirable organisms; disease-causing plant pathogens; or obnoxious weeds and invasive plants including, but not limited to, quackgrass, Johnsongrass, poison ivy, nutsedge, nimblewill, Canada thistle, bindweed, bentgrass, wild garlic, ground ivy, perennial sorrel, and bromegrass.
- D. Clean soil to be free of the following:
  - 1. UNACCEPTABLE MATERIALS: Concrete slurry, concrete layers or chunks, cement, plaster, building debris, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, acid, and other extraneous materials that are harmful to plant growth.
  - 2. UNSUITABLE MATERIALS: Stones, roots, plants, sod, clay lumps, and pockets of coarse sand that exceed a combined maximum of 8 percent by dry weight of the imported soil.

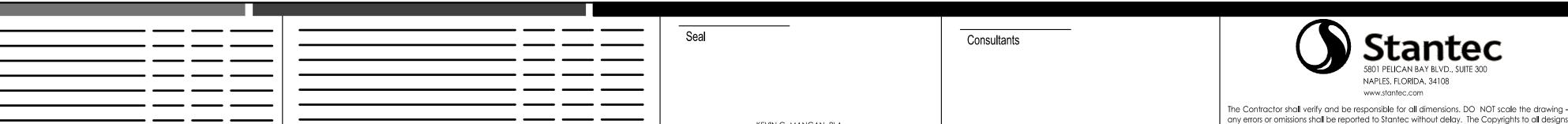
#### 3.3. BED PREPARATION:

- A. All bed areas on plans where shrubs and/or groundcovers are continuously planted shall receive a minimum of 6" depth of continuous planting mix.
- Lay out bed areas for Landscape Architect approval PRIOR TO DIGGING.
- Excavate existing material as needed to allow placement of 6" of planting mix and 3" of mulch.
- D. Scarify bed area subgrade where excessive compaction is greater than 85% standard proctor to a depth of 12" by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- E. Evenly spread 6" of continuous planting mix throughout the planting area. DO NOT incorporate into native soils below.F. whenever a planting bed falls within the dripline of existing trees to remain, do not excavate as noted
- below. utilize the following bed preparation:

  1. Evenly spread the following amendments over the entire bed area and lightly incorporate into the
- 1. Evenly spread the following amendments over the entire bed area and lightly incorporate into top 1" of soil with rake or other hand implement. Amendments per 1000 sf shall be:
  - A) 3 cy organic amendment
  - B) 30 lb organic fertilizer
  - C) 40 pounds gypsum
  - D) 2 pounds sulfur
- G. Rake amended areas clean and remove all rocks, roots, and debris. Dirt clods and clay lumps greater than 1" in diameter shall be broken apart or removed.

#### 3.4. TREE PLANTING:

- A. Stake tree locations for Landscape Architect's approval PRIOR TO DIGGING.
- B. Plant trees in pits 2 TIMES THE DIAMETER OF THE ROOT BALL and EQUAL TO DEPTH OF ROOT BALL.
- C. Landscape Contractor shall ensure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions as determined by the Landscape Architect at no cost to the project.
- D. After excavation of tree pits, review water percolation with Landscape Architect. If tree pit does not drain adequately prepare hole for use with a tree sump. Paint pvc stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
- . In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal of the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- F. Trees grown in grow bags or grow bag type material must have the grow bag REMOVED ENTIRELY prior to planting.
- . Balled and burlapped material shall have the top one half (1/2) of the burlap around the base of the trunk cut and pulled back. Do not remove burlap. Wire cages, straps, etc. must be cut and removed prior to installation.
- Backfill tree pits with a mixture of 1/2 planting mix and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturers recommendations. Apply Superthrive per manufacturer's recommendations complete backfilling and form a saucer around the tree. Fill saucer with water and leave to soak in. Fill saucer with water again.
- I. Completely fill each tree saucer with mulch to a consistent depth of three (3) inches.
- Landscape Contractor shall keep trees plumb until established. Provide guying and/or staking to maintain a plumb condition. If trees are not plumb, the Landscape Contractor will be required to re-guy and/or re-stake those trees in a method acceptable to the Landscape Architect at no additional cost to the project. The trees must stand upright and straight under it's own form and not bend under it's own weight. Staking and/or guying shall not be used as a substitute for non-conforming plant materials. Trees unable to stand upright and straight and maintain it's form as determined by the Landscape Architect are rejected and to be replaced at no cost to the project.
- K. Guying and staking practices shall not permit nails, screws, wires, etc., to penetrate the outer surface of trees or palms. Trees or palms rejected due to this practice shall be replaced at the contractor's expense with the Landscape Architect and/or Owner on site.
- PRUNING: Prune trees to preserve the natural character of the plant in a manner appropriate to its particular requirements in the landscape design as directed by the Landscape Architect or qualified licensed Arborist as accepted by the Landscape Architect. In general, remove at least one-third of wood by thinning and pruning. Do not cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.
- M. Removal and disposal of all staking and guying of trees and palms after the establishment and guarantee period shall be the responsibility of the contractor unless otherwise agreed upon with the Owner in writing.



By Appd. YY.MM.DD

INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Landscape / Maintenance / Construction General Notes

Project No. Scale
215615771 N/A

Drawing No. Sheet Revision
LP001 00

ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

Revision

#### 3.5 SHRUB PLANTING:

- A. Typically, shrub plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing) as shown in the planting details. Plant center to center dimensions (o.c.) are listed in the plant materials schedule. Plants not conforming to triangular spacing or center to center dimensions as determined by the Landscape Architect shall be rejected and replaced at no cost to the project.
- B. Place plants in position on bed areas before pots have been removed. Obtain approval from Landscape Architect prior to digging. Do not remove burlap from B&B plants. Landscape Architect reserves the right to interchange or shift plants prior to planting.
- C. All shrubs outside prepared bed areas or with root balls deeper than depth of bed preparation shall be pocket planted. Excavate planting hole 2 times the width and height of the root ball. Backfill with planting mix.
- D. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- E. Water each plant thoroughly with hoses to eliminate air pockets.
- F. Carefully prune plants to remove dead or broken branches and hand rake bed areas to smooth even surfaces.
- G. After planting has been completed and approved by the Landscape Architect, mulch bed areas to a depth of three (3) inches. DO NOT mulch beds prior to acceptance by the Landscape Architect.

#### 3.6 GROUNDCOVER AND SEASONAL COLOR PLANTING:

- A. All groundcover and seasonal color planting shall occur in prepared bed areas per specifications with at least 6 inch depth of planting mix.
- b. Typically, groundcover and seasonal plantings are shown as mass planting beds. Plants shall be placed on a triangular spacing configuration (staggered spacing) as shown in the planting details. Plant center to center dimensions (o.c.) are listed in the plant list/schedule. Plants not conforming to triangular spacing or center to center dimensions as determined by the Landscape Architect shall be rejected and replaced at no cost to the project.
- C. Place plants in position on bed areas before pots have been removed. Obtain approval from Landscape Architect prior to digging. The landscape architect reserves the right to interchange or shift plants prior to planting.
- D. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- E. Water each plant thoroughly with hoses to eliminate air pockets.
- F. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even
- G. After planting has been completed and approved by the Landscape Architect, mulch bed areas to a depth of three (3) inches. DO NOT mulch beds prior to acceptance by the Landscape Architect.

#### 3.7 CLEANUP:

A. During work, keep premises neat and orderly including organization of storage area. Remove trash, including debris resulting from removing weeds and rocks from planting areas, preparing beds, or planting plants from site daily as work progresses. Keep walkway and driveway areas clean by sweeping and/or hosing.

## 3.8 SUBSTITUTIONS:

- A. Any substitutions in size and/or plant material must be approved by the Landscape Architect in writing prior to procurement and/or delivery to the work site. All plants will be subject to approval by the Landscape Architect BEFORE planting can begin. Such permission must be secured without additional cost or delay in schedule to the project.
- B. Installation of any approved substitutions is within the contractor's scope of responsibilities as if it were the original specification. Any changes required for installation of any approved substitution must be made to the satisfaction of the Landscape Architect and Owner without additional cost to the project.
- C. Any accepted substitution resulting in a credit to the Owner/project shall be identified, documented and provided to the Owner/project without delay.

## **END OF SECTION**

# LANDSCAPE GROUNDS MAINTENANCE

The Landscape Contractor is to render the following landscape maintenance services during the term of the initial construction contract. In addition, the Landscape Contractor is to include a price for a one-year extended maintenance contract to begin after the construction project is complete and accepted. This price is to be submitted on a separate line item.

## PART 1 - GENERAL (LANDSCAPE GROUNDS MAINTENANCE)

## 1.1 SCOPE:

- A. WORK INCLUDED IN BASE BID: Perform all work necessary utilizing acceptable horticultural practices for the exterior landscape maintenance of the project as required herein. Such work includes, but is not limited to the following:
  - 1. Monitoring adjustment and minor repair of the landscape irrigation system.
  - 2. Protection of vacuum breakers against freeze damage, if applicable.

    3. Moving adding and trimming of troop and shrubs.
  - Mowing, edging and trimming of trees and shrubs.Pruning and trimming of trees and shrubs.
  - 5. Re-staking and adjustment of stakes and guying if required.

- 6. Approval, by Owner and Landscape Architect, of material substitutions prior to use.
- 7. Application of fertilizers, insecticides and herbicides.
- 8. Replacement of plant material (extra service).
- 9. General site clean up, removal of trash, plant debris and products of maintenance.B. EXTRA SERVICES: The intent of the contract is to provide a comprehensive maintenance program to
- include all required services, except those services specifically excluded, to perform the work for the stated time period.
- 1. All services not included in the base bid shall be considered "extra services" and will be charged for separately according to the nature of the item of work. The written consent and authorization of the Owner or their authorized representative must be obtained prior to the performance or installation of such "extra services" items and prior to purchase of any chargeable materials.
- 2. Such work may include replacement of dead plant materials or major repairs of irrigation system created by acts of vandalism or other contracts or other site related work.
- . Authorized extra services work must be summarized weekly and submitted with receipts to the Owner.
- 4. The Owner is not bound by the specifications or contract to utilize the landscape maintenance contractor in the performance of "extra service work".
- . The landscape maintenance contractor shall coordinate his activities with other contractors on the site so as to not hinder the performance of any work.
- 6. Authorized charges for extra work will be paid monthly.

#### 1.2 SUBSTITUTIONS:

- A. Specific reference to manufacturer's names and products specified in the Contract Documents are used as standards, but this does not imply the right to substitute other material or methods without written approval of the Landscape Architect and Owner. Such permission must be secured without additional cost to the project.
- B. Installation of any approved substitutions is within the contractor's scope of responsibilities as if it were the original specification. Any changes required for installation of any approved substitution must be made to the satisfaction of the Landscape Architect and Owner without additional cost to the project.
- C. Any accepted substitution resulting in a credit to the Owner/project shall be identified, documented and provided to the Owner/project without delay.

#### 1.3 SCHEDULE:

A. All work under this contract shall be performed in accordance with the project schedule as defined by the Owner or authorized representative.

#### 1.4 CONTRACTOR'S PERFORMANCE:

- A. The contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the contractor's presence on the site shall be as inconspicuous as possible.
- B. The intent and spirit of these Contract Documents is to provide a guideline for the contractor to follow in order to provide Owner with landscape maintenance services of the highest quality. Where the manual refers to "as-needed" or "as-required" the intent is for the contractor to perform the services necessary to maintain the property at the highest possible quality level. Nothing contained within these documents shall be interpreted as relieving the contractor of its responsibility to perform the work in a professional manner and to the complete satisfaction of the owner.
- C. If disputes arise as to the quality of the services performed, the Owner, Owners Designated Representative, or Landscape Architect shall make the final determination of responsibilities.

## 1.5 NEGLECT AND VANDALISM:

- A. Turf, trees or plants that are damaged or killed due to Landscape Contractor's operations, negligence or chemicals shall be replaced at no expense to the project as determined by the Landscape Architect. If plant damage or death is caused by conditions beyond the Landscape Contractor's control, replacement shall be at the Owner's expense as determined by the Landscape Architect.
- B. Sprinklers or structures that are damaged due to the contractor's operations must be replaced by the contractor promptly at no additional cost to the project. Likewise, damage to the irrigation system by others shall be corrected immediately by the contractor, at the Owner's expense as determined by the Landscape Architect.
- C. All water damage, either natural or man-made, resulting from contractor's neglect shall be corrected at the contractor's expense without delay.
- . All damage to or thefts of landscaping and irrigation installations not caused or allowed by the contractor as determined by the Landscape Architect shall be corrected by the contractor at the Owner's expense upon receipt of written authorization to proceed.

## 1.6 JOB CONDITIONS:

- A. Contractor shall acquaint himself with all site conditions. Should excavation be required the contractor shall promptly notify the local utility coordination entity for utility locations. Failure to do so will make contractor liable for any and all damage there to arising from his operations.
- Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage to its original condition or furnish and install equal replacement at its expense.

## 1.7 EMERGENCIES:

A. The contractor shall answer emergency or complaint calls within twelve (12) hours and corrective action

shall be complete within twenty-four (24) hours.

B. The contractor shall answer emergency calls regarding the landscape irrigation system failure or need of repair, and take corrective action within eight (8) hours. Such work, unless caused due to neglect on the part of the landscape maintenance contractor as determined by the Landscape Architect, shall be considered "extra services".

#### 1.8 RESTRICTION:

A. DO NOT use growth regulators or growth retardants on this work.

#### PART 2 - MATERIALS AND MACHINERY (LANDSCAPE GROUNDS MAINTENANCE)

#### 2.1 IRRIGATION SYSTEM MATERIALS:

- A. Replacement materials throughout the system shall be as specified and/or noted on the "Contract Documents", new and in perfect condition.
- B. Irrigation shall be installed to meet or exceed Appendix F "Proposed Construction Building Codes for Turf and Landscape Irrigations Systems" of the Florida Building Code, Plumbing (latest edition), and in accordance with ASTM D2855 unless otherwise noted herein.

#### 2.2 MATERIALS:

Materials listed under this section are expressly specified for use but does not prohibit or restrict the contractor from providing other approved materials not listed in order to complete the work required herein as submitted to and approve by the Landscape Architect. All materials shall be new and in perfect condition.

- A. PRE-EMERGENCE WEED CONTROL: contractor option (granular)
- B. POST-EMERGENCE WEED CONTROL: contractor option
- C. HERBICIDE: contractor option.
- D. INSECTICIDE: contractor option.
- E. FUNGICIDE: contractor option.
- F. FIRE ANT CONTROL: Shall be slow release applied at six (6) week intervals. Spot treat weekly with a contact product where mounds appear. Alternate products each interval for effective control.
- G. SHRUB BED FERTILIZER: Apply at manufacturer's recommended slow release rates for each plant used
- H. LAWN FERTILIZER: 15-5-10 with 50% sulphur coated urea and 4% iron.
- . TREE FERTILIZER: contractor option. Apply using the maximum manufacturer's recommended rate and procedures.
- J. MULCH: Clean, weed free Melaleuca in dark brown color unless otherwise specified.
- K. TREE STAKES AND GUYS: Shall match those in use at the site.

#### 2.3 MACHINERY:

Machinery requirements listed under this section are not intended to be restrictions of specific manufacturers or models unless so stated. Specific mention of manufacturers is intended as a guide to illustrate the final product of maintenance operations desired.

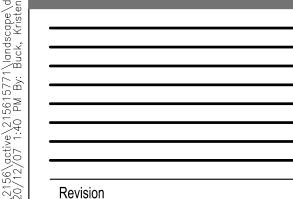
- A. MOWERS: Shall be commercial grade rotary type in good working order, finely tuned to protect the lawn from excessive exhaust fumes. Blades shall be sharp to reduce shredding of the cut grass blades. Grass catchers not required. Blade height shall be set to never remove more than 1/3 of the leaf blade. Avoid mowing when turf/lawn is wet.
- B. LAWN EDGERS: shall be of a rigid blade type that will produce a fine clean edge where lawns meet walkways, pavements or curbs.
- C. PRUNING TOOLS: Shall be maintained in good working order, cutting edges shall be sharp. Disinfect all tools when used for the removal of diseased limbs with a twenty (20%) percent solution of Chlorox and water.

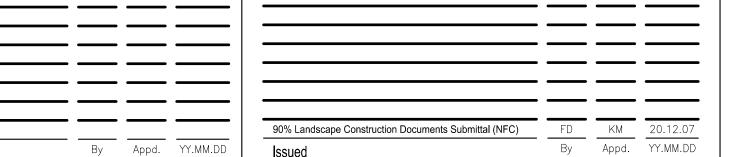
## PART 3 - EXECUTION (LANDSCAPE GROUNDS MAINTENANCE)

## 3.1 LANDSCAPE IRRIGATION SYSTEM:

The Landscape Irrigation Contractor shall, a total of 18 times a year, monitor and program the automatic controlling devices to provide optimum moisture levels in all planted areas.

- A. Irrigation cycles shall be set to take place prior to sunrise (usually 4:00 5:00 am) unless otherwise instructed by the Owner or Landscape Architect, except during visits of grounds maintenance personnel. During such visits the irrigation system may be operated as desired by those personnel.
- B. DO NOT program controllers operating on the same water meter to water during the same time period so as to prevent over-draft of water meters. DO NOT switch controller to "off" at any time, except as required for testing and for maintenance operations.
- C. Complete sprinkler system servicing shall be performed as required to maintain sprinklers in correct operating condition, including all required labor. April through September the operation of sprinklers shall be inspected and monitored on a twice-per-month basis to assure proper cover and operation. October through March monitor and inspect sprinklers once per month or upon the request of the Owner. This check shall include visual "inspection" of all accessible components of the irrigation system including but not limited to controllers, remote control valves, rain sensors, drip irrigation, quick couplers and heads.
- D. Adjust sprinklers to avoid damage to windows, buildings and sign walls, also adjust heads to keep water off the street and sidewalks. Make repairs and alterations to the sprinkling system and water lines. All sprinkler repairs such as cleaning of head or breaks caused by the contractor shall be the contractor's responsibility to repair immediately at his expense.
- E. A fully automatic irrigation system with a controller and applicable moisture (rain) sensor located to receive direct rainfall shall be provided.







FL LIC. NO.: LA 0001337

STANTEC CONSULTING SERVICES INC

5801 PELICAN BAY BLVD., SUITE 300

Consultants



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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Landscape / Maintenance / Construction General Notes

Project No. Scale
215615771 N/A

Drawing No. Sheet Revision
LP002 00

- F. All plantings shall have 100% full coverage with irrigation. Provide one bubbler per tree/ palm and drip or spray mechanisms for shrubs, groundcover and grasses/turf.
- Valve sizing, detailing and mainline routing may be adjusted by the Landscape Architect to accommodate the needs of the landscape design in the field.
- H. Landscape Architect reserves the right to use drip, bubblers, stream bubbler, or spray irrigation in shrub areas as required by field conditions.
- The irrigation system will operate with separate valve zones for turf areas and shrub planting areas where efficiency of separation allows. The controller will be set to operate appropriate run times for the various zones and their required precipitation needs in accordance with best management practices for irrigation of Florida landscapes.
- J. The irrigation system will be installed to minimize the application of water to impervious areas, adjacent properties, and existing vegetation.
- Irrigation shall be installed to meet or exceed Appendix F "Proposed Construction Building Codes for Turf and Landscape Irrigations Systems" of the Florida Building Code, Plumbing (latest edition), and in accordance with ASTM D2855.

#### 3.2 TREE MAINTENANCE:

- A. Trees that may require guys, stakes or special care during the winter winds and rains shall receive the required care prior to the time of rains and high winds to insure that no damage results to the plant material.
- B. Contractor shall maintain staking and guying of trees at all times and shall be responsible for any damage to trees or plat materials caused by chafing or breakage or foliage or limbs coming in contact with stakes or guys. Replace broken plant stakes and ties as needed. If ties are too tight, they must be replaced or adjusted.
- C. All suckers shall be continually removed from trees.
- Grass shall be trimmed at the base of trees in a manner that shall protect tree trunks from cutting of bark and cambium layer. DO NOT use "power trimmers". Each tree within a lawn or turf area shall have a 3" depth ring of mulch no less than twenty-four (24) inches beyond it's trunk in all directions.
- E. Annual tree pruning and/or shaping as needed. Always prune out dead wood. Refer to schedule. Contact Owner and/or Landscape Architect prior to commencing any pruning or shaping work.
- Mulch trees only when so directed by the Owner.
- Spray all trees four times per year to control foliar feeding insects. The spray shall consist of alternately spraying 2 times with an insecticide spray and 2 times with a fungicide beginning in March, with the last spray in September.
- Continually remove suckers.
- Monitor for aphids, powdery mildew and other common ailments and treat immediately to eliminate these problems.

#### 3.3 GUIDELINES FOR CRAPE MYRTLE TREES:

- A. Prune Crape Myrtles in February to remove dead branches and to shape head for spring/summer
- B. Fertilize in February each year with super phosphate applied per manufacturer's recommendations for flowering trees.

## 3.4 TURF MAINTENANCE:

- A. MOWING: All common Bermuda and/or St. Augustine grass shall be mowed approximately every seven days March through October. During periods of mild weather the cut should not be lower than two and one-half (2 1/2") inches from the soil. Never scalp the lawn or cut more than one-third (1/3) the existing top growth in one mowing. On irrigated areas, remove any accumulated clippings or clumps, never allowing clippings or clumps to remain on lawn surface more than four (4) hours. All sidewalks and curbs shall be edged as well as other objects (non living) in the grass zone. Allow grass to grow up to but not over sprinkler heads. Trim grass around heads with a circular sprinkler head trimmer. DO NOT use "weed-eaters" to trim around sprinkler heads. Damaged sprinkler heads caused by improper maintenance shall be immediately replaced at contractor's expense.
- WATERING: Provide a regular, deep watering program. The established turf should not be kept wet but should dry out somewhat between waterings. A twice weekly watering is good under regular conditions, but if it is hot or windy, water more often. In very hot weather, a fast watering with fine spray will cool the turf zone and can supplement the regular, deeper watering program. In shaded areas caused by trees, water more frequently because of the competition for soil moisture. If lawn wilts (shows grey-brown) water more frequently.
- C. LAWN FERTILIZER: April 1st: 22-0-6 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. May 15th 24-6-12 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. July 1st: 15-5-10 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. August 15th: 15-5-10 analysis at the rate of 10 pounds fertilizer per 1,000 square feet, nitrogen content shall consist of 50% sulphur coated urea. Analysis shall include 4% iron. October 1st: 22-0-06 analysis applied at the rate of 10# per 1,000 square feet. no sulphur coated urea, no iron.
- D. FERTILIZER: Trace elements in fertilizer shall be based on the recommendations of the soil laboratory. The fertilization program will be closely monitored by the Owner. The contractor shall prepare submittals prior to each application showing the area to be covered, the quantity of fertilizer to be applied, and the rates of applications. The Owner will monitor the application to insure that materials and procedures are as specified.
- WEED CONTROL AND UNDESIRABLE GRASS GENERAL:
  - 1. Contractor shall use extreme care in the use of chemicals for weed control. Before such applications are made, the turf should be well established and in a vigorous condition.
  - All chemical applications shall be properly licensed with the proper governing authorities.
- The contractor shall carry the insurance required by the governing authority.
- 4. Apply chemicals at the manufacturer's recommended rate to achieve complete control of weeds

- and undesirable grasses.
- All products utilized on this project must be labeled for turf use.
- Spot treatment of weeds and undesirable grasses shall be achieved without damaging the
- F. WEED AND UNDESIRABLE GRASS CONTROL SCHEDULE: All turf shall be sprayed 2 times in early spring for post-emergent control of winter weeds, and 2 times in June - August for post-emergent control of crabgrass and other broadleaf grasses, for a total of 4 cycles. NOTE: If permanent turf establishment is not complete, do not apply pre-emergent herbicide. Summer/fall spot treat turf areas to achieve a minimum 98% pure stand of turf.
- G. INSECTS: Control insects with regular applications of commercial insecticides at the manufacturer's recommended rate.
- H. DISEASES: Spray for diseases when they first become apparent with an approved commercial fungicide strictly according to the manufacturer's recommendations.
- Maintain mulched saucers around all trees for one year after planting. Trim grass as required to prevent grass from encroaching into the saucer area. No "weed-eaters" shall be used around the trunk of any tree at any time.
- If initial installation (any or all) of the project site is in winter rye, the contractor will at that time change the mowing and trimming rate to 45 times a year. Contractor shall also during the 1 year maintenance period and at the appropriate season, chemically kill out winter rye and hydromulch
- K. One application of herbicide will be applied to over-seeded turf to aid in the eradication of rye grass.

#### 3.5 SHRUB AND GROUNDCOVER BED MAINTENANCE:

- A. Weeding of all shrub, groundcover beds and seasonal color beds shall be performed twice monthly (total 24 times)
- B. All shrub and groundcover beds shall be pruned 8 times a year March October in an attempt to develop the natural form of the plant.
- C. Pre-emergent weed control shall be applied 1 time in early spring and 1 time in late fall in planter beds only after careful thought of what is to occur in planters during the growing season.
- All shrub, groundcover beds and seasonal color areas shall be fertilized 3 times per year at a rate of 2 pounds of fertilizer per 1,000 square feet. April 1st: 22-0-6, July 1st: 15-5-10, October 1st: 22-0-6.

#### 3.6 USE OF HERBICIDES, INSECTICIDES, STERILANTS, POISON, AND ANIMAL TRAPS:

- A. The contractor shall be granted permission upon Owner approval to use such herbicides, insecticides, poison, and animal traps as it may find necessary and advantageous in its grounds maintenance activities. Herbicides, insecticides, sterilants, and animal traps must be used responsibly and in conformance with federal, state and local laws and regulations. The contractor assumes all liability for damage and/or injury resulting from accident or misuse of these products and/or equipment. The owner retains the right to prohibit the use of any herbicide, insecticide, poison, or animal trap that they may judge to be undesirable for any reason.
- Product leaving an undesirable residue or odor (i.e., weed oil, bloodmeal, etc.) shall not be used. The owner shall be notified prior to application and advised of any danger associated with the use of
- these products (i.e., to avoid personal contact with sprayed areas, etc.).
- Apply insecticides as needed to protect all plant materials from damage. The insect control program shall include slugs and snails and advance preventive spraying for twig borers. The contractor shall be responsible for choosing the chemicals and insecticides he uses and shall be accountable for any misuse
- E. Apply the proper fungicide, herbicide and pesticides for the control of pests, weeds and plant diseases or treat cuts on turf, plants and trees.

## 3.7 GENERAL CLEAN UP:

- A. The contractor shall dispose of all waste materials or refuse from his operations off the property.
- All plant growth shall be prevented in any cracks in walks or within paved areas.
- Leaves, papers, grass clippings or other debris shall be removed at least weekly or at each visit from all
- Sweep roads and walks of refuse, dirt and other materials which may be deposited as a result of the D. maintenance operation. Trash and plant litter shall NOT BE ALLOWED to enter storm water structures, catch basins, yard drains, deck drains, or collect at drainage flumes.
- Contractor will evaluate mulch four (4) times a year during the 1-year maintenance period and replace bare spots as needed.

## PART 4 - SCHEDULE (LANDSCAPE GROUNDS MAINTENANCE)

## 4.1 SCHEDULE:

A. The schedule as included herein shall govern the work. Should the contractor require an alteration of the schedule, contact the Landscape Architect and Owner for review and approval prior to

## PART 5 - MAINTENANCE SCHEDULE (LANDSCAPE GROUNDS MAINTENANCE)

## 5.1 Mowing, edging, trimming, litter clean up, irrigation monitoring and other related maintenance:

	MA	INTE	NAN	ICE S	SCH	EDUL	_E						
DESCRIPTION	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC	TOTAL
MOW		•				MOW V	VEEKLY		•		•		52
EDGE / TRIM					ED	GE / TRI	M WEE	KLY					52
CLEAN / TRASH / WEED BEDS			PRIO	R TO EA	CH MO	WING A	ND EDG	E /TRIM	1 ACTIV	ITIES			52
IRRIGATION / SPRINKLERS			MANU	JALLY W	/ET TES	T IRRIG	ATION	OPERAT	TON WE	EKLY			52
POST-EMERGENT (LAWN)			1	1		1		1					4
	POST EMERGENT OF WINTER WEEDS  POST-EMERGENT OF CRABGRASS AND OTHER BROADLEAF GRASSES												
FERTILIZE (LAWN, SHRUBS & GROUNDCOVERS)		1			1		1			1			4
FERTILIZE (TREE & PALMS)		1			1		1			1			4
PRE-EMERGENT (SHRUBS & GROUNDCOVERS)				1						1			2
PRUNE (SHRUBS & GROUNDCOVERS)		•	•		BI-WE	EKLY AN	ID AS N	EEDED	•		•		26
PRUNE (ORNAMENTAL GRASSES)				1						1			2
PRUNE (TREES & PALMS)				1 TREE		1 PALM			1 TREE				3
INSECT & DISEASE CONTROL (LAWN & BEDS)	Т	REAT A	S NEEDI	ED OR P	ER OWI	NER'S SI	PECIFIC	MAINT	ENANCE	REQUI	REMENT	rs	
TREES & PALMS (INSECTICIDE)					T	REAT AS	NEEDE	D					
TREES & PALMS (FUNGICIDE)					Т	REAT AS	S NEEDE	ED .					
MULCHING					1						1		2

#### **END OF SECTION**

## LAWNS, TURF, AND GRASSES

## PART 1 - GENERAL (LAWNS, TURF, AND GRASSES)

#### 1.1 SCOPE:

A. Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications. Replace any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for lawns, turf, and grasses.

## 1.2 PAYMENT:

- A. Payment for grass planting or hydro-seeding for general turf areas will be made after final acceptance based on the method of payment stated in the bid proposal. If based on area units, such as square feet or square yards, payment will be based on actual field measurements. The contractor shall seed, fertilize, maintain and establish a healthy stand of grass before acceptance or payment for grass will be considered by the Landscape Architect and Owner.
- B. Bidders shall be aware that estimates of work under the specifications for monthly payments are made on non-perishable materials only. Payments for perishables will be made after final acceptance of the project. All grass planting, tilling, fertilizer, etc. shall be considered perishable, therefore, no partial payments will be paid for grass planting and associated work.

## 1.3 MAINTENANCE OF GRASS:

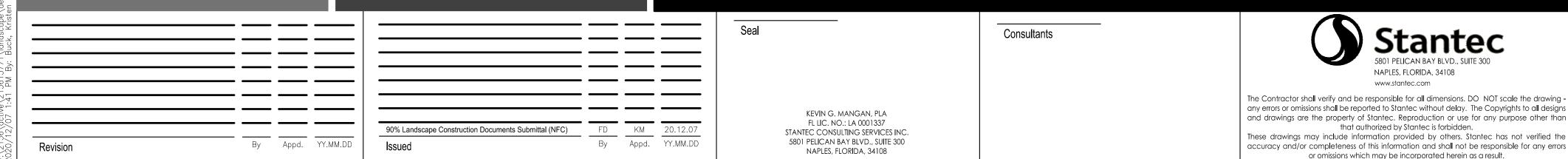
A. The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, mowing, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.

## 1.4 JOB CONDITIONS:

- A. WATER: Water must be made available on site. Provide necessary hoses and other watering equipment or vehicles required to complete work.
- B. Lawn areas will be left within 0.1 foot of finish grade by other trades. Fine grading, raking and smoothing will be the responsibility of the contractor.

## 1.5 SCHEDULE

- A. SEEDING / HYDRO-SEEDING:
  - 1. NORTH / CENTRAL FLORIDA: Complete only between May 1 to August 31 under favorable





that authorized by Stantec is forbidden.

INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

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- conditions (warm season)
- 2. SOUTH FLORIDA: Complete only between April 1 to September 15 under favorable conditions (warm season).
- B. SEEDING/HYDROMULCHING:
  - Complete only between September 1 to April 30, except at front of project, as determined by Landscape Architect and Owner, under favorable climatic conditions.

#### C. SODDING:

- NORTH / CENTRAL FLORIDA: May 1 to August 31 (warm season) and September 1 to April 30 (cool season) with overseed of perennial rye.
- 2. SOUTH FLORIDA: April 1 to September 15 (warm season) and September 16 to April 30 (cool season)(use nursery overseeded sod in cool season, if available).
- D. QUALIFICATIONS: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.

#### 1.7 ACCEPTANCE:

A. The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner and the Landscape Architect.

## PART 2 - MATERIALS

#### 2.1 TOPSOIL:

- A Topsoil ..... be friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material. Topsoil containing weeds and foreign grasses shall be rejected.
- Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil. It shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous matter. Spread topsoil mixture to minimum depth of three (3) inches throughout all areas and six (6) inches in all shrub and groundcover beds. Remove all rocks and other objects over one (1) inch in diameter.
- C. Smooth all prepared topsoil to three (3) inches below top of surrounding pavement edges. Finish grade all prepared topsoil areas to a smooth, even surface assuring positive drainage away from the structures and and eliminate any low areas which may collect water.
- D. Smooth topsoil mixture to six (6) inches below grade in areas to be sodded.
- Topsoil shall not be extremely acidic or alkaline, nor contain toxic substances which may be harmful to plant growth. The Ph shall be in the range of 5.5 to 6.5. if necessary, the contractor shall apply the appropriate soil amendments adjusting soil Ph to assure a Ph range of 5.5 to 6.5.
- Physical properties as follows:
  - Clay between 7-27 percent
  - Silt between 28-50 percent
- Sand less than 52 percent

#### 2.2 GRASS:

- A. GRASS SEED: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Florida state seed law. Minimum purity germination 90 percent.
- B. SOD: Solid sod, live, rich, dark green in color, free of foreign grasses, weeds, nutgrass, cut with a full 1 inch of heavy soil covering roots. Deliver to site in 16" x 24" rectangle slabs or 24 inch wide rolls. Do not stack for more than 24 hours between time of cutting and time of delivery. Sod shall have tight, staggered joints. Sand all joints filling voids and roll to consistent surface free of clumps, dips, ridges, etc. The Landscape Architect and Owner shall review final sod installation for acceptance upon notification of completion by contractor. Areas not meeting specifications as determined by the Landscape Architect shall be removed and replaced at no additional cost to the project.

## 2.3 FERTILIZER:

- Fertilizer shall be organic base, uniform in composition, dry and free flowing. deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.
- First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron, plus micro nutrients.
- Second application: 3:1:2 element ratio. nitrogen source to be a minimum 50% slow release organic nitrogen (scu or uf) plus minimum 8% sulfur and 4% iron plus micro nutrients.

## 2.4 MULCH FIBER:

A. WOOD CELLULOSE FIBER FOR HYDROMULCH: Enviro-Gro Cellulose Fiber Hydraulic Mulch or approved equal with green color additive.

## 2.5 TACKIFIER:

A. Natural, non-asphaltic vegetable gum with gelling and hardening agents.

## 2.6 SHARP SAND:

A. Clear, washed sand (fine aggregate) per ASTM C-33.

## 2.7 HERBICIDE:

- A. Apply an approved herbicide according to manufacturer's rate and specification within limits of all areas to be planted. Provide all manufacturer data to Landscape Architect for approval prior to application. Protect existing plants to remain from over-spray or spray within root zone. Contractor to ensure total weed eradication.
- Scarify subsoil to a depth of three (3) inches then apply an approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Provide all manufacturer data to Landscape Architect for approval prior to application. Follow manufacturer's recommended waiting period prior to new landscape installation.

## PART 3 - EXECUTION

#### 3.1 PREPARATION:

- A. Scarify lawn areas where excessive compaction is greater than 85% standard proctor to a depth of 6-inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- Leave areas free of weeds and ready for final grading.
- Provide barricades around scarified areas to prevent compaction by construction vehicles.

#### 3.2 SPREADING TOPSOIL:

- No topsoil shall be placed until subgrade is approved by Landscape Architect.
- B. Contractor to furnish and spread topsoil on lawn areas to a depth of six (6) inches unless otherwise noted in the
- Work topsoil to a smooth uniform surface and compact firmly.
- Feather topsoil into undisturbed areas creating a smooth, even transition. Spread additional topsoil in undisturbed areas to eliminate water ponding.

#### 3.3 FINAL GRADING:

- A. Remove from site and legally dispose of stones 1-inch and larger, sticks, roots and other debris exposed during
- Provide finish grading leaving surface uniform without depressions and undulations, graded approximately 1
- Secure approval from the Landscape Architect prior to proceeding with grassing or planting operations.

#### 3.4 HERBICIDE:

A. Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed pesticide applicator following the manufacturer's recommendations.

#### 3.5 FERTILIZER:

- A. Place first application with hydromulch at rate of 12 pounds per 1,000 square feet.
- Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.

#### 3.6 HYDROMULCH / SEEDING:

- A. At the time of hydromulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
- Hydromulch seed uniformly at the rate of 2 pounds of Bermuda Grass seed per 1,000 square feet or other rate as specified on plans.
- Add tackifier to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.
- Use a 4' x 8' batter board against bed areas.

#### 3.7 MECHANICAL SEEDING:

A. Seed uniformly at a rate 125 pounds of Bermuda Grass seed per acre. Use grass drill, brillion seeder, or viking

#### 3.8 SOLID SOD:

- A. SOLID SOD: Plant grass by hand, edge to edge with staggered joints. Top dress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact. All grass installed during the winter months (September-April) shall be overseeded before installation (not overseeded at site.)
- B. FERTILIZING: Fertilize immediately after grass is planted at rate of 4 lbs. per 1,000 square feet. Repeat fertilizing at the same rate 3-4 weeks later. Modify application rate if recommended by soil testing lab.

## 3.9 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:

- Water lawn areas immediately after grassing operation.
- Continue watering as required to keep soil uniformly moist to a minimum depth of four (4) inches.
- Be alert to over-watering newly planted grass, particularly in heavy clay soils.

## REPLANTING / EROSION CONTROL:

- Correct any erosion that may occur during the establishment of grass.
- Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved at no additional cost to the project.
- A stand of grass will be defined as a uniform cover of actively growing turf.

## MOWING/WEED CONTROL:

- Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches set mower to cut at 2-inches. a minimum of two mowings is required.
- Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved by the Landscape Architect, herbicide spot treatments may be used.

## 3.10 CLEANUP:

A. During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

## **END OF SECTION**

KEVIN G. MANGAN, PLA

FL LIC. NO.: LA 0001337

STANTEC CONSULTING SERVICES INC

5801 PELICAN BAY BLVD., SUITE 300

NAPLES, FLORIDA, 34108

## GENERAL SITE AND CONSTRUCTION NOTES

## PART 1 - GENERAL (SITE AND CONSTRUCTION NOTES)

#### 1.1 SCOPE:

- The limits of construction are defined by the "Project Limit Line" as noted on the contract documents.
  - Provide all labor, materials and equipment for complete installation of all design elements as indicated on the contract drawings and specified herein.
  - Install all work in conformance with industry standard trade practices as outlined in CSI Standards unless otherwise noted or amended on the drawings.
- D. The proposed construction shall comply with the Americans with Disabilities Act (ADA) and the ADA Compliance Handbook, latest edition. The construction shall also comply with The Florida Accessibility Code for projects located within the State of Florida.
- E. There shall be no change or deviation from these plans without prior written approval by the Landscape
  - SHOP DRAWING SUBMITTALS: The contractor and its subcontractors must demonstrate the way by which they propose to conform to the information given and the design concept expressed in the contract documents in a means that clearly denotes manufacturer/model, use, location, application and conformance via drawings, diagrams, schedules and other data as applicable for the Landscape Architect's review for design intent.
  - 2. The contractor and its subcontractors shall not be relieved of responsibility for deviations from the requirements of the contract documents or relieved of responsibility for errors or omissions in shop drawings, product data, samples, or similar submittals by the Landscape Architect's review and "acceptance" thereof.

#### 1.2 SCHEDULE:

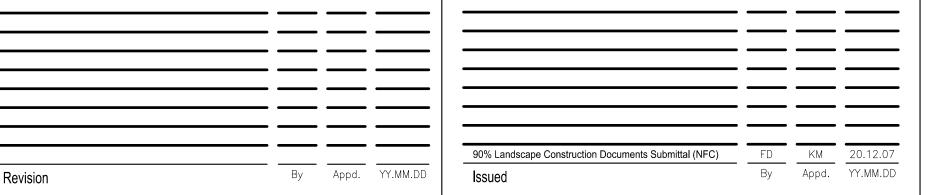
A. All work under this contract shall be performed in accordance with the project schedule as defined by the Owner or authorized representative.

#### 1.3 CONTRACTOR'S PERFORMANCE:

- A. The contractor's workmen shall be neat in appearance, perform their work in a professional manner, keep noise to a minimum and stage their work from a location on the site out of the way of the mainstream of the uses. In general, the contractor's presence on the site shall be as inconspicuous as
- B. The intent and spirit of these Contract Documents is to provide a guideline for the contractor to follow in order to provide Owner with services of the highest quality. Where the contract documents refers to "as-needed" or "as-required" the intent is for the contractor to perform all necessary installation, maintenance, and protection of all built work services at the highest possible quality level. Nothing contained within these documents shall be interpreted as relieving the contractor of its responsibility to perform the work in a professional manner and to the complete satisfaction of the owner.
- C. If disputes arise as to the quality of the services performed, the Owner (or Owners Designated Representative) and the Landscape Architect shall make the final determination of responsibilities.
- D. Report any discrepancies between the contract documents and field conditions to the Landscape Architect immediately for resolution PRIOR TO PROCEEDING with procurement, installation, or
- E. The contractor shall comply with all federal environmental protection, state, and local water quality
- The contractor shall answer emergency or complaint calls regarding all site works within eight (8) hours and corrective action shall be complete within twenty-four (24) hours.
- G. It is the contractors responsibility to fully secure all materials, tools, machinery, etc. when delivered to or stored at the project site. Failure to do so will make the contractor liable for any and all damages or theft there to arising from its operations and shall be immediately corrected by the contractor at no additional cost to the project.

## 1.4 JOB CONDITIONS:

- Contractor shall acquaint himself with all site conditions. Should excavation be required, the contractor shall promptly notify the local public works department, power company, and any other utilities (gas companies, cable tv, phone, etc.) forty-eight (48) hours minimum prior to construction operation and prior to any connection to existing utility locations. Failure to do so will make the contractor liable for any and all damage, costs, and penalties there to arising from its operations. It is the contractors responsibility to protect existing utilities from damage. Report any conflicts to the Landscape Architect within two (2) business days for resolution prior to construction.
- The contractor shall comply with Florida State Statute 553.81 "Protection of Underground Pipelines" for projects located within the State of Florida. Contractor shall provide traffic control during construction in accordance with the Federal Highway
- Administration Manual of Uniform Traffic Control Devices, millennium edition, and the Florida Department of Transportation Design Standards, latest edition, Traffic Control Through Work Zones, Series 600 Indices.
- Any maintenance of traffic needs by the landscape contractor shall be coordinated with the general contractor and ongoing construction activities.
- D. All clearing and grubbing debris is to be burned or removed from site and is part of the clearing and grubbing task. A BURN PERMIT IS REQUIRED FROM THE LOCAL ENVIRONMENTAL MANAGEMENT DEPARTMENT IF BURNING IS TO OCCUR. All burning shall be done in compliance with local and governmental ordinances and restrictions regarding open fire sources. Notify the local fire department or fire control services forty-eight (48) hours prior to any burn.
- Where excavations are in close proximity of trees, the contractor shall use extreme care in not



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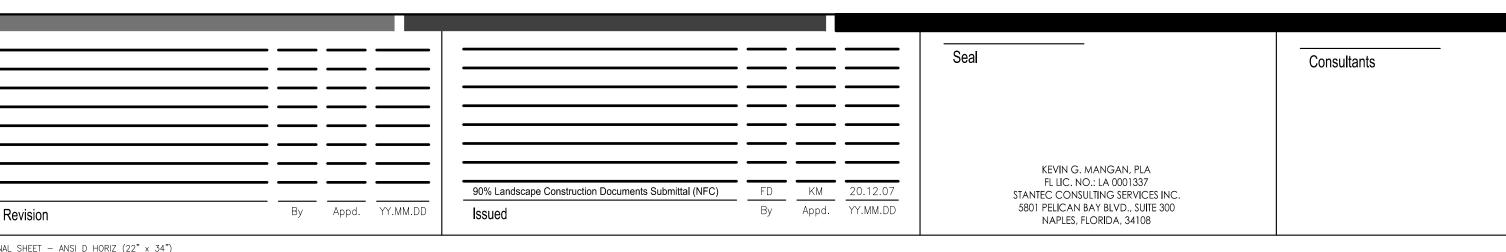
INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

Landscape / Maintenance / Construction General Notes Scale Project No. 215615771 N/A Drawing No. Revision 00 LP004

damaging the root system. No equipment, supplies, or vehicles shall be stored or parked within the drip line of trees to remain and be preserved. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL OF HIS EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.

- F. Certain trees may be designated by the Owner and/or the Landscape Architect to be saved and protected by the contractor. It is assumed these trees are healthy and are expected to be part of the landscape development or protected by code requirements. Therefore, if any tree(s) are damaged by construction operations or by other means (excluding lightning, windstorm and other acts of god) and perishes within the construction period, it shall be the responsibility of the contractor to remove and dispose of those trees. Approval from the Landscape Architect and Owner is required prior to removal of any trees designated to remain. No additional compensation shall be made by the owner for the labor, material, or machinery required to remove said tree(s). Furthermore, the Owner may seek compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect.
- G. All existing site furnishings, paving, landscape and other elements designated to remain shall be protected from any damage unless otherwise noted.
- H. Caution should be exercised while working near existing at grade and/or overhead signs to prevent unnecessary damage. Signs and structures shall be repaired or replaced by the contractor at the contractor's expense if any are damaged as determined by the Landscape Architect and/or Owner.
- I. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION IS TO BE PROTECTED. If a corner monument is in danger of being destroyed and has not been properly referenced, the contractor should notify the project surveyor without delay.
- J. Contractor and its subcontractors shall clean all work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion and in a designated area as directed by the Landscape Architect and/or Owner.
- K. These plans are provided for the purposes of the Landscape Architecture design intent and specific project scope of services. These plans are intended to be coordinated with other project design professions (architecture, civil, M/E/P, structural, aquatics, etc.) and should be used in conjunction with those professions to develop the full contract document package. For information regarding those professions, please refer to the appropriate plan sheets.
- L. These drawings may include information provided by others. The Landscape Architect has not verified the accuracy and/or completeness of this information and shall not be responsible for any errors or omissions which may be incorporated within these contract documents as a result. The location of the utilities shown in the plans are approximate only. The exact location shall be determined by the contractor prior to construction. All plantings may be subject to adjustment by the Landscape Architect to avoid conflicts with utilities and minor utilities may be adjusted at the direction of the Landscape Architect and/or Owner.
- M. The contractor shall verify all plant counts and report any discrepancies to the Landscape Architect PRIOR TO procurement, delivery, and/or construction.
- 1.5 REQUIRED COORDINATION OF JOB CONDITIONS AND LANDSCAPE WORK:
  - A. Contractor and its subcontractors shall be responsible to replace all portions of existing lawn areas damaged during or caused by construction activities with same grass species to the satisfaction of the Landscape Architect and/or Owner at no additional cost to the project. Any rutting created by the treads or tires of equipment shall be re-graded prior to grass replacement.
  - B. Contractor shall take necessary precautions to protect site conditions, irrigation and plants. Should damage be incurred, the contractor shall repair damage at its expense to its original condition or furnish and install equal replacement as determined by the Landscape Architect.
  - C. Contractor and its subcontractors shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
  - D. PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, preserve areas within and adjoining the area of construction activity shall be protected by erection of tree protection barricades and/or silt barriers. Tree protection barricades shall meet the standards of the local Land Development Code (LDC). Silt barriers shall be constructed in accordance with the best management practices.
  - E. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions, to comply with safety setback criteria, to avoid creating unsafe sight conditions, or as otherwise directed by, or approved by, the Landscape Architect. Determination of final location and subsequent changes to meet these criteria if necessary shall not incur additional project costs.
  - F. Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. Any adjustment necessary shall be documented and brought to the Landscape Architect's attention as soon as practical. Any adjustment greater than eight (8) feet shall be done under the approval and/or supervision of the Landscape Architect.
  - G. All proposed ground elevations in landscape areas are finished sod elevations. Finish earthwork grading shall be three (3) inches below elevations shown to allow for sod and topsoil thickness.
  - 1. Sodding includes maintaining slopes and sod until completion and acceptance of total project or growth is established, whichever comes last. Until then, all erosion, silt control, and maintenance of grades and grass is the responsibility of the contractor. Where erosion, siltation, and loss of grade has become apparent as determined by the Landscape Architect, the contractor shall correct all occurrences at no additional cost to the project.
  - I. All landscape materials shall be maintained to provide continuous clear zones for sight visibility for pedestrian and vehicular traffic and landscape maintenance shall conform to standards set forth in FDOT Roadway and Traffic Design Standards, latest edition, Series 500 Indices.
  - J. The contractor of record shall ensure that installation in medians and rights of ways conforms to criteria set forth in FDOT Roadway and Traffic Design Standards, latest edition.
  - The following guidelines shall be utilized to ensure successful transplanting of trees:
  - 1. Any tree being relocated shall not be unnecessarily damaged during removal, transport or replanting of that tree.
  - 2. During and following transplanting, the root ball shall be kept moist at all times.
  - 3. Transplanted trees shall be braced for at least one (1) year.

- 4. Transplanted trees shall not be fertilized at planting time, but shall be watered sufficiently until the tree growth is re-established.
- 5. All crown pruning shall be done in accordance with National Arborist Association Standards or palm pruning in accordance with city/county standards and/or the standards listed in "Arboriculture Second Edition" by Richard W. Harris, as amended.
- L. All existing trees to remain shall be protected by installing protective barriers around the drip line of trees. The protective barriers shall be seen easily by operators of trucks and other equipment. Protective barriers shall be constructed of sturdy materials (not flagging or ribbons) and shall be installed prior to and during construction and/or land development. All existing planting shall remain intact and undisturbed unless otherwise noted on the plans. Contractor shall install a 4.0' height orange nylon or chain link type fence affixed with ties, nails or staples to sturdy posts (metal fence stakes or 2x4 wood, set to a depth of 2'-6" minimum) surrounding all existing vegetation and/or vegetation to be protected and relocated. Contractor shall continuously maintain the fence for the duration of construction and repair or replace damaged or fallen sections as necessary. Fence to be installed in the critical protection zone the area surrounding a tree within a circle described by a radius of one (1) foot for each inch of tree trunk diameter measured at 54" above finished grade (for groups of trees, locate fence between trees and construction activity). the fence shall be located to protect a minimum of 75% of the critical protection zone. Shrubs and groundcover vegetation shall have a minimum 5.0' buffer between fence and construction zone. No construction debris, vehicles, chemicals, or other construction activity shall be allowed within the root zone and/or critical protection zone:
  - 1. DO NOT STORE OR USE MATERIALS OR EQUIPMENT WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain in place on site unless the activity is being done to protect the trees.
  - DO NOT DISCHARGE OR CONTAMINATE THE SOIL WITHIN THE DRIP LINE OF ANY TREE to be relocated or to remain on site with any construction materials such as paint, oil, solvents, petroleum products, asphalt, concrete, mortar, or other materials that may cause adverse impacts. The contractor and its subcontractors shall be responsible for protecting and enforcing these requirements. Failure to do so will make the contractor liable for any and all damages there to arising from its operations and shall be immediately corrected by the contractor at no additional cost to the project. Furthermore, the Owner may seek replacement of tree(s) of same species and physical specifications or other compensation from the contractor if the damage and/or death of the tree(s) is due to the contractor's negligence as determined by the Landscape Architect.
  - 3. Clearing of vegetation within the drip line of trees designated for preservation shall be performed cautiously with hand tools only as to minimize the adverse impacts that may cause damage to tree roots while operating heavy equipment.
  - 4. Make no attachments, other than those of a protective and non-damaging nature, to any tree to be retained on the site.
  - 5. Natural grade above the root system within the drip line of any preserved trees disturbed during construction shall be returned to its original grade after construction.
- M. Xeriscape principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance for projects within the State of Florida.





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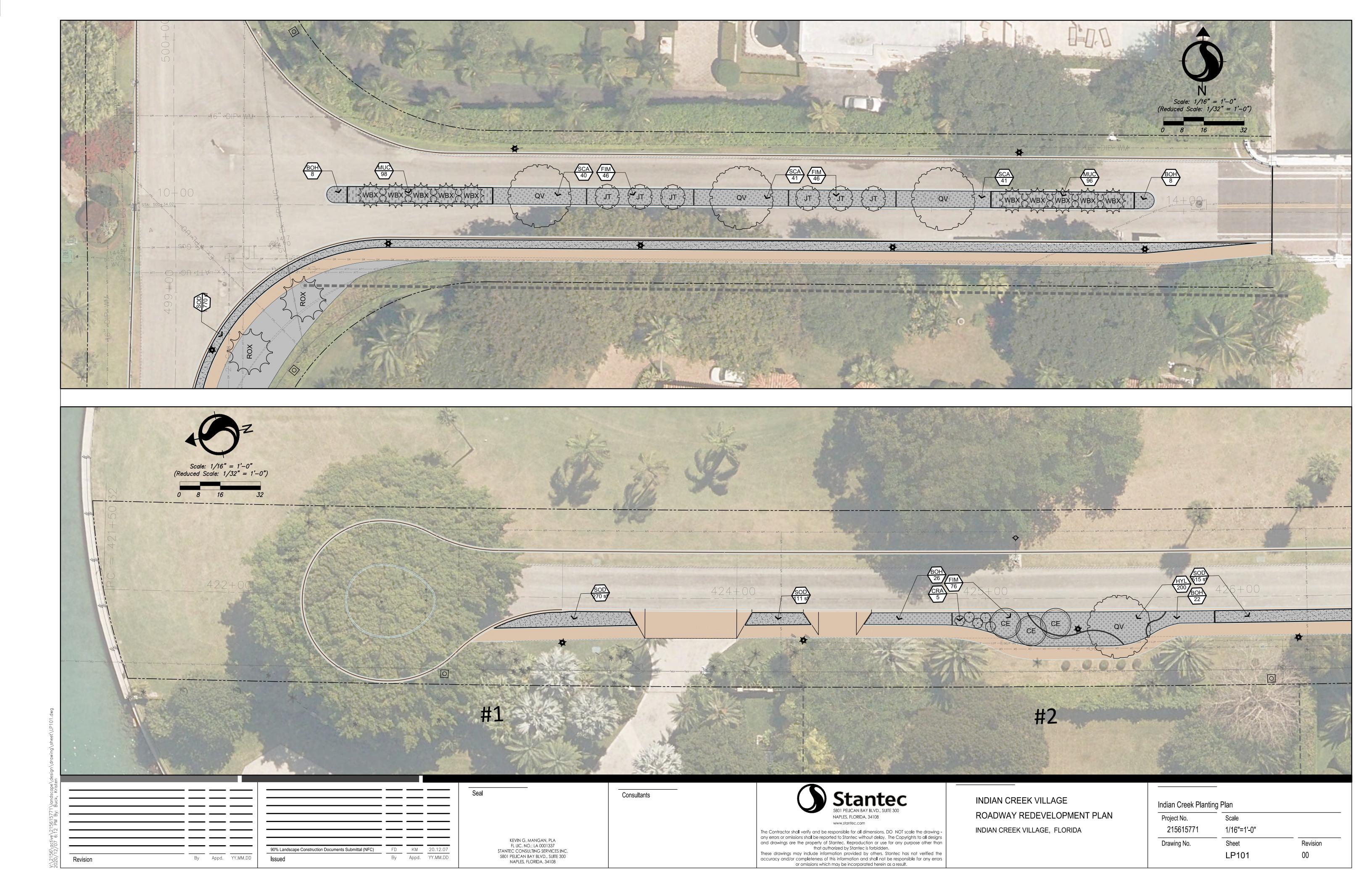
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ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Landscape / Maintenance / Construction General Notes

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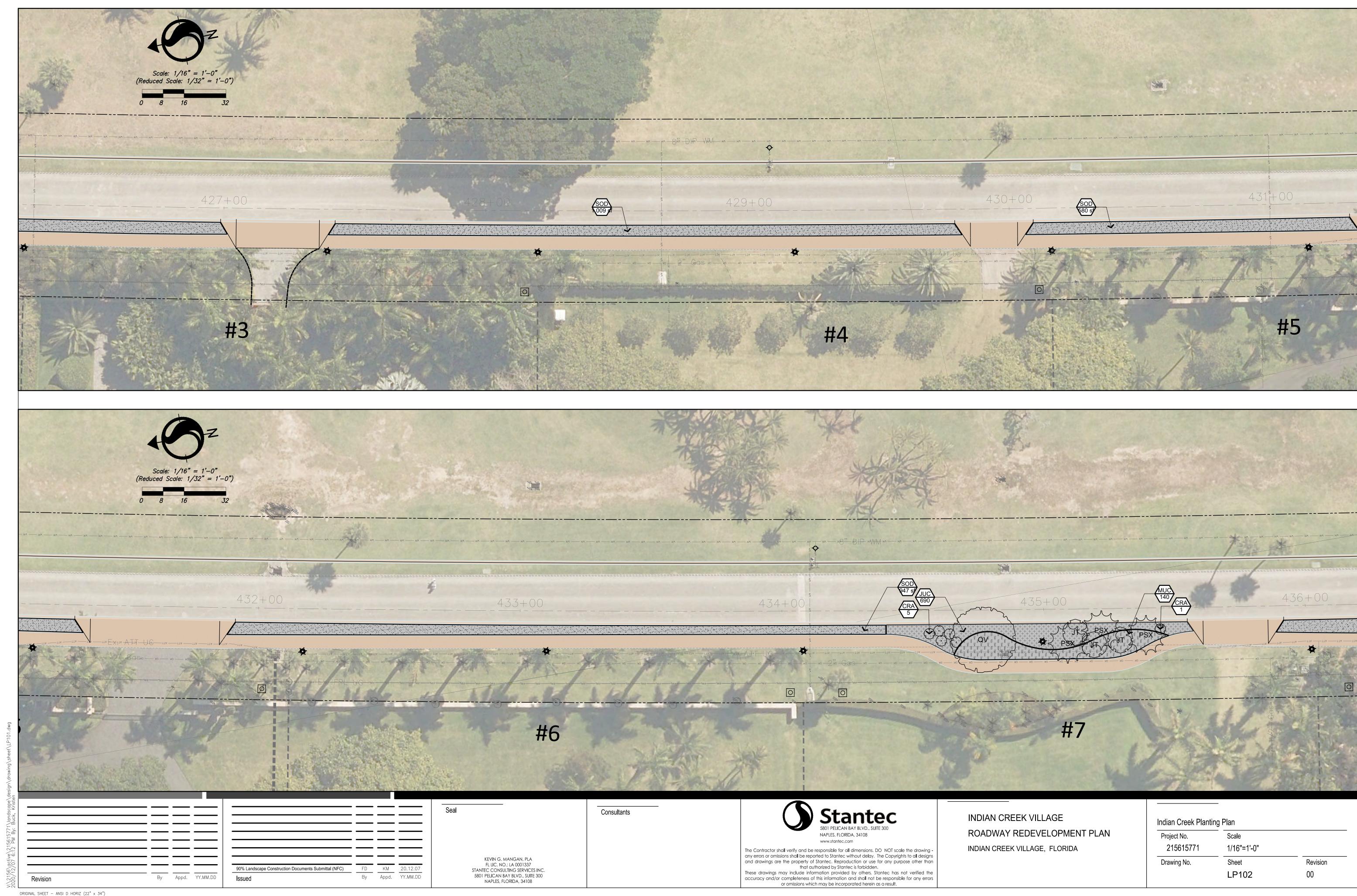


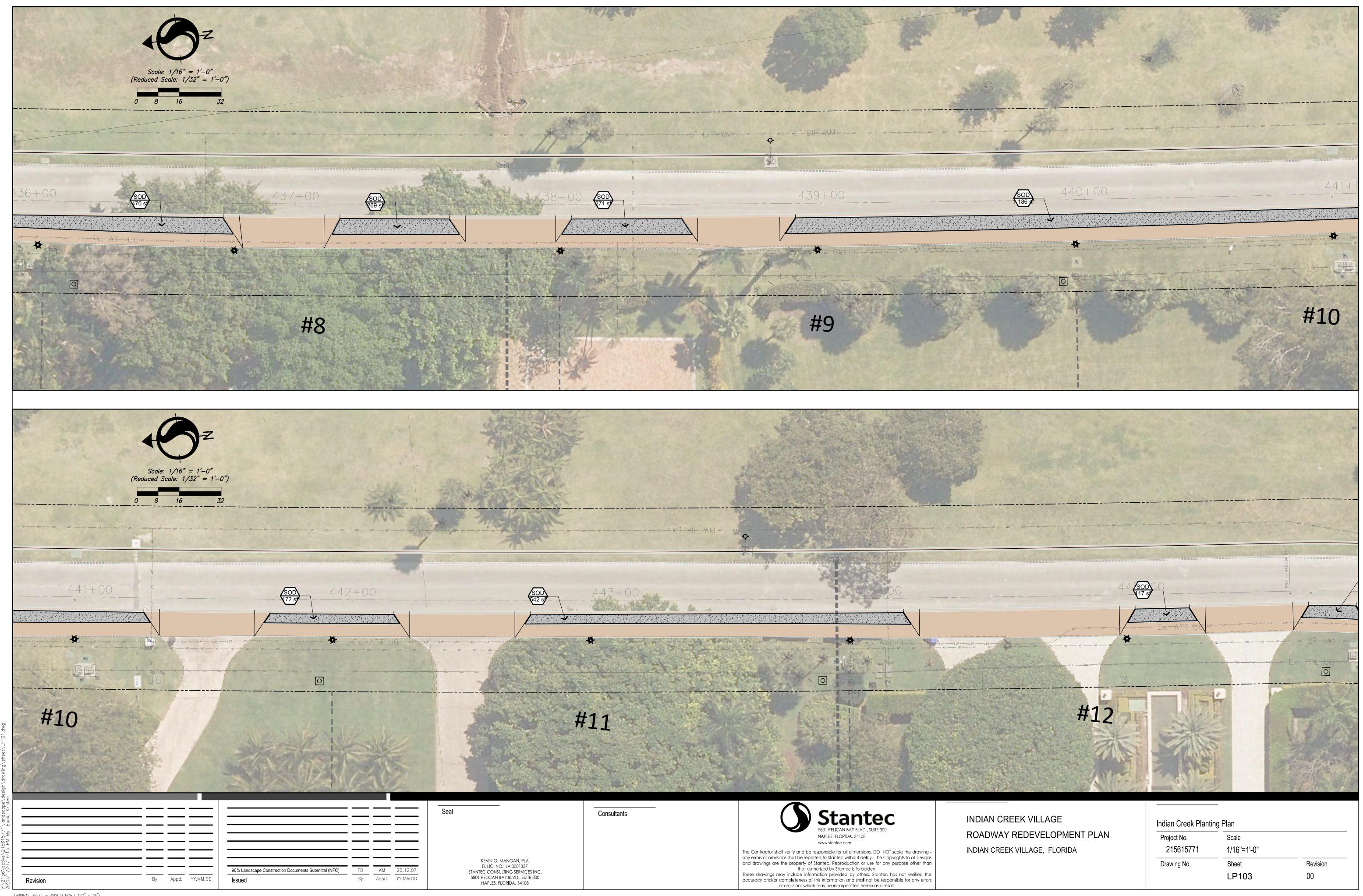
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Revision ORIGINAL SHEET - ANSI D HORIZ (22" x 34") By Appd. YY.MM.DD

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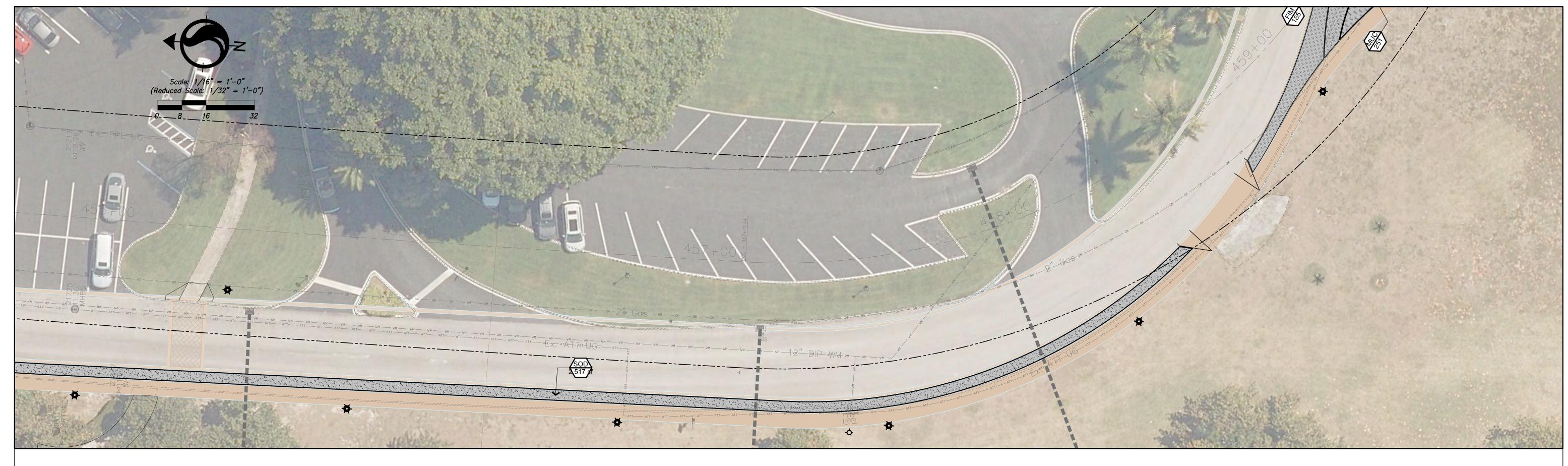
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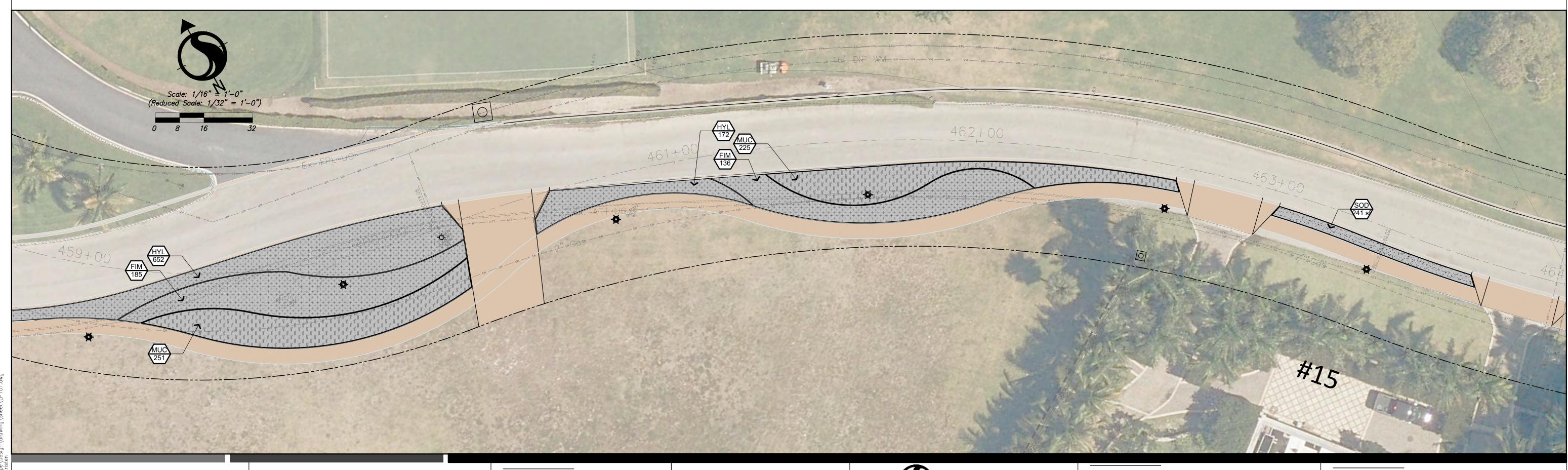
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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

Indian Creek Planting Plan Scale Project No. 215615771 1/16"=1'-0" Drawing No. Revision LP104 00





 
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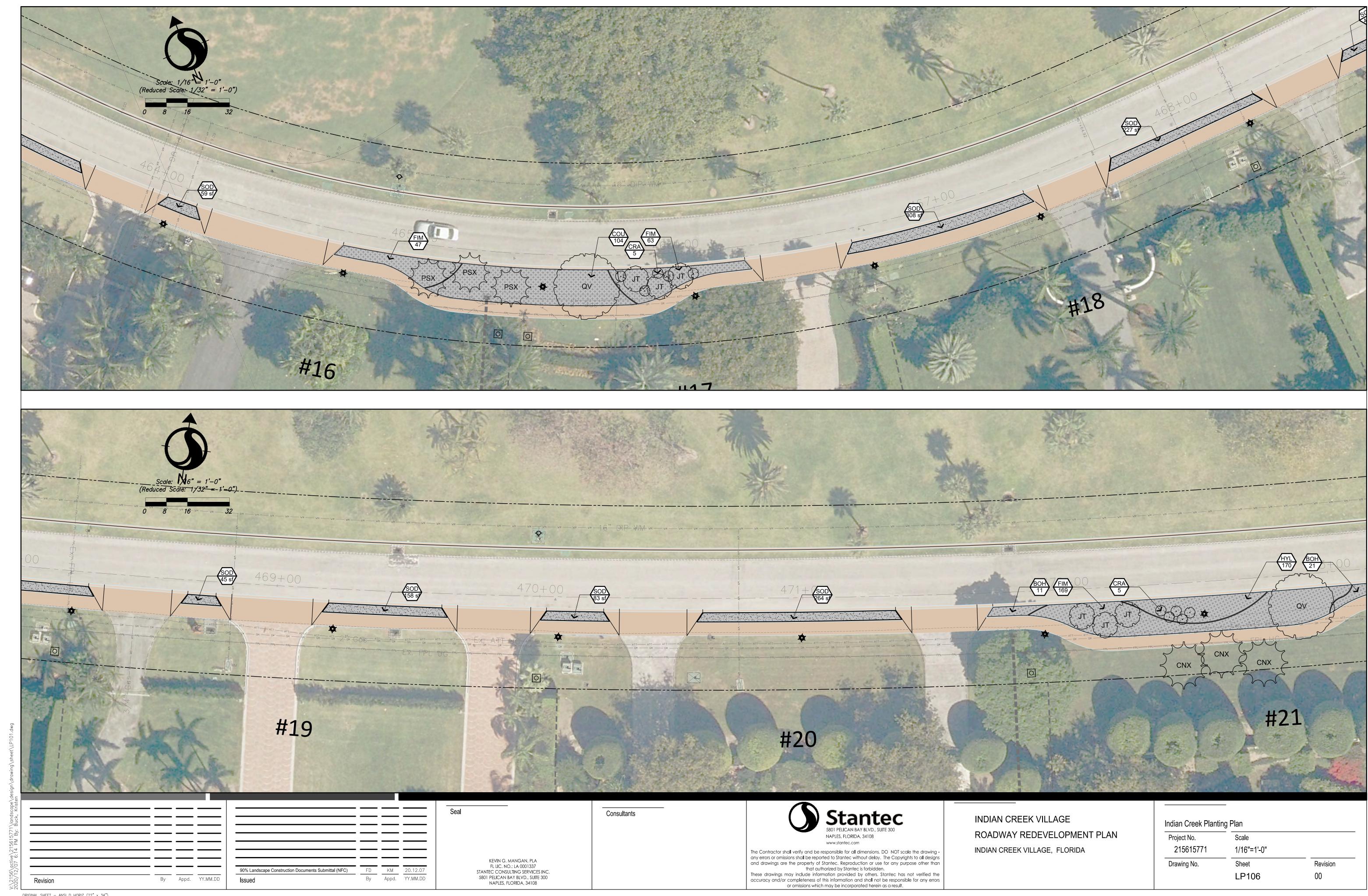
Indian Creek Planting Plan Scale Project No. 215615771 1/16"=1'-0" Drawing No. Revision LP105 00

ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

Revision

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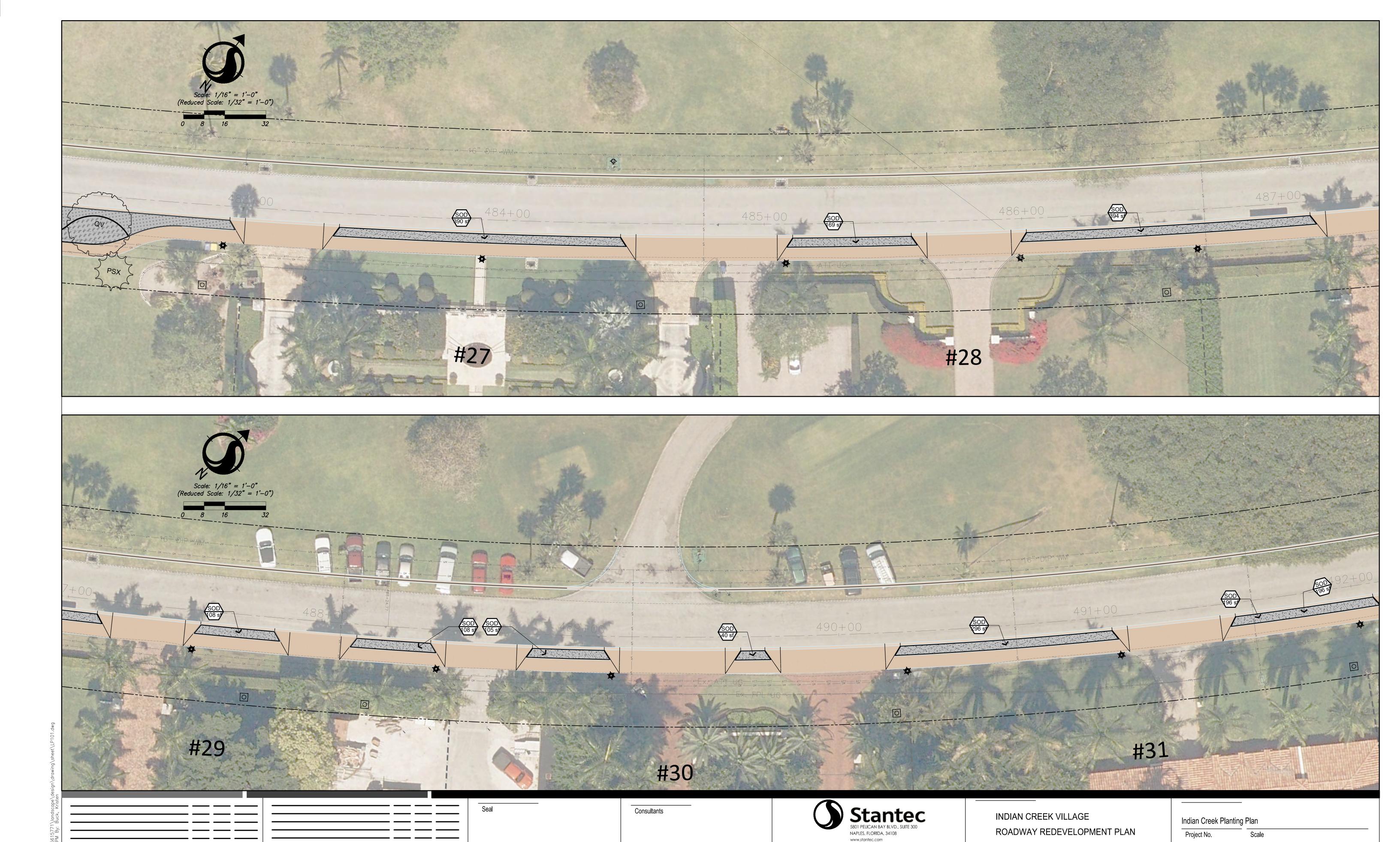
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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")



ORIGINAL SHEET - ANSI D HORIZ (22" x 34")



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Drawing No.

INDIAN CREEK VILLAGE, FLORIDA

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1/16"=1'-0"

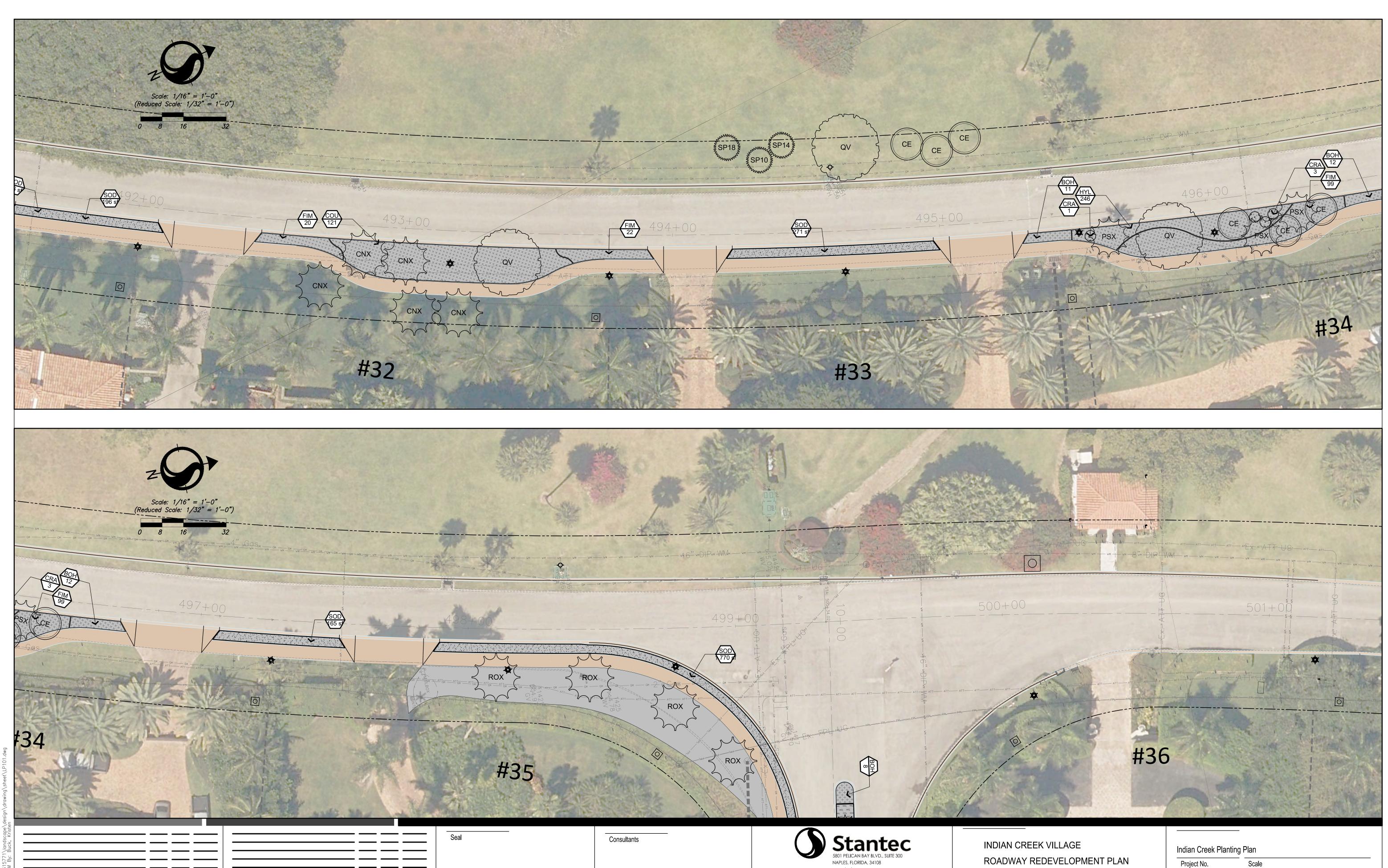
LP108

Revision

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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

Revision



KEVIN G. MANGAN, PLA FL LIC. NO.: LA 0001337 STANTEC CONSULTING SERVICES INC. 5801 PELICAN BAY BLVD., SUITE 300 NAPLES, FLORIDA, 34108

 FD
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 20.12.07

 By
 Appd.
 YY.MM.DD

90% Landscape Construction Documents Submittal (NFC)

Issued

By Appd. YY.MM.DD

ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

Revision

Scale Project No.

ROADWAY REDEVELOPMENT PLAN

INDIAN CREEK VILLAGE, FLORIDA

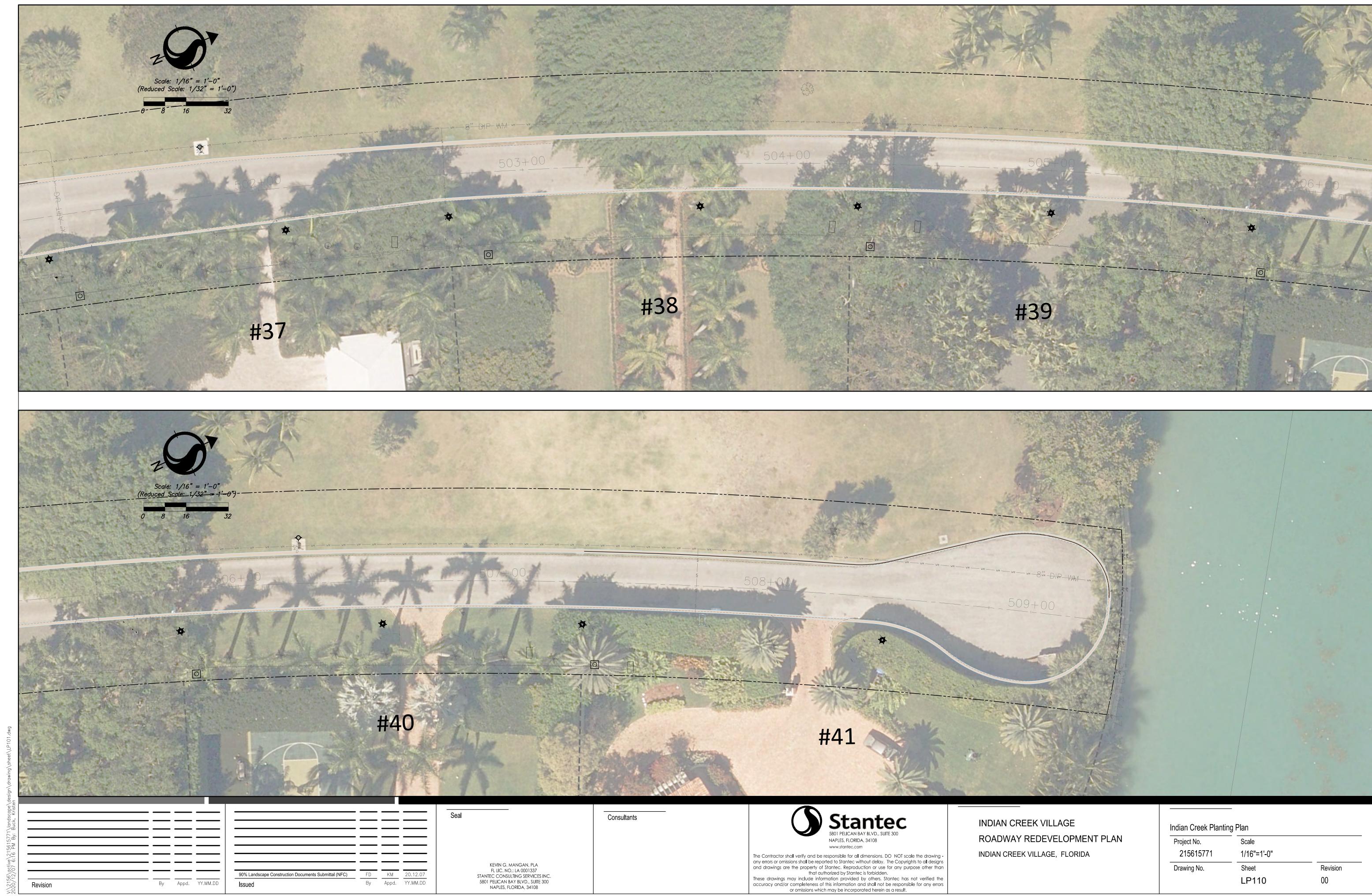
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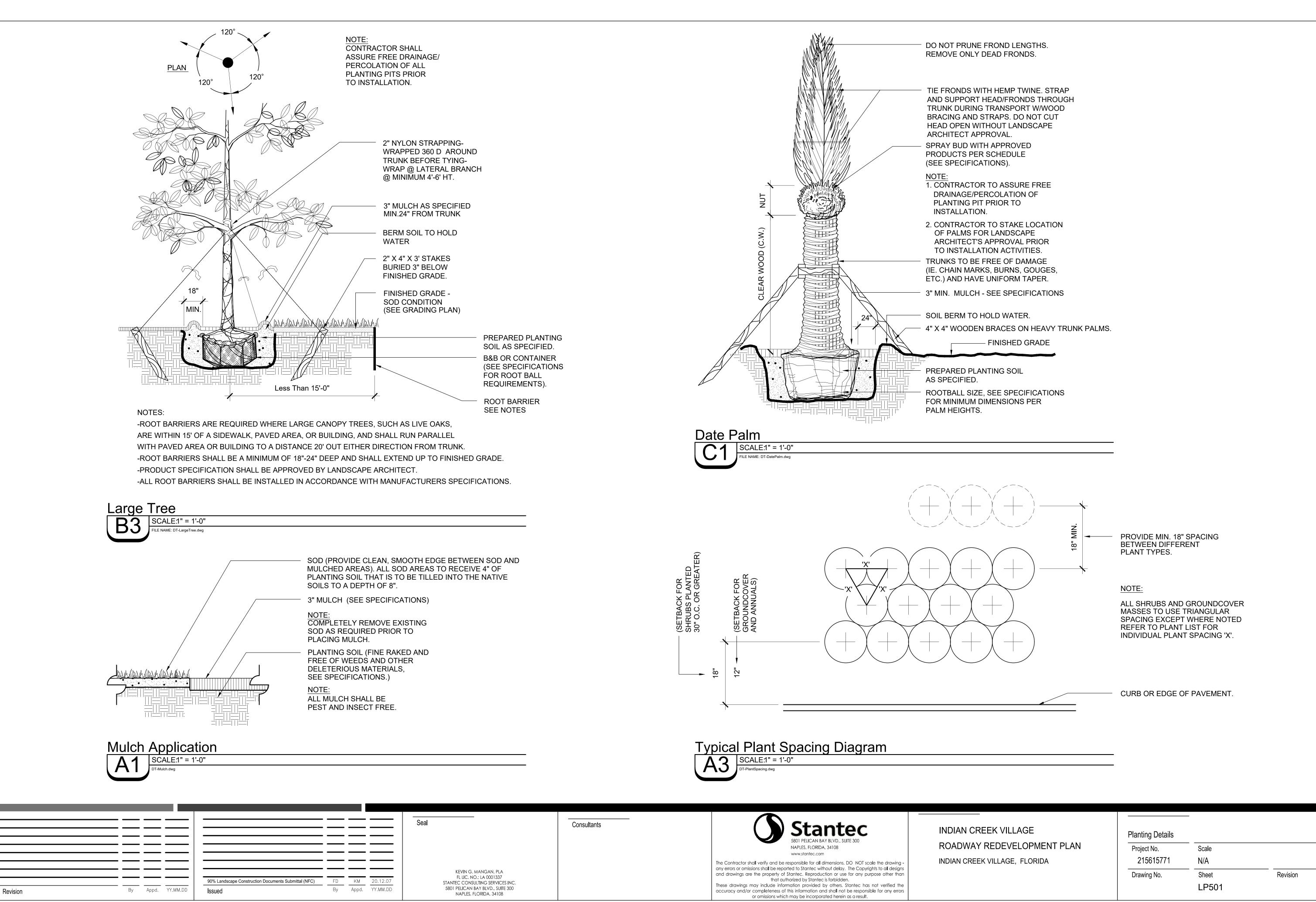
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215615771 1/16"=1'-0" Drawing No.

Revision LP109 00

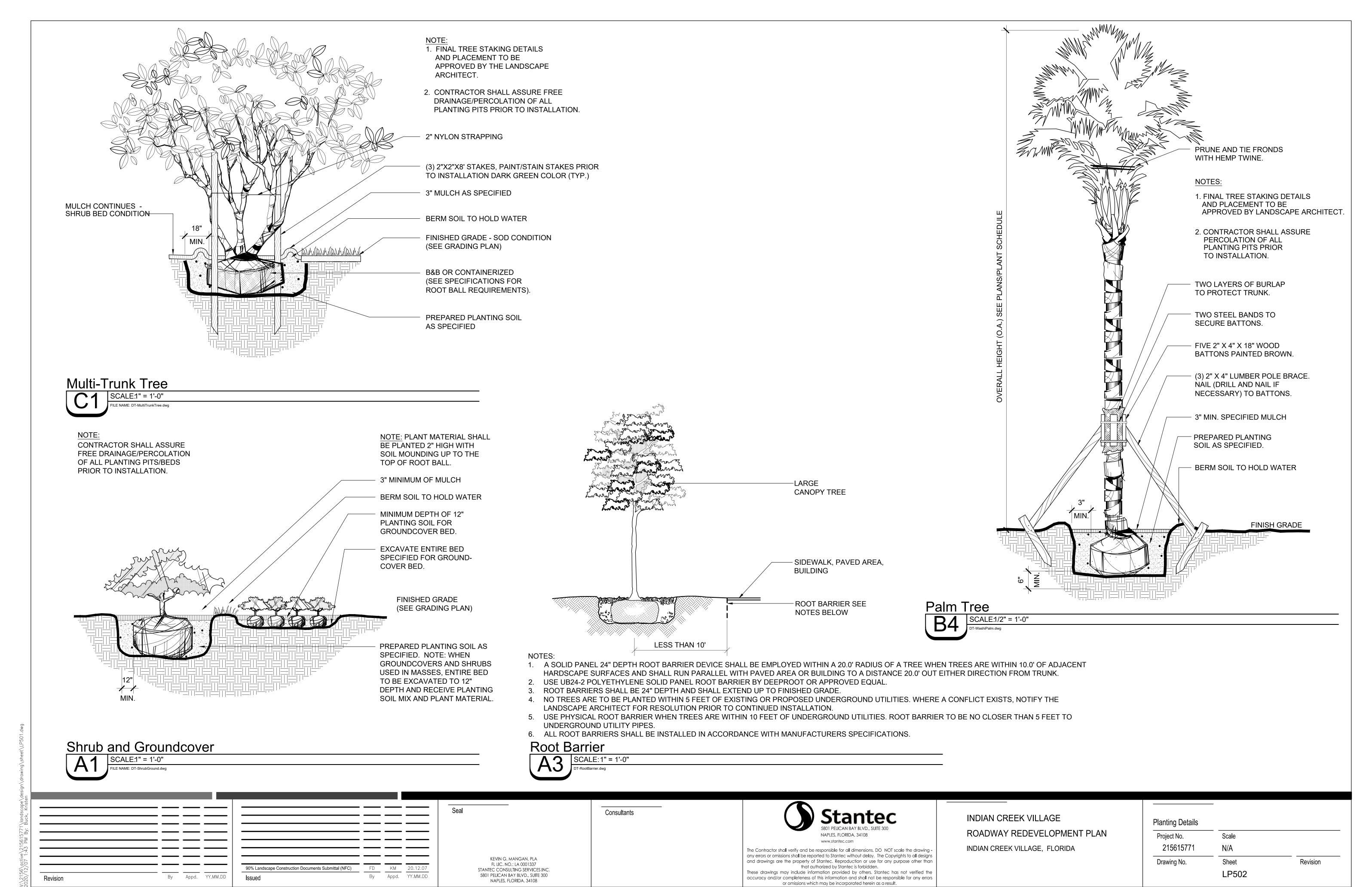


ORIGINAL SHEET – ANSI D HORIZ (22" x 34")



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ORIGINAL SHEET - ANSI D HORIZ (22" x 34")



5801 PELICAN BAY BLVD., SUITE 300

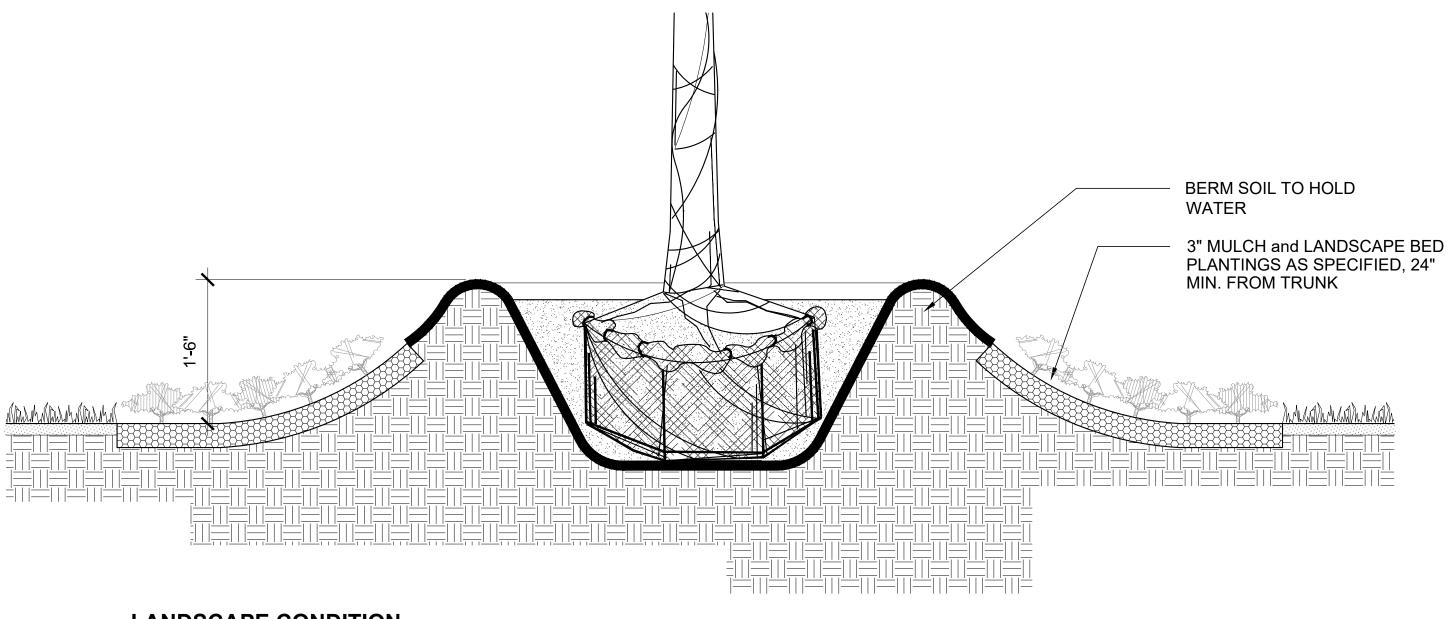
NAPLES, FLORIDA, 34108

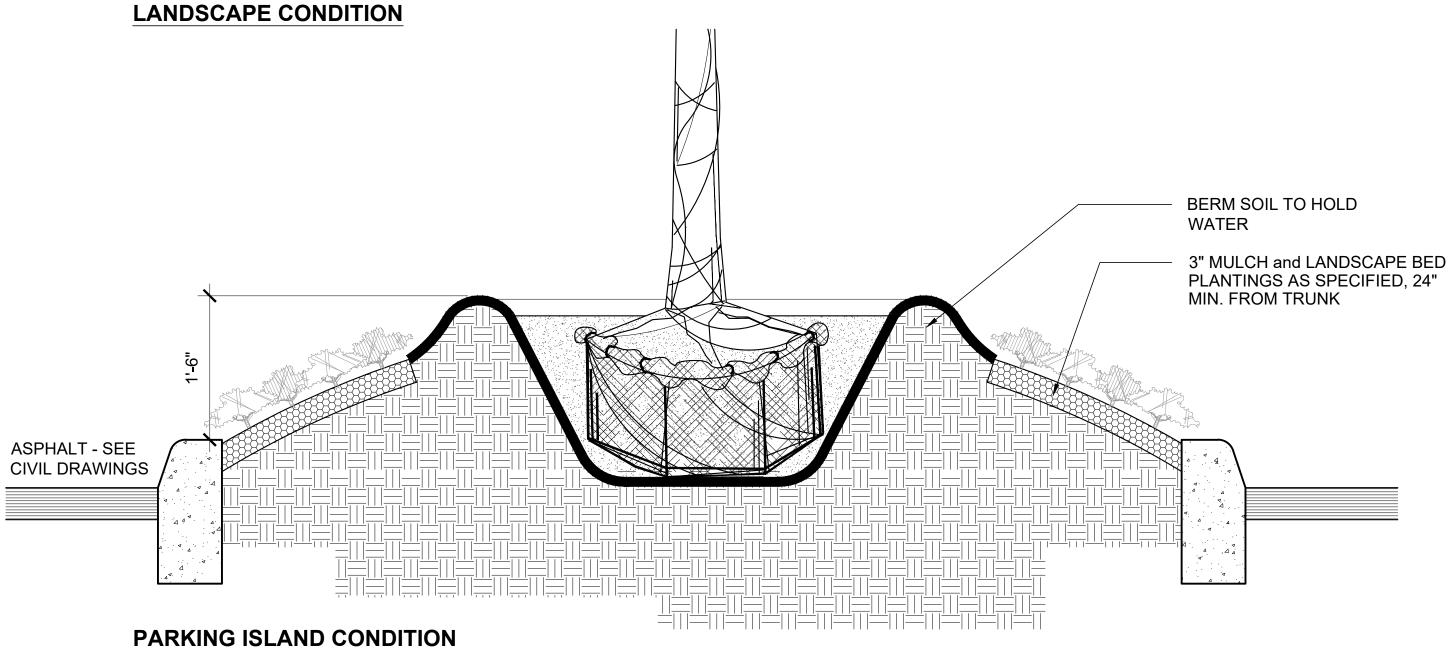
By Appd. YY.MM.DD

Revision

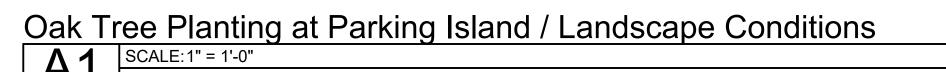
ORIGINAL SHEET - ANSI D HORIZ (22" x 34")

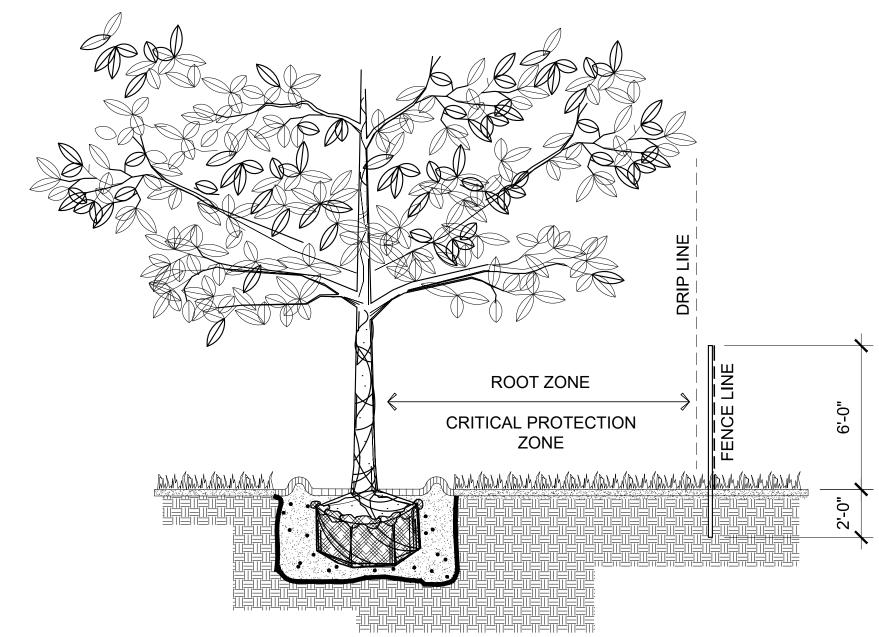
By Appd. YY.MM.DD





- 1. ROOT BARRIERS ARE REQUIRED WHERE LARGE CANOPY TREES, SUCH AS LIVE OAKS, ARE WITHIN 15' OF A SIDEWALK, PAVED AREA, OR BUILDING, AND SHALL RUN PARALLEL WITH PAVED AREA OR BUILDING TO A DISTANCE 20' OUT EITHER DIRECTION FROM TRUNK.
- 2. ROOT BARRIERS SHALL A SOLID INTER-LOCKING PANEL, A MINIMUM OF 18"-24" DEEP, AND SHALL EXTEND UP TO FINISHED GRADE.
- 3. PRODUCT SPECIFICATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
- 4. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



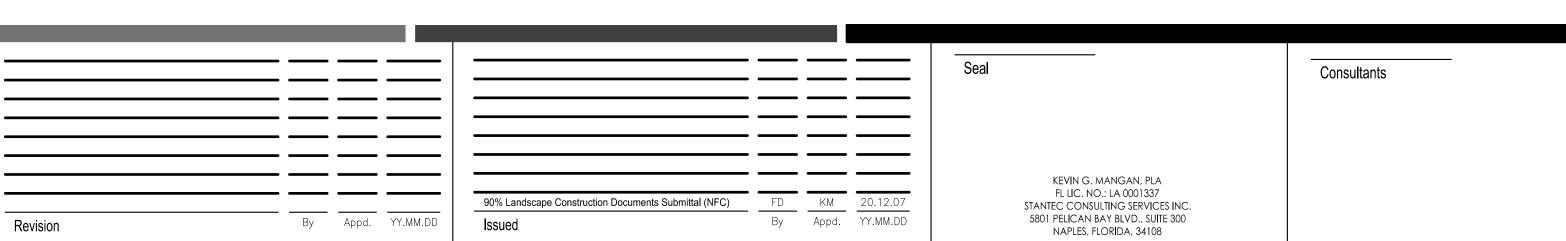


## NOTE:

- 1. INSTALL 6.0' HEIGHT CHAIN LINK FENCE TREE PROTECTION BARRIER WITH STURDY POSTS EMBEDDED IN GRADE 2.0' MINIMUM. 8.0' MAXIMUM POST SPACING.
- 2. INSTALL TREE PROTECTION BARRIER BEYOND DRIP LINE OF TREE CANOPY.
- 3. NO CONSTRUCTION DEBRIS, VEHICLES, CHEMICALS, OR OTHER CONSTRUCTION ACTIVITY SHALL BE ALLOWED WITHIN THE ROOT ZONE.
- 4. VEGETATION TO BE RELOCATED SHALL BE CROWNED / ROOT PRUNED SIX (6) MONTHS PRIOR TO RELOCATION. CONTRACTOR TO SUPPLY A RELOCATION SCHEDULE FOR ALL MATERIAL TO BE RELOCATED.
- 5. PROVIDE TEMPORARY IRRIGATION TO ALL ROOT PRUNED VEGETATION.
- 6. CALL SUNSHINE STATE ONE-CALL BEFORE ROOT PRUNING OR DIGGING FOR RELOCATED VEGETATION.

## Tree Protection Barrier

SCALE: 1/4" = 1'-0"
DT-TreeProtection\_Fence.dwg





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INDIAN CREEK VILLAGE
ROADWAY REDEVELOPMENT PLAN
INDIAN CREEK VILLAGE, FLORIDA

Planting Details

Project No. Scale
215615771 N/A

Drawing No. Sheet Revision
LP503

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PLANT S	SCHE	DULE								
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	NATIVE DESIGNATION	REMARKS
CE	CE	12	Conocarpus erectus `Sericeus`	Silver Buttonwood	65 gal	2" CAL	10.0` OA	4` SPR	NATIVE	FULL; BUSH FORM; 3 STEMS MIN; TRIM BRANCHES AT BASE TO FORM TREE; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
JT	JT	15	Jatropha hastata	Jatropha Tree	30 gal		10.0` OA	6`-8` SPR.	NON-NATIVE	MULTI-TRUNK; FULL W/ GOOD BRANCHING CHARACTER
OV OV	QV	13	Quercus virginiana	Southern Live Oak	100 Gal.	4" CAL	20.0` HT	6` SPR	NATIVE	FULL, GOOD BRANCHING CHARACTER
PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	NATIVE DESIGNATION	REMARKS
CNX	CNX	8	Cocos nucifera	Coconut Palm `Green Malayan`	B & B		12.0` - 14.0` HT		NON-NATIVE	FULL, SINGLE STRAIGHT TRUNK
PSX	PSX	13	Phoenix sylvestris	Wild Date Palm	-	30" CAL	15.0` CT	SINGLE STRAIGHT TRUNK	FULL HEAD; HEAVY UNDAMAGED TRUNK; B&B	
ROX	ROX	14	Roystonea regia	Royal Palm	Field Grown		10.0` GW		NATIVE	FULL; FLORIDA FANCY; MODERATE SALT TOLERANCE; MODERATE DROUGHT TOLERANCE
SP10 &	SP10	1	Sabal palmetto	Cabbage Palmetto	Field Grown		10.0` CT		NATIVE	FULL; BOOTED TO BASE; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
SP14 ***	SP14	1	Sabal palmetto	Cabbage Palmetto	Field Grown		14.0` CT		NATIVE	FULL; BOOTED TO BASE; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
SP18 ***	SP18	1	Sabal palmetto	Cabbage Palmetto	Field Grown		18.0` CT		NATIVE	FULL; BOOTED TO BASE; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
WBX >	WBX	10	Wodyetia bifurcata	Foxtail Palm	B & B		10.0` CT		NON-NATIVE	FULL; SINGLE STRAIGHT TRUNK; FLROIDA FANCY; MODERATE SALT TOLERANCE; MODERATE DROUGHT TOLERANCE

PLANT SO	CHED	ULE								
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE		REMARKS
$\odot$	CRA	43	Crinum augustum `Queen Emma`	Queen Emma	7 Gal.	24" HT		NATIVE		FULL; HIGH SALT TOLERANCE; MODERATE DROUGHT TOLERANCE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	SPR	NATIVE	SPACING	REMARKS
	** + + + + + + + + + + + + + + + + + +	119	Bougainvillea spectabilis 'Helen Johnson'	Dwarf Bougainvillea	3 Gal.	24" HT	24" SPR	NON-NATIVE	30" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	COU	225	Coccoloba uvifera	Sea Grape	3 gal	36" HT	24" SPR	NATIVE	36" o.c.	FULL
	+ + + + + + + + + + + + + + + + + + +	1,031	Ficus microcarpa `Green Island`	Green Island Ficus	3 Gal.	24" HT	30" SPR	NON-NATIVE	30" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
++++++++++++++++++++++++++++++++++++++	+ + + + + + + + + + + + + + + + + + +	1,440	Hymenocallis latifolia	Spider Lily	3 Gal.	18" HT		NATIVE	18" o.c.	FULL; HIGH SALT TOLERANCE; MODERATE DROUGHT TOLERANCE
++++++++++++++++++++++++++++++++++++++	+ + + + + + + + + + + + + + + + + + +	1,370	Juniperus conferta	Shore Juniper	3 Gal.	8" HT		NON-NATIVE	12" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	** SCA	122	Schefflera arboricola `Trinette`	Trinette Variegated Schefflera	3 Gal.	18" HT	18" SPR	NON-NATIVE	30" o.c.	FULL
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	NATIVE		SPACING	REMARKS
	MUC	1,005	Muhlenbergia capillaris	Pink Muhly Grass	3 Gal.	24" HT	NATIVE		24" o.c.	FULL; HIGH SALT TOLERANCE; HIGH DROUGHT TOLERANCE
	TRP	620	Tradescantia pallida `Purpurea`	Purple Queen	1 Gal.	8" HT	NON-NATIVE		12" o.c.	FULL; 3 PPP; MODERATE SALT TOLERANCE; HIGH DROUGHT TOLERANCE
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HT	NATIVE		SPACING	REMARKS
	SOD	18,015 sf	Zoysia `Empire`	Empire Turf Zoysia	SOLID SOD PANELS					FULL SOLID PANELS; TIGHT STAGGERED JOINTS; SAND ALL JOINTS AND ROLL

Revision

 
 90% Landscape Construction Documents Submittal (NFC)
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Consultants

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INDIAN CREEK VILLAGE ROADWAY REDEVELOPMENT PLAN INDIAN CREEK VILLAGE, FLORIDA

Project No.	Scale	
215615771	N/A	
Drawing No.	Sheet	Revisior
	LP601	